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JAN 12 2010

PLANNING

MYRTLE PLAZA, DOWNEY, CA

PSP-09-17 REV

## SIGN CRITERIA

THESE CRITERIA'S HAVE BEEN ESTABLISHED FOR THE MUTUAL BENEFIT OF ALL TENANTS TO INSURE MAXIMUM TENANT IDENTIFICATION WITHIN AN OVERALL HARMONY OF DESIGN FOR ENFORCED, AND ANY INSTALLED NONCONFORMING OR UNAPPROVED SIGNS MUST BE BROUGHT INTO CONFORMANCE AT THE EXPENSE OF THE TENANT.

### **A. GENERAL REQUIREMENTS**

1. All signs shall be reviewed by the Landlord or a person designated by the Landlord for conformance with this criteria and overall design quality.
2. All permits for signs and their installation shall be obtained by the Tenant or his authorized representative. The Tenant shall be responsible for submitting their sign drawings to the appropriate City agencies for approval before installation of any sign.
3. Tenant shall be responsible for the fulfillment of all requirements and specifications.
4. All signs shall be constructed, installed and maintained at Tenants expense. Within thirty (30) days of expiration or termination of Tenants lease, Tenant shall remove its sign(s) at Tenants expense.
5. All "Wall Mounted" identification signs must consist of an individual "Cabinet Wall Sign" specification following contained with this guideline for Myrtle Plaza Sign Criteria.
6. Tenants shall use the services of a State licensed electric sign contractor holding a C-45 current license.
7. Three sets of drawings shall be submitted with the sign application. They must include a site plan showing unit number, scaled elevations showing sign locations and construction details.

## **B. GENERAL SPECIFICATIONS**

1. Tenant signs will be fully illuminated cabinets on the sign fascia as detailed on the attached drawings.
2. No animated, flashing or audible signs will be permitted.
3. Landlord will provide each Tenant a 120 volt single phase electrical service outlet from the Tenants panel to a single location for Primary Cabinet Signs only.
4. No projections above or below the sign envelope space will be permitted. (see exhibit)
5. It is the responsibility of the Tenants sign contractor to verify all conduit and ballast locations and service prior to fabrication.
6. All signs and their installation must comply with all local building and electrical codes and bear a U.L. label placed in an inconspicuous location.
7. No exposed raceways, crossovers, conduits, conductors, ballasts, etc, shall be permitted.
8. All signs shall be installed under the direction of the project contractor's superintendent or representative.
9. Tenants shall display only their established trade name or their generic product name, or combination thereof.
10. Wording of signs shall not include the product sold except as part of Tenants established trade name or insignia, or if the main product and generic name are on in the same.
11. Primary elevation cabinet size shall not exceed 30" in height, and 96" in length. Each Tenant shall be allowed to have one (1) primary elevation sign only. Secondary elevation signs shall be allowed for Tenants that have an additional frontage area. The exception of a Tenant without an additional frontage for a Secondary sign shall be Landlord approved and current City of Downey Code. All Secondary signs shall be the same size as Primary sign as described by the specification contained for Myrtle Plaza sign criteria.

## **B. GENERAL SPECIFICATION (CONT)**

12. Individual Tenant logos may be permitted within the plastic sign face area. In the case of the logo incorporated as part of the letter style shall not exceed 75% of entire acrylic facial area.
13. All acrylic facial area must be Silver Brushed Chrome with letters of specified colors (All colors subject to Landlord and City of Downey approval) with a white space (acrylic facing) separating Silver Brushed Chrome and color of lettering, e.g. an outline a 1/2" spacing for single row of lettering, and an outline of 3/8" spacing for double row of lettering.
14. All lettering must not exceed 75% of overall sign facial area. All lettering shall not exceed two rows of lettering. Sign Cabinet Signs are to be White color, .040 or .063 Aluminum.
15. All Tenant sign faces (Acrylic and Vinyl) are to be a GP or SG Acrylite, Cyro grade of white acrylic and letter colors shall be selected from the following list of Avery Graphics or 3M Films:

Acrylite, Cyro - Acrylic White GP 015-2 or SG 015-2. No Polycarbonate or Lexan facing.

Acrylic Cover Facing - Avery 100 Specialty Films for Silver Brushed Chrome, SF 100-840-S Avery 800, 900 Series Translucent Vinyl Film or 3M Translucent Vinyl Film.

Vinyl Letter Colors and Logo's:

Avery 800 or 900 Cast Translucent Film:

- a. Yellow UC 900-361-T
- b. Orange UC 900-360-T
- c. Red UC 900-440-T
- d. Burgundy UC 900-470-T
- e. Dark Pink UC 900-516-T
- f. Purple UC 900-546-T
- g. Light Blue UC 900-661-T
- h. Blues UC 900-684,686-T
- i. Aqua UC 900-619-T

- j. Teal UC 900-722-T
- k. Light Green UC 900-726-T
- l. Green UC 900-741-T

3M Translucent Film:

- a. Yellow 123C, 124C, 1235C
- b. Orange 1655C
- c. Red 485C
- d. Burgundy 188C
- e. Pink 224C
- f. Magenta 241C
- g. Purple 2622C
- h. Light Blue 7461C
- i. Blues 281C, 288C
- j. Aqua 328C
- k. Teal 322C
- l. Light Green 355C
- m. Green 349C

Due to colors not being available by distributors, a provision for equivalent colors from additional manufacturers of Premium Grade Vinyl in Translucent Film will be accepted. Other manufacturers shall include: Oracal 8500 Series or Arlon 2500 Series Translucent Film Multiple color separation Digital prints shall be considered on an individual basis and allowed as appropriate by Landlord and City of Downey.

- 16. All signs shall be kept in "like new" condition. Cracked, damaged, faded, graffitied, or discolored sign faces, Cabinets shall be replaced (not altered, patched or fixed) by Tenant.
- 17. Directory signs shall be 72"x 60" x 2" and placed in appropriate section of building and not conflict with storefront Tenant signs as specification contained by Myrtle Plaza.
- 18. Directory signs shall not be illuminated and one Tenant shall occupy one (1) space allowable. Design and color shall be consistent with one color criteria specification contained by Myrtle Plaza.

## **B. CONSTRUCTION REQUIREMENTS**

1. Design layout and materials for Tenant signs shall conform to all respects with the design guidelines.
2. The face of the cabinet signs shall be acrylic plastic, and conform to colors to all aspects of the design guidelines contained herein.
3. Internal illumination shall be 30 milliamp minimum installed and labeled in accordance with the "National board of Fire underwriters." (U.L. Approved)
4. LED illumination shall be "halo" lit from behind cabinet (reverse back) on wall to all the respects of set design guidelines.
5. Signs are to have access to ballasts and LED and all wiring for service.
6. All fastenings are to be concealed and be of galvanized, stainless (screws, bolts, washers, nuts) and Cabinet Wall Signs and flashings are to be constructed of .040, or .063 aluminum.
7. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and shall be carefully patched to match the adjacent finish.
8. Tenants sign contractor shall repair any damage to the building structure or to any portion of the center that is caused by his work to the satisfaction of the Landlord.
9. Tenants shall be fully responsible for the operations of the Tenants sign company.
10. Upon the Tenant vacating the premise, all sign facing shall be replaced with a white acrylic with Silver Brushed Chrome in vinyl material, and facing inserted back into cabinet. The cabinet with blank facing shall look "like new" condition. No security deposit shall be returned to Tenant until the satisfactory completion of work is done. If Tenant fails to complete this work within 15 days from the date of expiration or early termination of the lease, Landlord shall cause the work to be completed at Tenants expense.

#### **D. ALLOWABLE WALL SIGN AREA PRIMARY AND SECONDARY SIGNS**

1. The maximum sign area of all permit signs for each individual business shall not exceed 2.25 square feet of area for each lineal foot of building frontage. Per City Code the maximum sign area shall be calculated based on lineal feet of building frontage and that a maximum of one (1) building frontage shall be used to determine the total maximum sign area allowed for building signs except that two (2) building frontages may be counted for buildings located on lots or parcels with more than one (1) street frontage. Where a building has multiple frontages; the City Planner shall determine which frontage shall be used to calculate the maximum building area.

\*Update - above mention sign criteria, only cabinet face signs are allowable, and each Tenant has been calculated to have a Primary Cabinet Sign 30"x 96" and upon Landlord approval. A Secondary Cabinet sign also 30"x 96" with frontage space and/or non frontage space as approved by Landlord and City of Downey is allowable. No other sizes will be allowed accept a special provision from Landlord and City of Downey granting larger Primary Cabinet Wall Signs only on larger sized units which currently allowable is 30"x 96" can be extended to 30" x 120."

2. The Primary Wall Cabinet Sign shall be considered the main wall sign of the building. The frontage it is located on shall have a main building entrance and must side either street or parking area. All Primary Wall Cabinet Signs are to be located on the street side elevations of the buildings. These streets are 2<sup>nd</sup> Street, Myrtle Avenue, and 3<sup>rd</sup> Street. Primary Cabinet Wall Signs can be located on end unit Tenant spaces that have diagonal elements of that Tenant space.
3. All Primary Cabinet Wall Signs that are allowable are sized by calculating the overall Tenant space and multiplying of the entire wall size of the building side elevation by 1.5 feet. All Cabinet Wall Signs have been calculated according to overall dimensions calculated of all three buildings at Myrtle Plaza.
4. The allowable sign area can be located by 30"x 96" maximum height and horizontal layout area (lettering on facial area) not to exceed 75% area of Cabinet Sign. This is a maximum sign code for the City of Downey and cannot be altered, discussed or provisionalized.

#### **D. ALLOWABLE WALL SIGN AREA PRIMARY AND SECONDARY SIGNS (CONT)**

5. Secondary Cabinet Wall Signs can be located on interior elevations of the building; parking lot side of property. Interior Cabinet Wall signs will be permitted without street frontage, as approved by Landlord and City of Downey. A Secondary Cabinet Wall Sign may be established on a Second frontage, provided that the frontage sides onto either a street, required off-street parking on the same lot, or a driveway with access to required off-street parking. Note: same lot means same building address and in a respected area determined by Landlord and City of Downey.
6. A Secondary Cabinet wall sign shall not exceed, alter lettering font, style, logo, or color in the allowable area of the Primary Cabinet Wall Sign fascia.
7. Tenant spaces with both a street side and parking lot side elevation are allowed one (1) Primary and one (1) Secondary Cabinet Wall Sign as defined in above criteria.
8. Tenant spaces with only parking lot elevations are allowed a Primary Cabinet Wall Sign only. A Secondary Cabinet Wall Sign with Tenants on parking lot side elevations may request a Secondary Cabinet Wall Sign upon the discretion by Landlord and City of Downey as mentioned above in Sign Code Criteria.
9. Landlord reserves the right to refuse all signs for certain Tenant spaces, for placement, design, color, verbiage, Primary and Secondary Cabinet Wall Signs based on inconsistent sign criteria, or a Tenant who abuse sign criteria's, and/or installs signs without approval. Landlord reserves the right to have unauthorized signs of any kind removed. Tenants must remove unauthorized sign(s) within 15 day s of either verbal or written citation from Landlord or City of Downey.
10. Due to the exacting of materials and sizes as well as all sign restrictions and coordinated criteria from Landlord and City of Downey, it is recommended that Dial Sign Co. be the choice for each sign project. Your cooperation is appreciated.

# PLOT PLAN

## BUILDING FRONTAGES

### 8036 3RD ST., BUILDING 1

|             |              |
|-------------|--------------|
| 101 P-27.4  | S-53.7       |
| 102 P-53.5  | S-MPL • NSS  |
| 103 P-21.0  | S-33.0       |
| 104 P-40.8  | S-34.2 MPL • |
| 105 P-30.3  | S-29.3       |
| P-173.0     | S-150.5      |
| TOTAL 323.2 |              |

### 11019 MYRTLE ST., BUILDING 2

|             |                  |
|-------------|------------------|
| 101 P-52.4  | S-16.0           |
| 102 P-25.0  | S-MPL • NSS      |
| 103 P-45.5  | S.11.8 • NSS     |
| 104 P-48.3  | S.11.8 MPL • NSS |
| P-171.2     | S-39.6           |
| TOTAL 210.8 |                  |

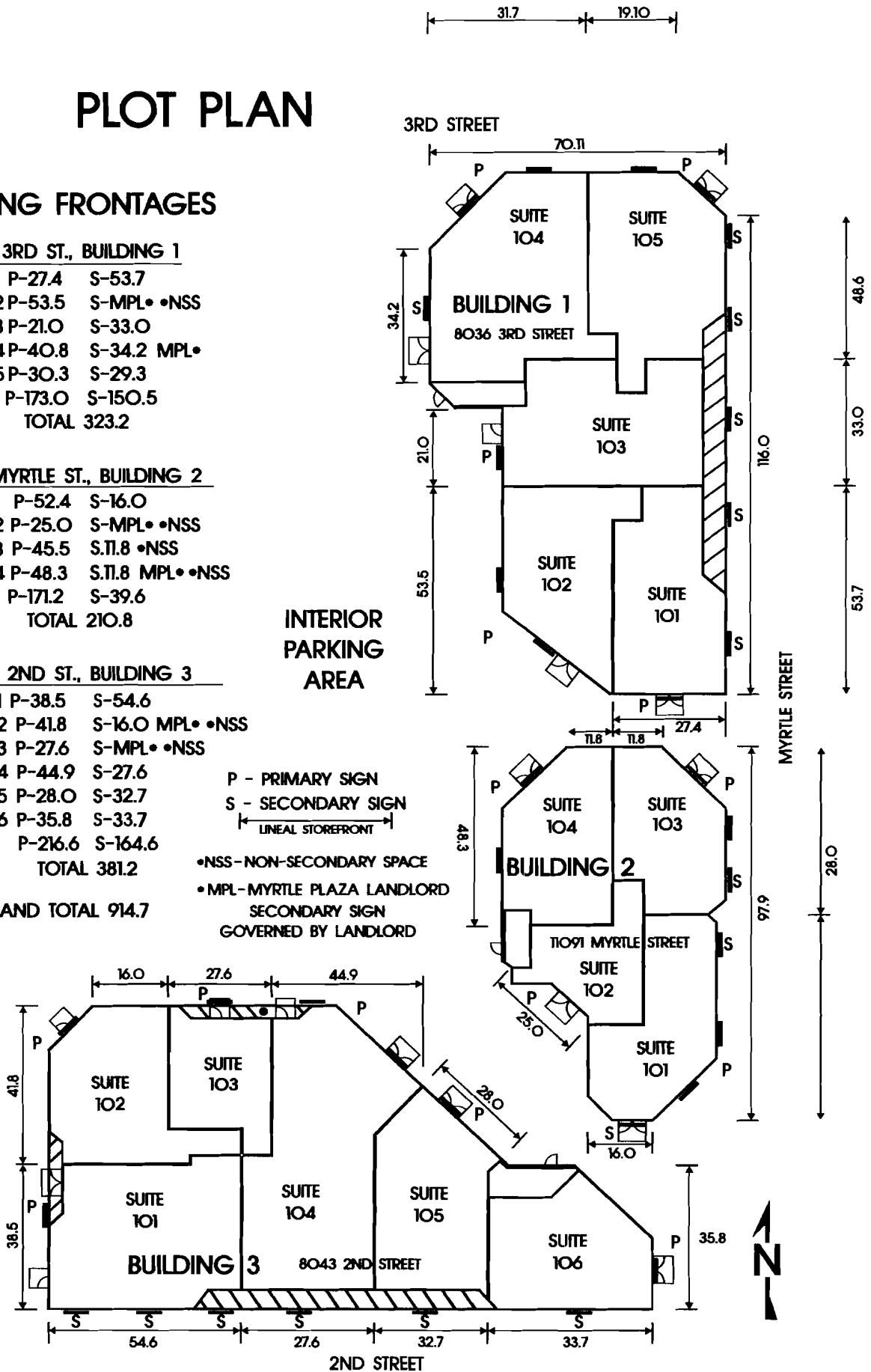
### 8043 2ND ST., BUILDING 3

|             |                  |
|-------------|------------------|
| 101 P-38.5  | S-54.6           |
| 102 P-41.8  | S-16.0 MPL • NSS |
| 103 P-27.6  | S-MPL • NSS      |
| 104 P-44.9  | S-27.6           |
| 105 P-28.0  | S-32.7           |
| 106 P-35.8  | S-33.7           |
| P-216.6     | S-164.6          |
| TOTAL 381.2 |                  |

GRAND TOTAL 914.7

P - PRIMARY SIGN  
S - SECONDARY SIGN  
LINEAL STOREFRONT

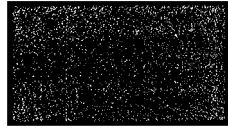
•NSS - NON-SECONDARY SPACE  
•MPL - MYRTLE PLAZA LANDLORD  
SECONDARY SIGN  
GOVERNED BY LANDLORD





# Avery 800, 900 & 3M Cast Translucent Film:

Yellow



361-T, 123C

Light Blue



661-T, 7461C

Orange



360-T, 1655C

Blue



684-T, 281-T

Red



440-T, 485

Aqua



619-T, 328C

Magenta



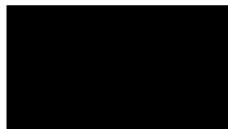
470-T, 241C

Teal



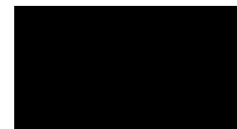
722-T, 322C

Pink



516-T, 224C

Light Green



726-T, 355C

Purple



546-T, 2622C

Green

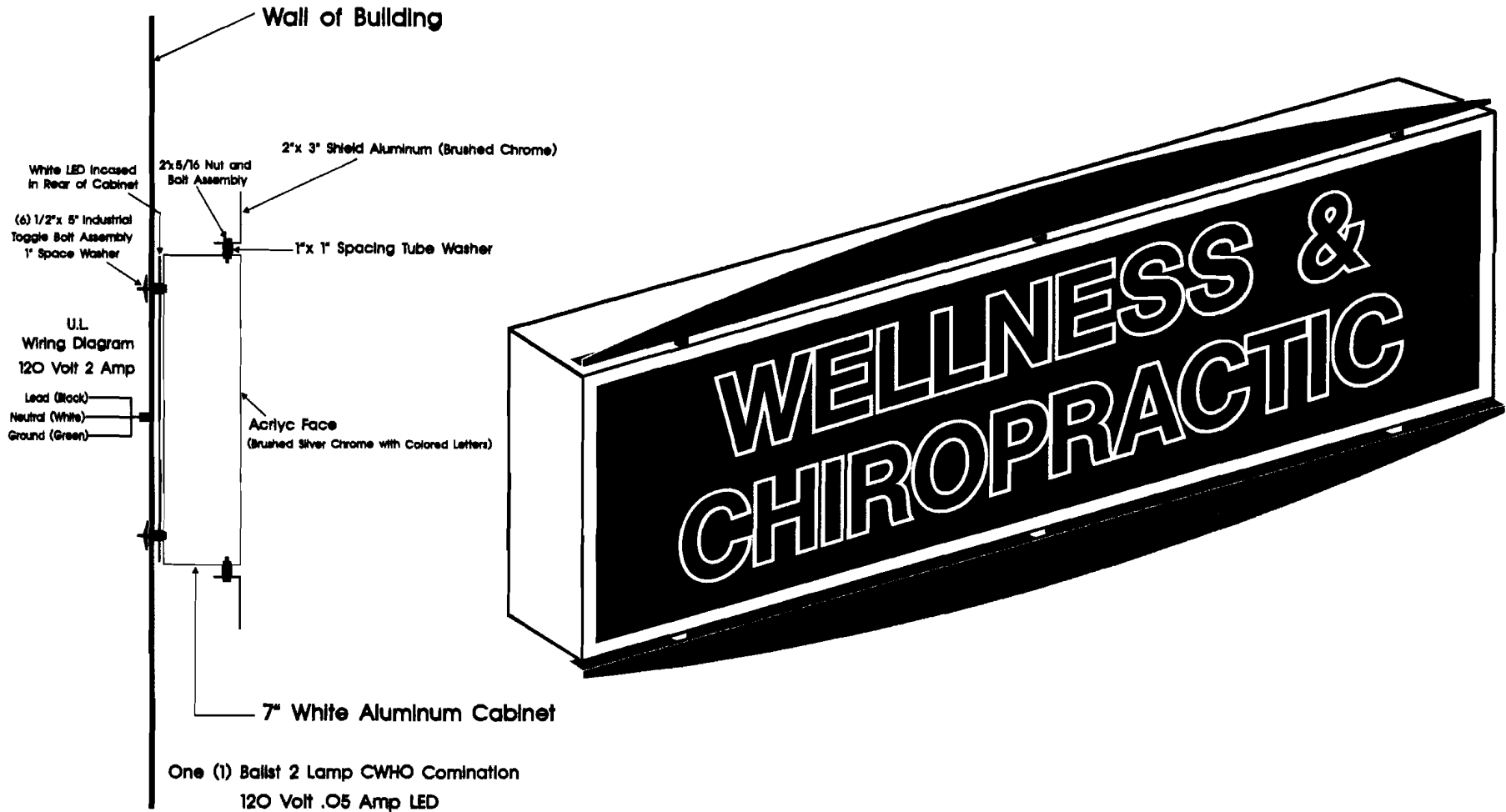


741-T, 349C

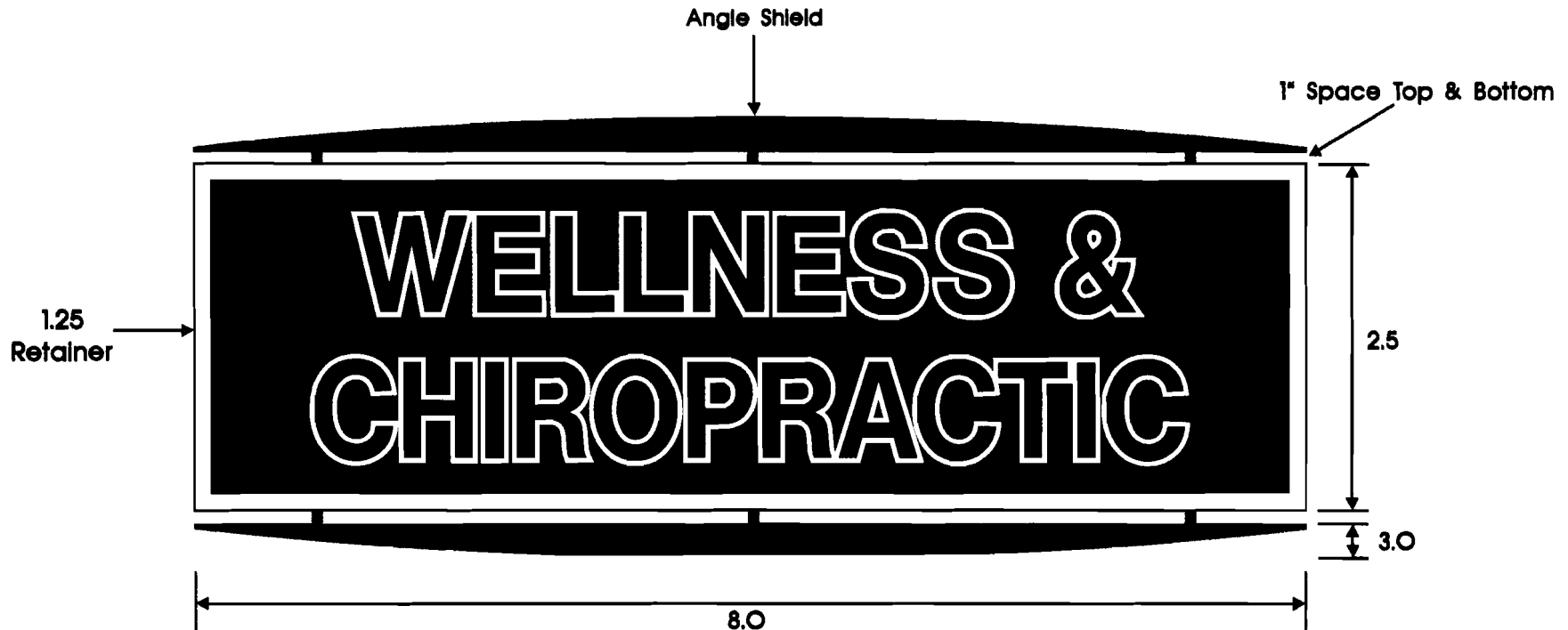


SF 100-840-S

# A-1 Mounting Detail

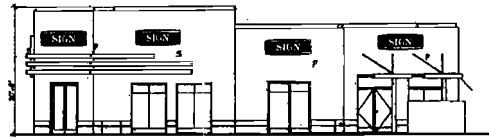


## A-2 Sign Cabinet Specifications



- White Aluminum Cabinet
- Acrylic White Face w/ Brushed Chrome
- Optional Colored Letters at 75% of Cabinet Size
- Check Page A-1 for Mounting Details

# MYRTLE PLAZA



8036  
3RD ST.

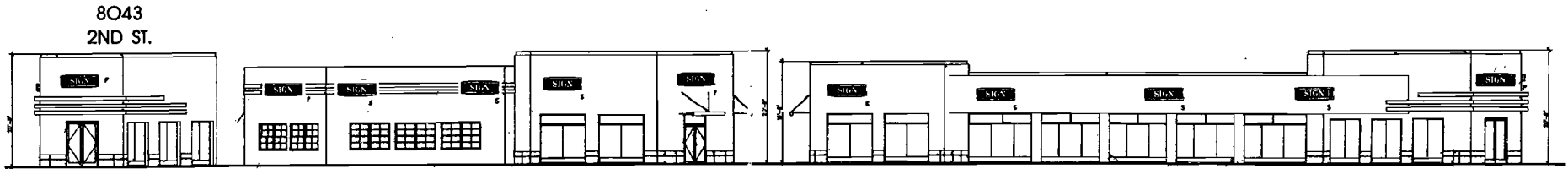
THIRD STREET ELEVATION EXTERIOR STREET FRONTAGE  
SCALE 1" = 10'-0"  
NORTH



8043  
2ND ST.

SECOND STREET ELEVATION  
SCALE 1" = 10'-0"  
SOUTH

EXTERIOR STREET FRONTAGE



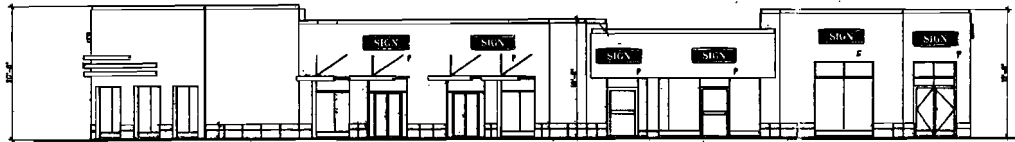
8043  
2ND ST.

11091  
MYRTLE ST.

8036  
3RD ST.

MYRTLE STREET ELEVATION  
SCALE 1" = 10'-0"  
EAST

EXTERIOR STREET FRONTAGE



8043  
2ND ST.

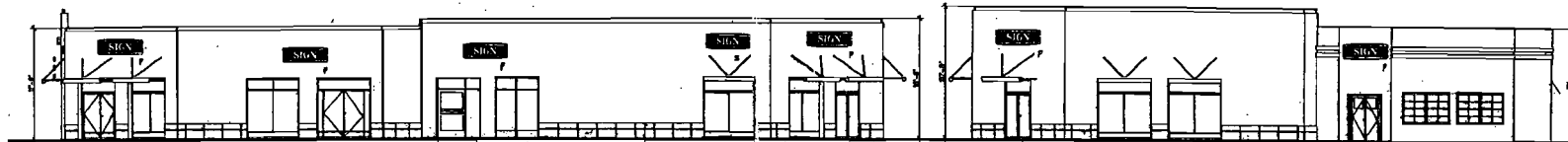
PARKING LOT NORTH ELEVATION  
SCALE 1" = 10'-0"

INTERIOR PARKING FRONTAGE



8043  
2ND ST.

INTERIOR PARKING FRONTAGE  
ANCHOR STORE WEST ELEVATION  
SCALE 1" = 10'-0"



11091  
MYRTLE ST.

8036

INTERIOR PARKING FRONTAGE