



rogram

Florence  
8077 Firestone Boulevard Downey, California

PLN-10-08122



RECEIVED

OCT 01 2010

PLANNING

# Century 21 Plaza Planned Signage Program

## Table of Contents

- I. Introduction
- II. Approval Procedure
- III. General Requirements
- Site Plan
- Sign Type A - Primary Tenant Sign
- Sign Type B - Secondary Tenant Sign

### APPROVAL PROCEDURES, continued

Sign procedures shall be strictly adhered to or shall be immediately rejected and require resubmittal. Potential tenant must provide two (2) color sets of scaled schematic drawings in 11" x 17" format, professionally prepared meeting the criteria herein.

Drawings will have:

1. Depiction of sign on specified building elevation with location, scale and all pertinent information in legible print.
2. All drawings shall depict exact sign layout - as it will appear on wall facade. This shall include colors, materials, special finishes or any other type of information necessary to the description of sign(s).
3. Materials sample board showing correct color and finish of sign and illumination products on an 8 x 11 foam core board with Contractor's Name and State License number clearly portrayed on face.

Once drawings have been approved, you will receive a stamped/dated approval on your drawings that will need to be submitted within 3 days of approval from landlord. Longer delays beyond the 3 day period shall void the approval and you will need to resubmit for additional approval.

Design and fabrication of all signs shall be the sole responsibility of the tenant.

### III. GENERAL REQUIREMENTS

1. Tenant signage to be provided by a California state licensed contractor holding a current C-45 electrical sign contractor's license. No Exceptions. Contractor shall maintain a current city business license in the city of Downey and maintain a minimum of \$3,000,000 in general liability insurance.
2. Contractor shall have submitted, two (2) approved sets of working drawings with accompanying engineering (if applicable) to the city of Downey Planning Dept. Layouts shall include scaled drawings showing building elevations, site plan, attachment details of sign, actual digital photo of building showing sign superimposed and any adjacent signs significant to the facade and building.
3. Sign or sign systems shall conform to this criteria and, shall conform to all city building codes and criteria for this type of building. It is the discretion of both the city of Downey and the landlord to reject or approve any drawings deemed "inappropriate" to the city or said building.
4. Signs shall be fabricated and installed at Tenant's sole expense. Tenant is also responsible for maintenance of all respective signs.
5. No co-operative Tenant advertising or seasonal signing is allowed.
6. Tenant shall be responsible for any damage or repairs to the building facade caused by their contractor.

### I. INTRODUCTION

The purpose of this signage criteria is to establish reasonable and esthetically appealing signs and design standards and general guidelines that assure consistency in design, content and execution of quality electrical and nonelectrical signs and branding for the client, the city of Downey and surrounding businesses and residents of the city of Downey.

These guidelines were created as a "parameter" to gauge the institution of acceptable signage in a professional manner that conforms to Uniform Building Codes [UBC] and National Electrical Code [NEC] and the city of Downey Department of Building and Safety.

### II. APPROVAL PROCEDURES

Proposed sign(s) to be installed on the Century 21 Plaza are required to have written approval from the Owner or Owner's Agent for the plaza. All designs created for installation on this plaza with conform to this criteria without exception.

# Planned Sign Program

## PROVISIONS

### III. GENERAL REQUIREMENTS, continued

7. Permits shall be the sole responsibility of the Tenant and Contractor. A copy of the permit shall be submitted to the Owner or Owner's Agent/Landlord prior to installation of sign. Tenant shall also provide a copy of the Contractor's "pocket license" for their records as well as a copy of all applicable insurances.

8. Any Tenant that vacates the premises shall be solely responsible to repair any holes or damage to building facade or electrical system to original condition.

9. The city of Downey and/or the Landlord may require sign to be repaired or refurbish their sign within seven (7) working days from initial notification. Landlord and/or city of Downey may, at their discretion, enlist another qualified electrical sign contractor to assess repairs and charge back to Tenant.

10. No animated, flashing type, audible or off-premise or vehicle signage is permitted.

11. No exposed neon, neon usage or exposed lamps are permitted.

12. Any window graphics, signs, flyers, circulars or written information is strictly prohibited.

13. All signs shall carry the Underwriters Laboratories label on any sign or sign component with current label registration.

### III. GENERAL REQUIREMENTS, continued

14. There shall be no exposed conduit, transformers, junction boxes or openings in the building surface. Raceways and or cabinet signs are prohibited.

15. Landlord is responsible for all suitable electrical feed lines to sign location. Sign components are based on LED type lighting and shall have a maximum electrical requirement not to exceed 10 amps per dedicated line with a feed line of standard 120v/20amp circuit respectively. Contractor shall clearly mark sub-panel box with sign label and initial when final installation is completed.

16. Tenant is full responsible for the satisfactory operation of their sign and the efficacy of their contractor and shall hold harmless the Landlord and his Agents and the city of Downey from damages or liabilities resulting from their Contractor's work.

17. Registered trademarks, herein referred to as Registered Corporate Identity pertains to corporate logos and logotypes that have been registered and are on file with the USPTO in Washington, D.C.

18. Signs not covered by this criteria are subject to prior review and approval of the Landlord/Developer and shall conform to the requirements of the City of Downey Sign Standards, and the Downey Zoning Code.

### III. GENERAL REQUIREMENTS, continued

19. Color of paint to be utilized shall be Dunn Edwards DEA 187 Black with satin finish. Paint to be high grade water-based enamel with low VOC (Volatile Organic Compounds) that conform to AQMD requirements and the EPA. No substitutions allowed.

20. Materials shall be Alcoa aluminum at .063 grade #6065 tensile strength. All letters shall be seamless with appropriate contiguous bead type welds free of burrs and imperfections. Each letter shall have a 3/16" lexan (polycarbonate) backer for mountings and all fasteners shall be nonvisible.

21. Lighting shall be Sloan type brite white LED's and have a U.L. rating conforming to NEC 600 guidelines. Power supplies shall have the correct driver size for quantity of LED usage.

22. Emergency disconnect switches shall be relay-type with black rubber cover for water-resistance to elements.

23. All hardware shall be galvanized steel type or equivalent non-rusting type suitable for exterior conditions. Penetrations into wall surface shall be completely sealed to the elements.

# Planned Sign Program

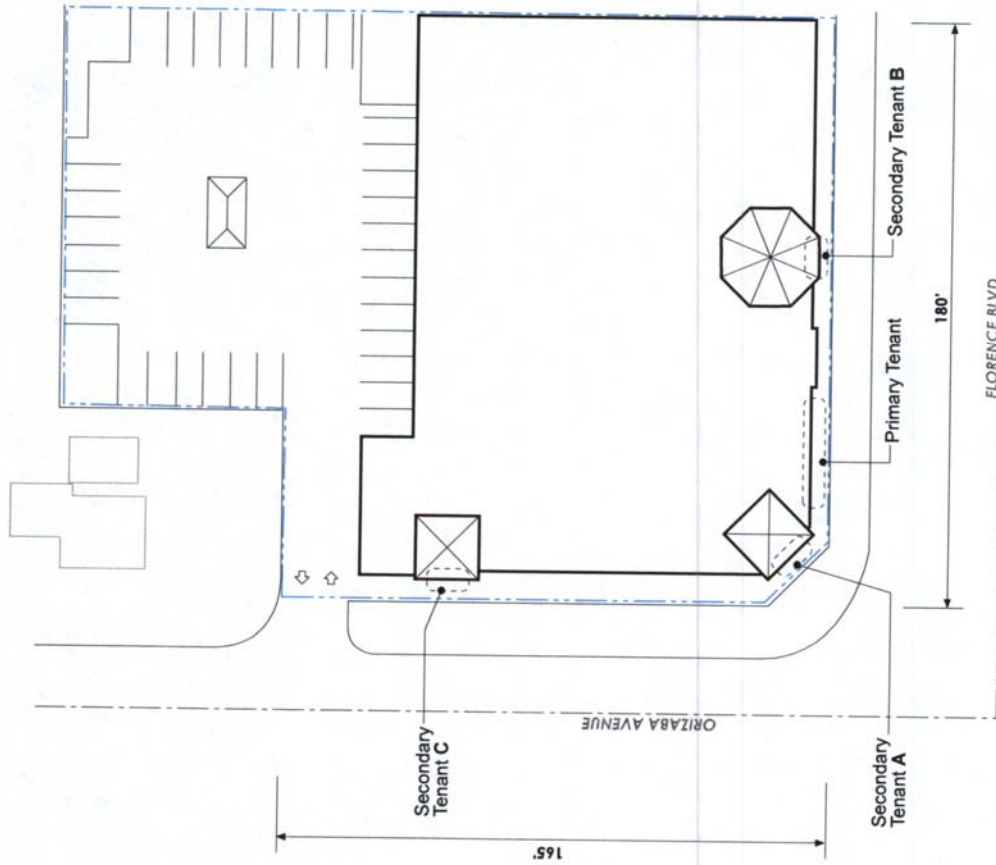
## SITE PLAN



SITE PLAN

# Planned Sign Program

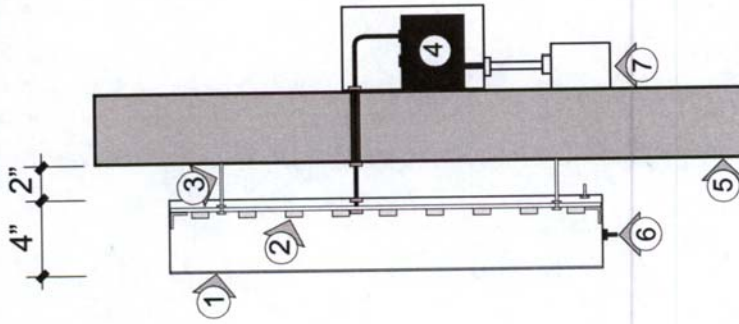
## SITE PLAN



### LEGEND

- Primary Tenant: 4,000 + s.f.
- Secondary Tenant A: 3,750 s.f.
- Secondary Tenant B: 2,000 s.f.
- Secondary Tenant C: 2,000 s.f.

NOTE: ALL SECONDARY SIGNAGE SHALL BE MOUNTED TO TOWER ELEMENTS. NO BUILDING SIGNS ON ANY OTHER PART OF THE BUILDING FACADE IS ALLOWED EXCEPT PRIMARY IDENTIFYING CENTER COPY.



### Halo Illuminated Reverse Channel Letter Attachment Detail

- 1) .063 aluminum faces and returns utilizing Alcoa aluminum with seamless construction on all edges. (3" is acceptable on depth)
- 2) Sloan brite white LED strip U.L. Listed.
- 3) Letters to mount to wall by 1/4" x 2.5" #10 lag screws with nylon anchors with sleeve covers. Minimum (4) required per letter.
- 4) Remote low-voltage power supply housed in U.L. listed box with switch.
- 5) Building fascia - metal studs.
- 6) Emergency disconnect switch on last letter of primary line into wall leading to power supply.
- 7) Existing J-box @ 120v/20a provided by landlord to the location of sign.

# Planned Sign Program

## ELEVATIONS



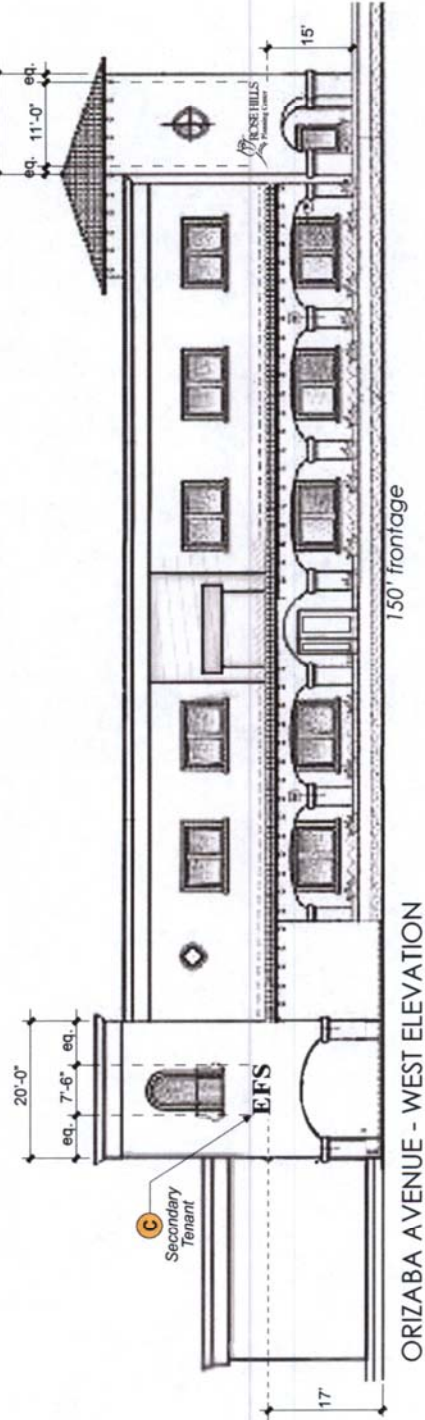
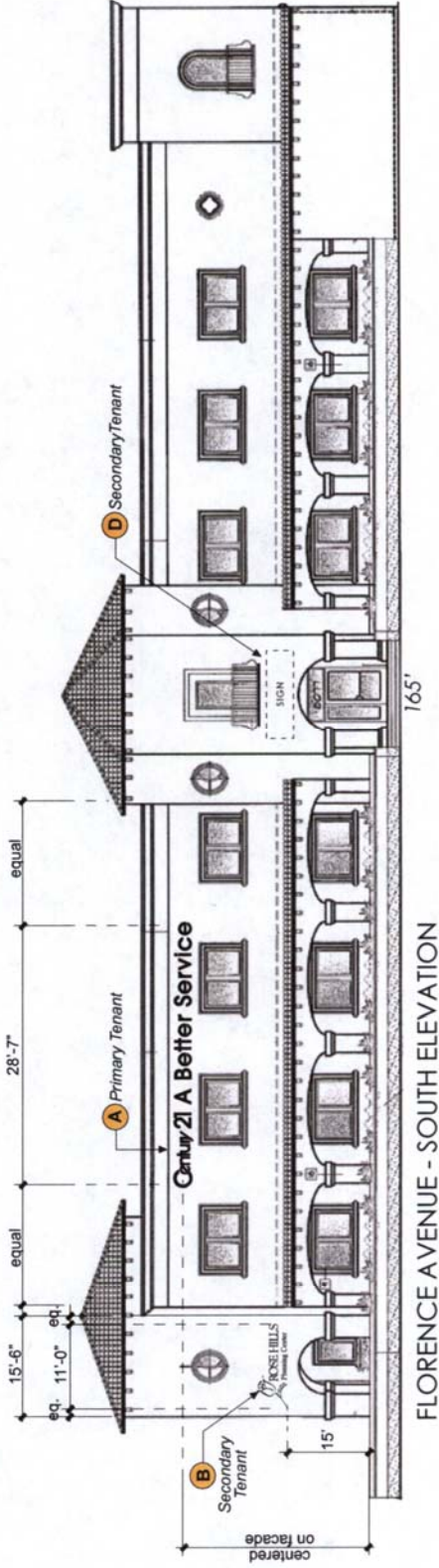
FLORENCE AVENUE - SOUTH ELEVATION



ORIZABA AVENUE - WEST ELEVATION

# Planned Sign Program

## ELEVATIONS



### Signage Formula:

Florence Avenue  
Setback (12'-5") x 1.5 + 1/3rd of lineal footage.

Orizaba Street  
Setback (10'-0") x 1.5 + 1/3rd of lineal footage.

REFER TO SIGN DETAIL EXHIBITS ON FOLLOWING PAGES



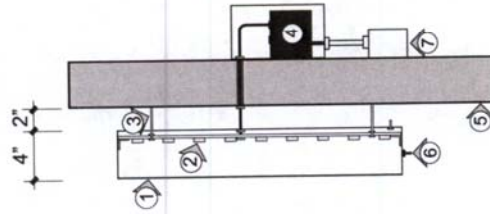
**ONE (1) SET HALO ILLUMINATED CHANNEL LETTERS**

Manufacture and install one set of individual illuminated reverse channel letters (on one line) with halo illumination with Sloan white LED lamping system on a low-voltage power supply. Letters to be fabricated of .063 aluminum and painted duranodic (satin) black with baked finish with 3/16" clear lexan backers pegged out from wall surface 2". Sign to be have U.L. labels and an emergency disconnect switch and conform to the UBC and NEC codes and the city of Downey Building Department.

28'-7"

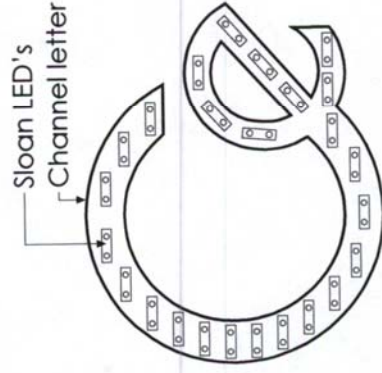
# Century 21 A Better Service

**SIGN ELEVATION**



**Halo Illuminated Reverse Channel Letter Attachment Detail**

- 1) .063 aluminum faces and returns utilizing Alcoa aluminum with seamless construction on all edges. (3" is acceptable on depth)
- 2) Sloan brite white LED strip U.L. Listed.
- 3) Letters to mount to wall by 1/4" x 2.5" #10 lag screws with nylon anchors with sleeve covers. Minimum (4) required per letter.
- 4) Remote low-voltage power supply housed in U.L. listed box with switch.
- 5) Building fascia - metal studs.
- 6) Emergency disconnect switch on last letter of primary line into wall leading to power supply.
- 7) Existing J-box @ 120v/20a provided by landlord to the location of sign.



Spacing of LED's to be no more than 3" on center for maximum illuminosity.

# Planned Sign Program

## B SECONDARY TENANT SIGN

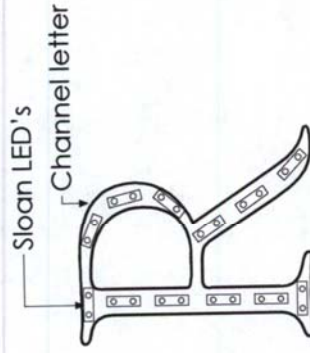
**ONE SET REVERSE HALO ILLUMINATED CHANNEL LETTERS**  
Letters are [reversed channel type] with seamless construction and painted high gloss enamel finish in colors shown.  
Alternate black satin finish paint.

Illumination to be white LED's with halo illumination.  
41.25 sq. ft.



 **ROSE HILLS**  
Planning Center

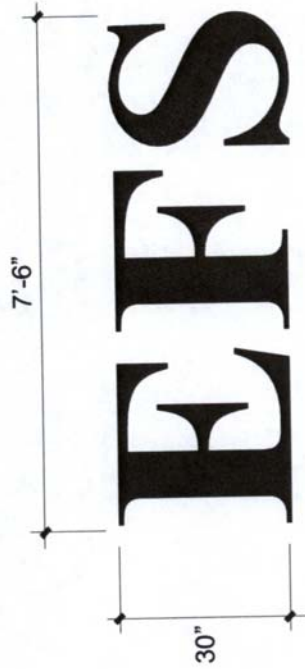
SIGN ELEVATION



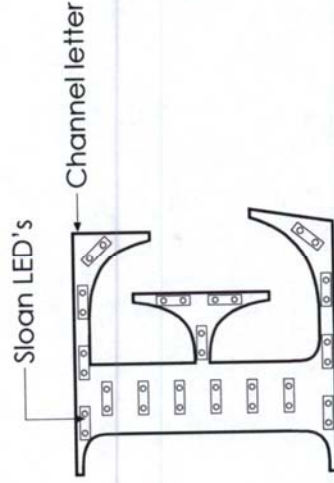
Spacing of LED's to be no more than 3" on center for maximum illuminosity.

**ONE SET REVERSE HALO ILLUMINATED CHANNEL LETTERS**  
Letters are [reversed channel type] with seamless construction and painted satin enamel finish in Dunn Edwards DEA187 Black.

Illumination to be white LED's with halo illumination.  
18.75 sq.ft.



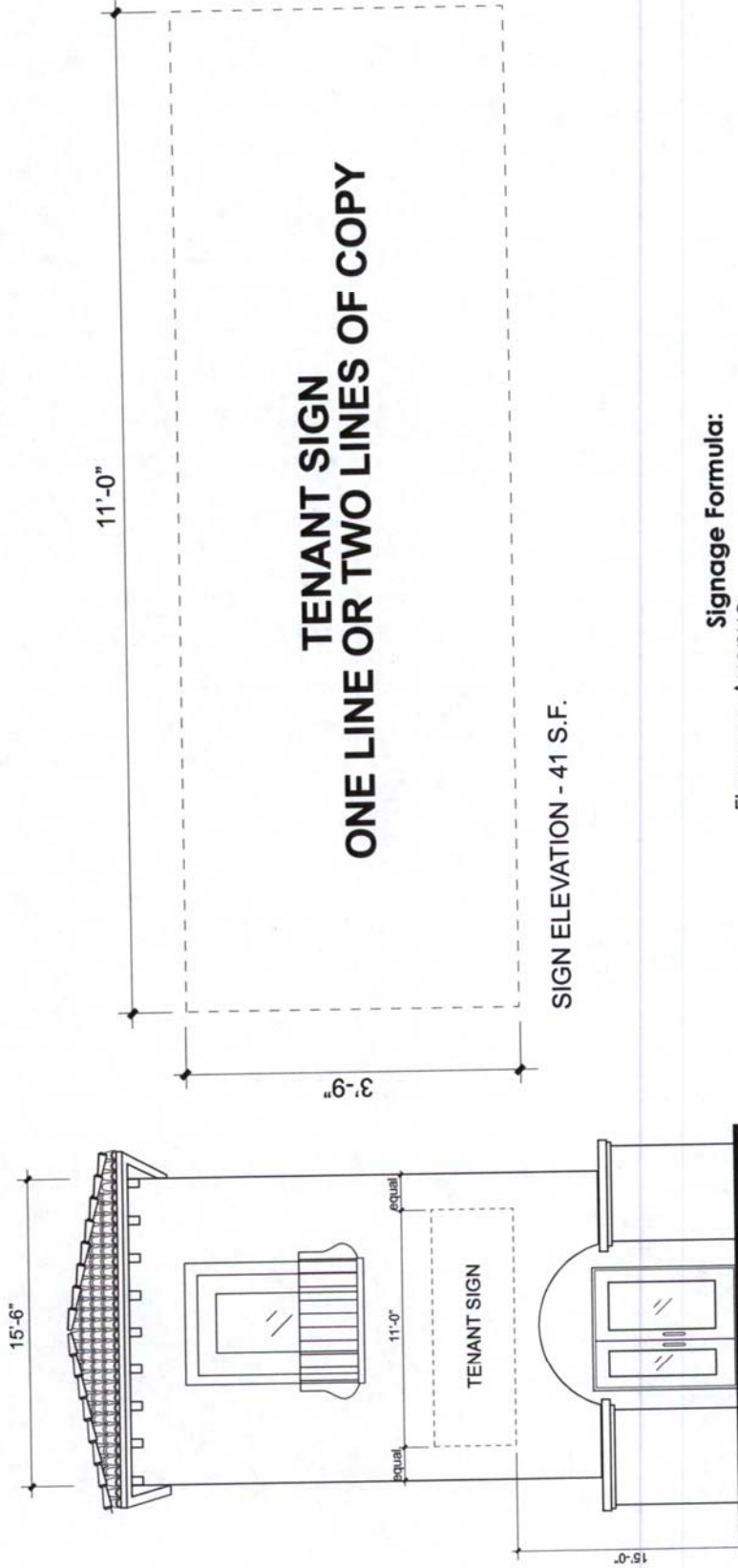
SIGN ELEVATION



Spacing of LED's to be no more than 3" on center for maximum illuminosity.

# Planned Sign Program

## D SECONDARY TENANT SIGN



### Signage Formula:

Florence Avenue  
Setback (12'-5") x 1.5 + 1/3rd of lined footage.

Orizaba Street  
Setback (10'-0") x 1.5 + 1/3rd of lined footage.

# Planned Sign Program

## SECONDARY TENANT SIGN(S) DETAIL

Secondary tenant signs will have a requirement to have rear of building metal enclosures as shown in depiction. Suitable access prevents all wiring, etc. to be housed inside building facade as Primary Tenant sign. This "enclosure" shall be strictly adhered to and have the same painted finish in both texture, color and minimal depth to not be visible from street frontage or sidewalk view.

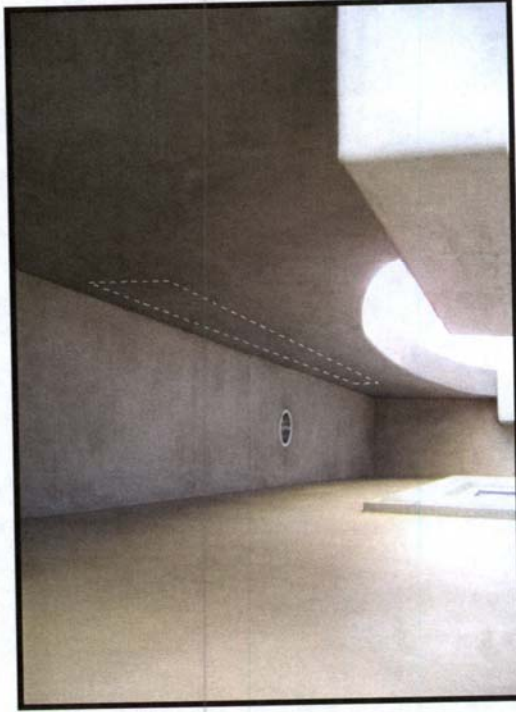
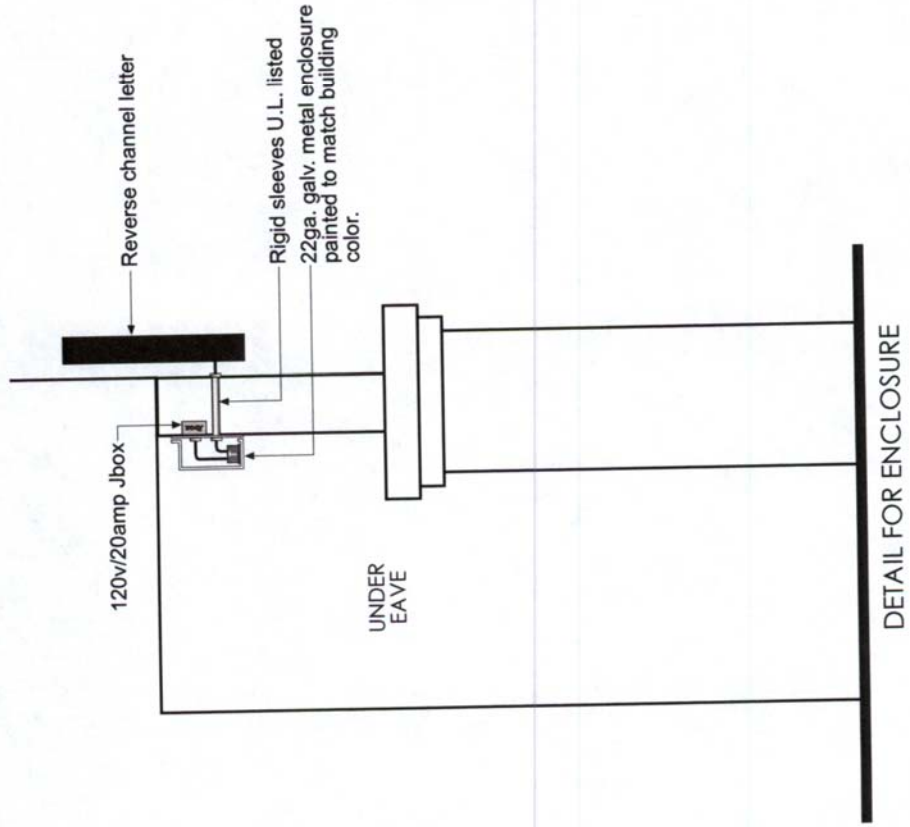


PHOTO UNDER CANOPY

# Planned Sign Program

## APPLICATION PROCEDURE

### Step 1.

Prepare working drawings on an 11" x 17" format in scale showing all sign information including all color samples and 2 color prints.

### Step 2.

Submit 2 full color prints to the Landlord or Owner for approval and/or revisions for sign proposed.

### Step 3.

Upon approval from Landlord - Tenant's licensed C-45 contractor must take approved drawings to city of Downey for submittal and issuance of a sign permit. Approved drawings must be submitted to the city planning department within 3 working days from date of approval.

### Step 3.

When permit is issued for sign; a copy of the permit and stamped drawings must be delivered to Landlord along with a current copy of your pocket license and Worker's Compensation Insurance naming the property owner as "additional insured".

Please Note: Any deviations to this sign criteria will cause a significant delay in the processing of your project. Alterations - either suggested or indicated without the consent of the Landlord and/or the city of Downey Planning Department.

### Landlord:

Century 21 Plaza  
8077 Florence Avenue  
Downey, CA. 90240  
562.806.1000  
attn: Nelson Sanchez

### City of Downey:

Planning Department  
11111 Brookshire Ave.  
Downey, CA. 90241  
562.904.7154  
attn: Jessica

### Sign Consultant:

Ecosign, Inc.  
1198 Pacific Coast Hwy.  
Seal Beach, CA. 90740  
800.700.4232  
attn: Jim Simington

Note from Ecosign, Inc.: All information provided herein was based on current information with the city of Downey Planning department and requests from the Property owner, Century 21 A Better Real Estate company. Any information provided was entered with current installation parameters and U.L. requirements however, if any information was not entered, it was unintentional and should not be construed as an omission of pertinent information.