

FIRESTONE-BROOKSHIRE CENTER

*FIRESTONE BOULEVARD & BROOKSHIRE AVENUE
DOWNEY, CALIFORNIA*

PLANNED SIGN PROGRAM

*Requires
Changes
Pursuant To
Reso 09-2563*

RECEIVED
DEC 09 2008
PLANNING

10/15/08

FIRESTONE-BROOKSHIRE CENTER ~ PLANNED SIGN PROGRAM

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I. INTRODUCTION

The purpose of these criteria is to establish sign design standards and general guidelines that assure consistency in quality and necessary to balance maximum identification within an overall harmony of design for the project.

Conformance to these criteria will be strictly enforced. Any installed non-conforming or unapproved signs shall be brought into conformance at the expense of the Tenant and/or his Sign Contractor.

II. APPROVAL PROCEDURE

All signs installed or displayed on the premises of Firestone-Brookshire Center must have written approval of the Landlord/Developer. The aesthetic characteristics of the signs (i.e., placement, size, proportion, colors, textures,

method of fabrication, location of transformers and electrical devices, etc.) are subject to the discretionary approval of the Landlord/Developer within the context of these criteria.

Prior to submission to the City of Downey for permits, and prior to construction and installation of any sign or graphic covered by these criteria, tenant must submit two (2) sets of professionally prepared drawings of their proposed signage meeting these criteria to Landlord/Developer for review and approval.

Drawings must:

1. Depict sign on building elevation with dimensional location and scale.
2. Include all specifications for construction and installation, including but not limited to, colors, materials, and illumination details.

Following Landlord/Developer approval, Tenant must submit approved drawings to the City of Downey for review and permits prior to construction. All design, processing and construction shall be at the Tenant's sole cost and expense.

III. GENERAL REQUIREMENTS

1. All work to be performed by a professional sign company. Said sign company must be in possession of a current contractor's license to perform such work, in addition to a current city business license. Said sign company must maintain a minimum of \$3,000,000

insurance to be working on property.

2. Each Tenant shall submit or cause to be submitted to the Landlord/Developer and the City of Downey for approval before fabrication two (2) copies of detailed drawings, to scale, indicating the location, size, layout, design and color of the proposed signs, including all lettering and or graphics. These drawings should be submitted along with site plan indicating the location of the lease space on the site, and elevation showing sign placement and lease space width. **NOTE: All sign layouts shall include a digital image of the building frontage with proposed sign in a scaled format to include adjacent tenant signage, if applicable.**
3. All signs shall be reviewed and approved in writing by the Landlord/Developer for conformance with these criteria and overall design quality as well as Tenant's lease agreement. Approval or disapproval of sign submittal based on aesthetics of a design shall remain the sole right of the Landlord/Developer.
4. All signs must comply with current City of Downey planning, zoning, building and electrical codes.

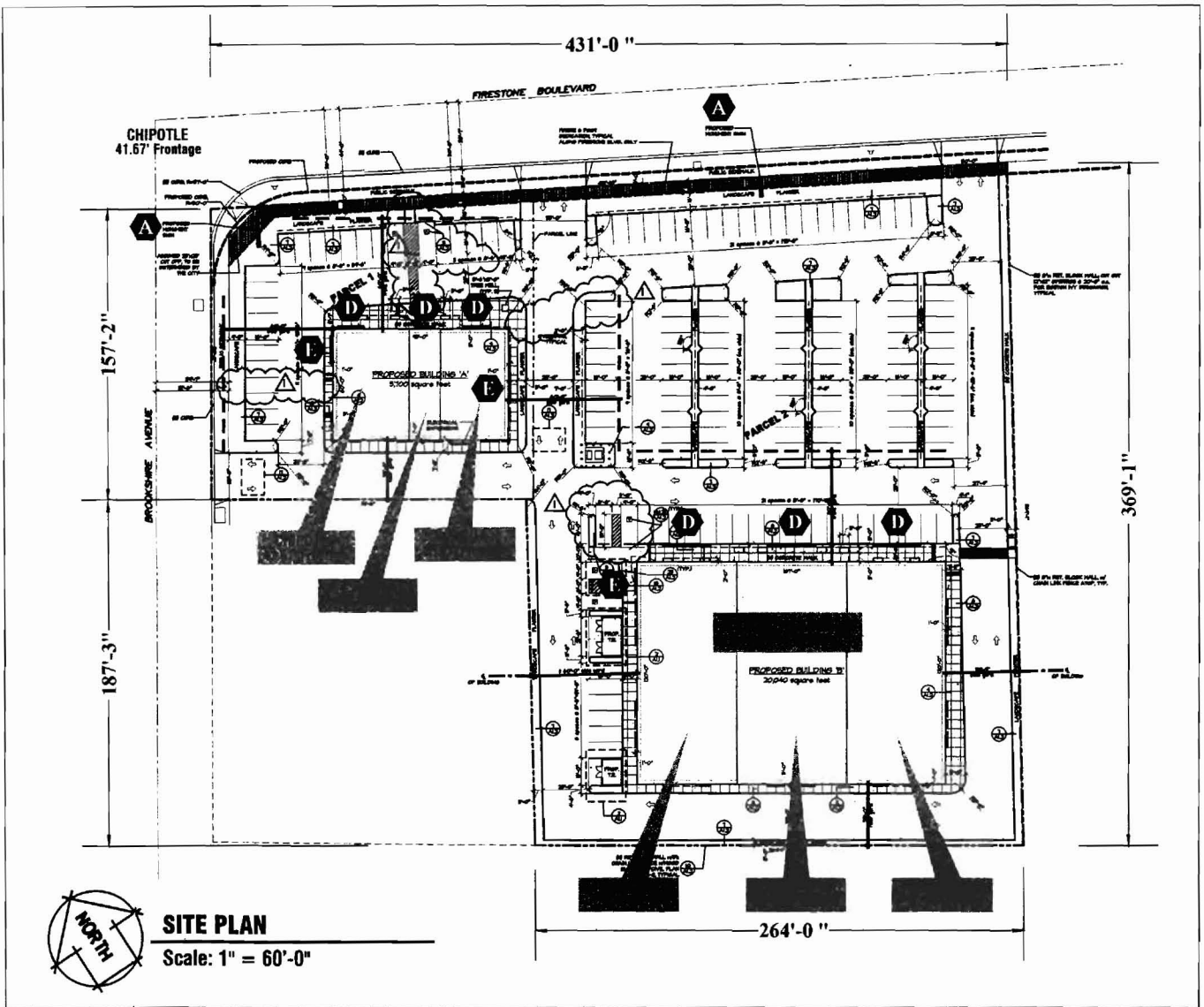
5608-05-02

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III. GENERAL REQUIREMENTS (cont.)

5. *City approval and permits: Upon approval by the Landlord/Developer, Tenant shall secure a sign permit from the City of Downey by bringing two (2) copies of the proposed drawings (approved by the Landlord/Developer) to the Planning Department. All permits required by the City of Downey for signs and their installation must be obtained and paid for by the Tenant prior to installation. Tenant shall be responsible to ensure their contractor obtains a final permit.*
6. *All building signs shall be constructed and installed at Tenant's expense. Tenant is also responsible for the maintenance of building signs.*
7. *Co-operative Tenant advertising, signing, or seasonal event signing shall be considered special event signing and could require a special activities permit from the City of Downey. This will require review on a 'case by case' basis.*
8. *In the event a Tenant vacates his premises, Tenant shall be responsible for the removal of any wall and/or logo sign, with all holes being repaired and repainted to match the building exterior.*
9. *Tenant's sign contractor shall repair any damage to any work caused by his actions. Incomplete repairs are the ultimate responsibility of the Tenant.*
10. *Upon notice by the City of Downey or the Landlord/Developer, a Tenant shall be required to repair or refurbish their sign structure, sign face and/or sign illumination within seven (7) working days.*
11. *No animation, flashing, audible, off-premise or vehicle signs are permitted.*
12. *No exposed lamps will be permitted.*
13. *No window signing to be allowed, other than that specified on exhibits as related to shop addressing. Hours of operation, approved credit card names, emergency telephone numbers, etc., not to exceed a total of 144 square inches.*
14. *All conduit, transformers, junction boxes, openings in the building surface, etc. shall be concealed. No raceways or sign cabinets (boxes) are allowed. The City of Downey and the Landlord/Developer shall approve the method of installation.*
15. *Tenant's contractor shall completely install and connect sign display including primary wiring from Tenant's electrical sub-panel to J-box at sign location.*
16. *Tenant shall be fully responsible for the operations of his sign contractor and shall indemnify, defend and hold harmless the Landlord/Developer and his agents from damages or liabilities resulting from his contractor's work.*
17. *Registered trademarks, herein referred to as Registered Corporate Identity, pertains to corporate logos and logotypes that have been registered and are on file with the UNITED STATES PATENT AND TRADEMARK OFFICE in Washington, D.C.*
18. *Signs not covered by these criteria are subject to prior review and approval of the Landlord/Developer and shall conform to the requirements of the City of Downey Sign Standards and the Downey Zoning Code.*

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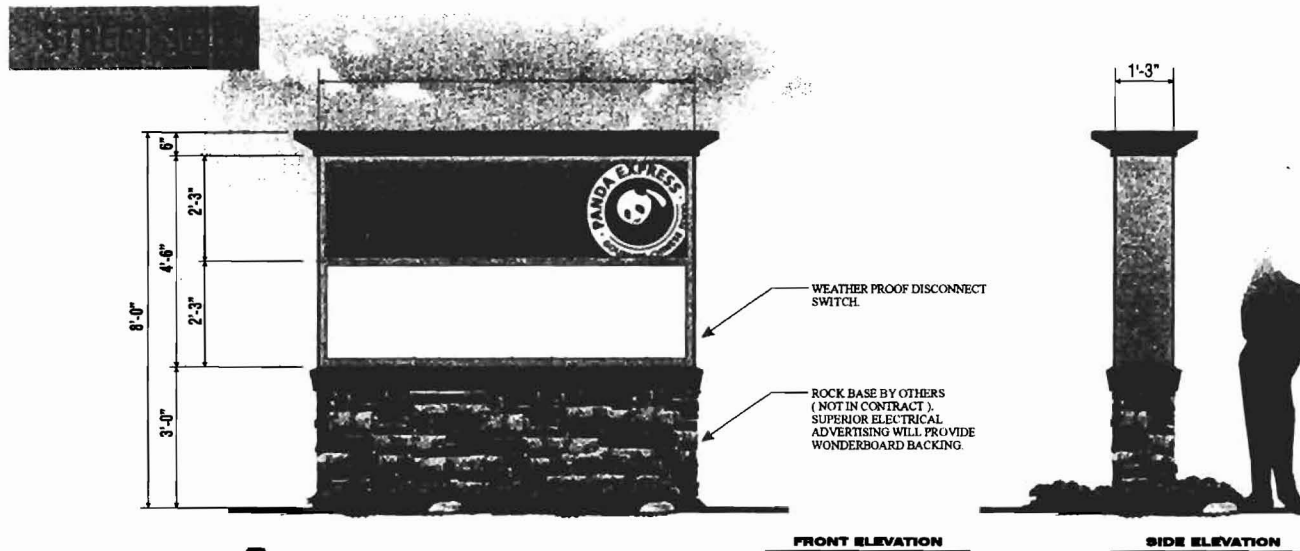
LEGEND

- A** Sign Type A - Multi-Tenant Monument Sign
- B** Sign Type B - Single Tenant Monument Sign
- D** Sign Type D - Tenant Primary Identification
- E** Sign Type E - Tenant Secondary Identification

SITE PLAN
Scale: 1" = 60'-0"

08/08/05103

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A SIGN TYPE A (Project Entry Monument Sign)

Scale: 3/8" = 1'-0"

Quantity: One (1) Required

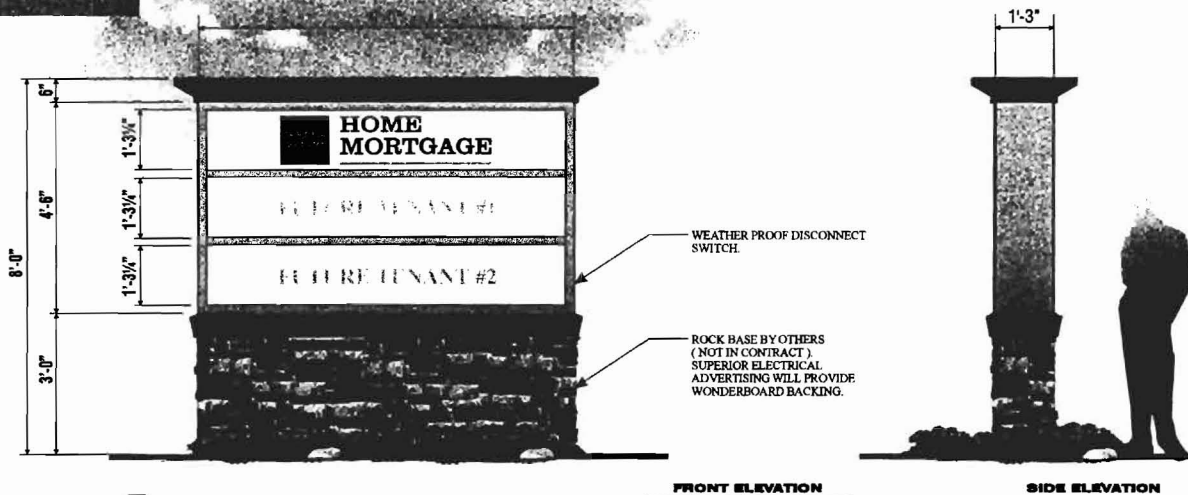
GENERAL SPECIFICATIONS

- Location: Corner of Firestone Boulevard & Brookshire Avenue.
- Maximum Number of Tenants Allowed: Two (2)
- Sign base: Constructed of river rock (matching project stone) by others-Not In Contract.
- Sign shall be custom fabricated from welded square tube aluminum frame.
- Tenant copies: 3M translucent vinyl copies or background, applied on first surface of white lexan material.
- Sign cabinet shall be painted to match PMS #480C with a light stucco finish.
- Illumination shall be provided by T12 high output fluorescent lamps on centers for even lighting which shall be powered by 800 mA ballasts.
- All signage shall conform to all UL specifications and bear a UL label.
- Maximum size: 31.35 square feet.
- Disconnect switch & labels away from street side.
- Text not to exceed 75% of background (Logos - 25% of Text).
- Acceptable colors for text shall be Black or Red vinyl, background to be White acrylic.

(EXCEPT NATIONALLY RECOGNIZED & TRADEMARKED SIGNS WITH LANDLORD & CITY APPROVAL)

4/5/08:05:03

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B SIGN TYPE A (Project Entry Monument Sign)

Scale: 3/8" = 1'-0"

Quantity: One (1) Required

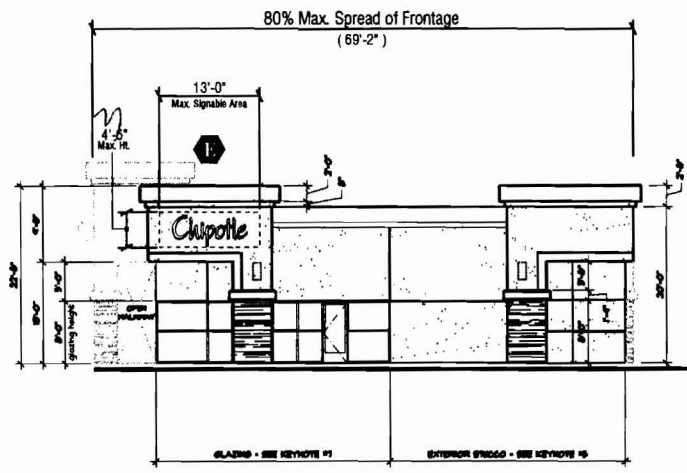
GENERAL SPECIFICATIONS

- Location: Firestone boulevard Driveway Entrance
- Maximum Number of Tenants Allowed: Three (3)
- Sign base: Constructed of river rock (matching project stone) by others-Not In Contract.
- Sign shall be custom fabricated from welded square tube aluminum frame.
- Tenant copies: 3M translucent vinyl copies or background, applied on first surface of white lexan material.
- Sign cabinet shall be painted to match PMS #430C with a light stucco finish.
- Illumination shall be provided by T12 high output fluorescent lamps on centers for even lighting which shall be powered by 800 mA ballasts.
- All signage shall conform to all UL specifications and bear a UL label.
- Maximum size: 55 square feet.
- Disconnect switch & labels away from street side.
- Text not to exceed 75% of background (Logos - 25% of Text).
- Acceptable colors for text shall be Black or Red vinyl, background to be White acrylic.

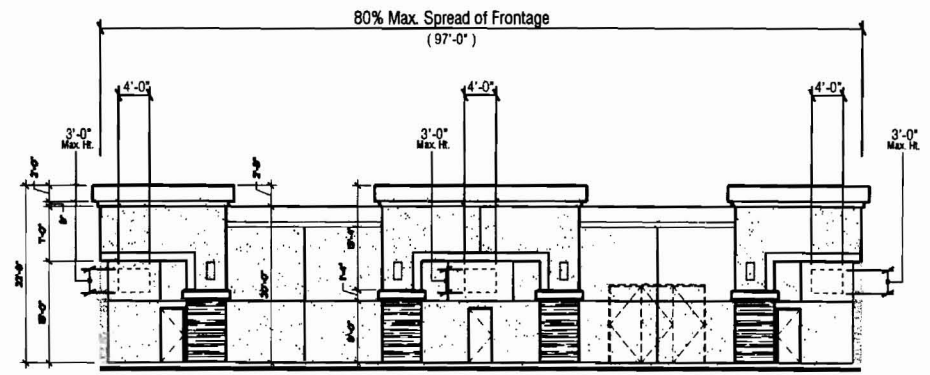
(EXCEPT NATIONALLY RECOGNIZED & TRADEMARKED SIGNS WITH LANDLORD & CITY APPROVAL)

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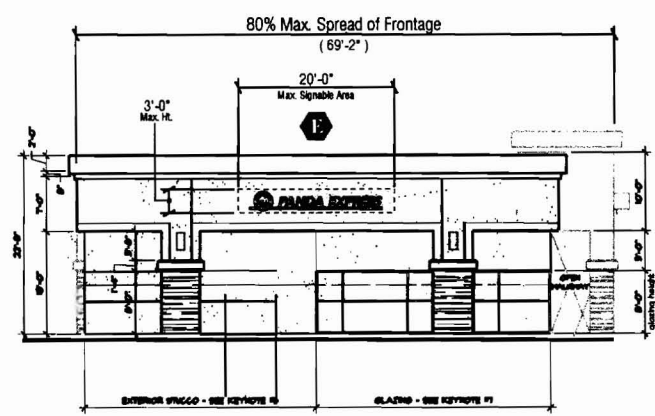
FIRESTONE-BROOKSHIRE CENTER ~ PLANNED SIGN PROGRAM



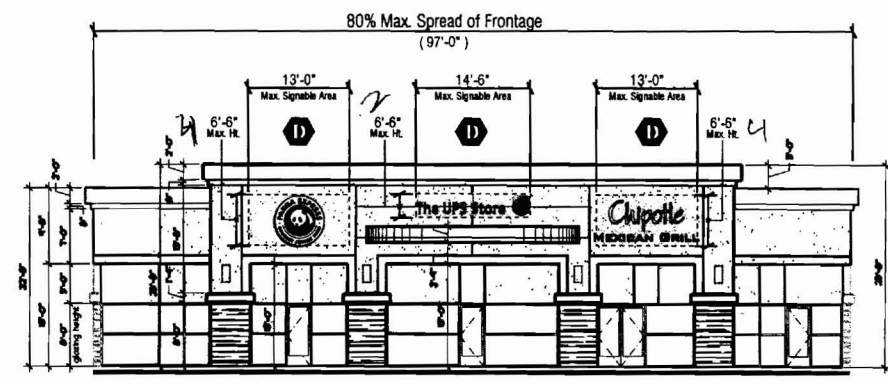
WEST BUILDING ELEVATION
Scale: 1/16" = 1'-0"



SOUTH BUILDING ELEVATION
Scale: 1/16" = 1'-0"



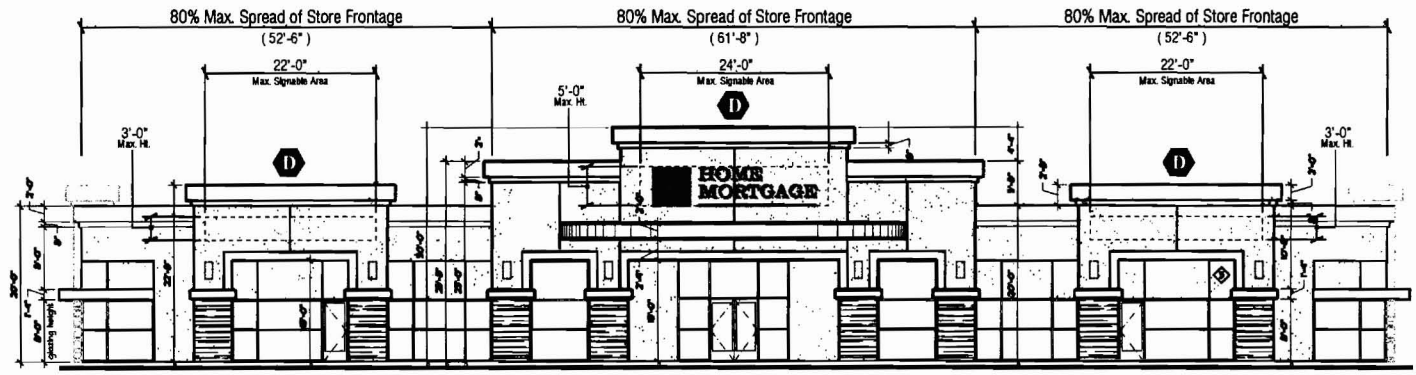
EAST BUILDING ELEVATION
Scale: 1/16" = 1'-0"



NORTH BUILDING ELEVATION
Scale: 1/16" = 1'-0"

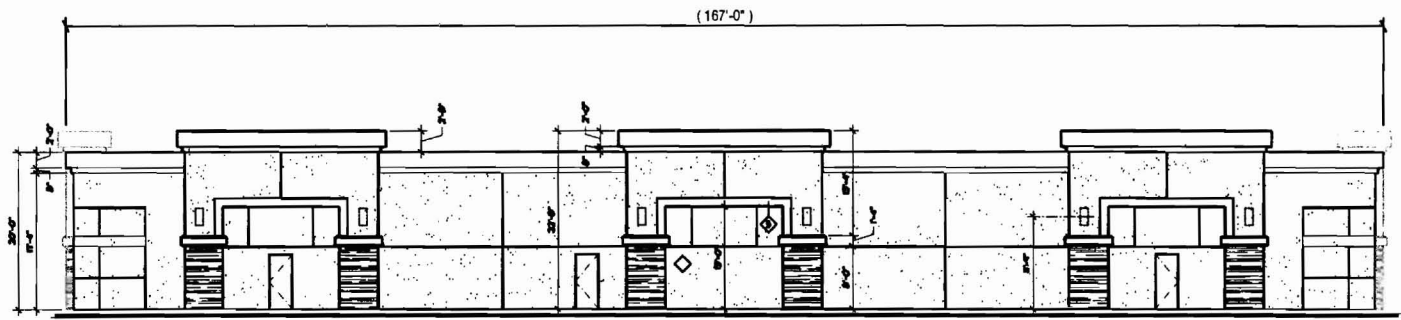
BUILDING "A" 0808105103

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NORTH BUILDING ELEVATION

Scale: 1/16" = 1'-0"

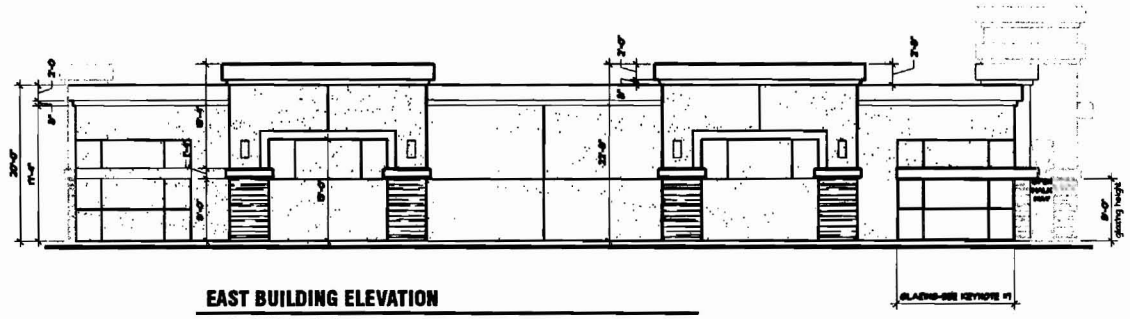


SOUTH BUILDING ELEVATION

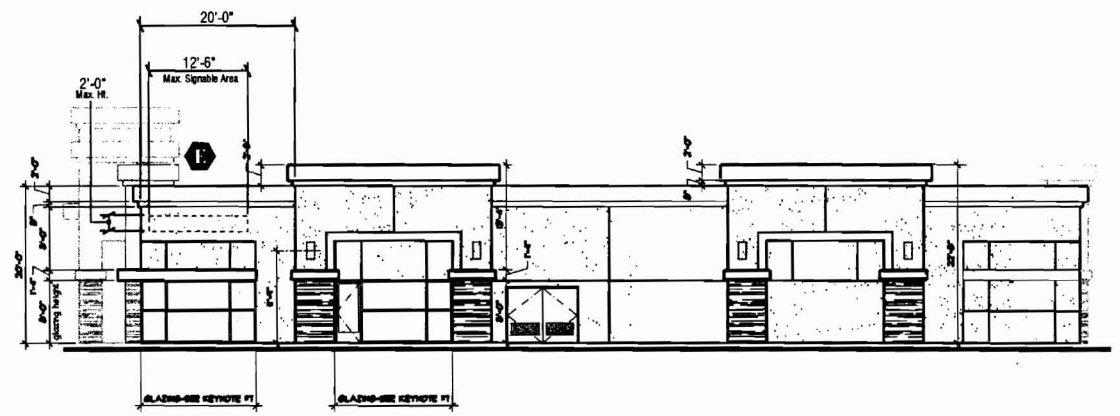
Scale: 1/16" = 1'-0"

BUILDING "B" 0808105303

FIRESTONE-BROOKSHIRE CENTER ~ PLANNED SIGN PROGRAM

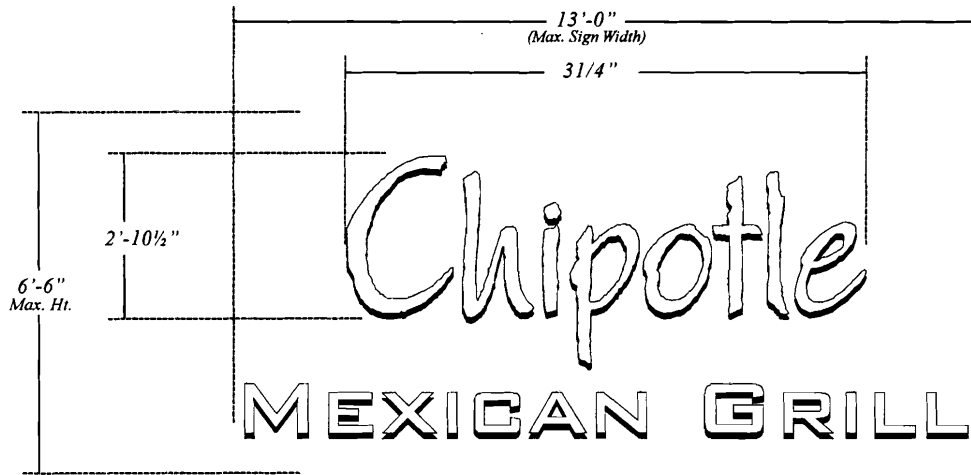


EAST BUILDING ELEVATION
Scale: 1/16" = 1'-0"



WEST BUILDING ELEVATION
Scale: 1/16" = 1'-0"

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SIGN TYPE D (Tenant Primary & Secondary Identification)

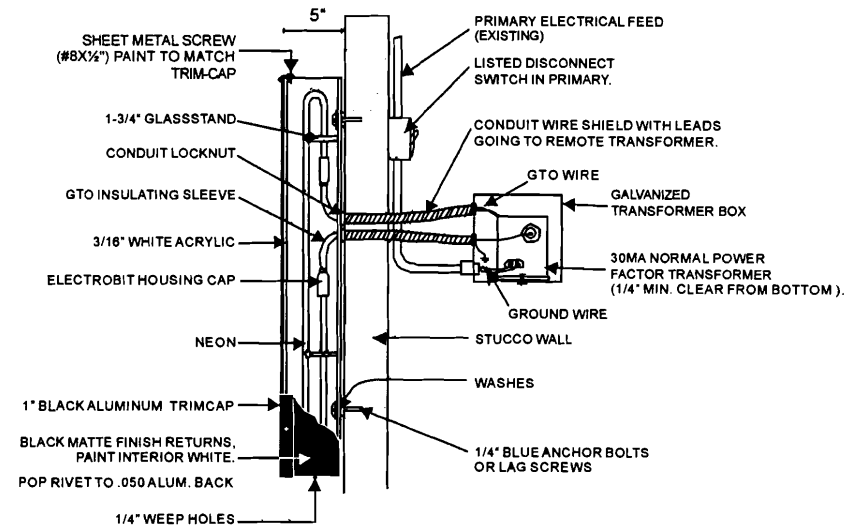
Internally Illuminated Channel Letter Option

Not to Scale

Quantity: *One (1)* set allowed

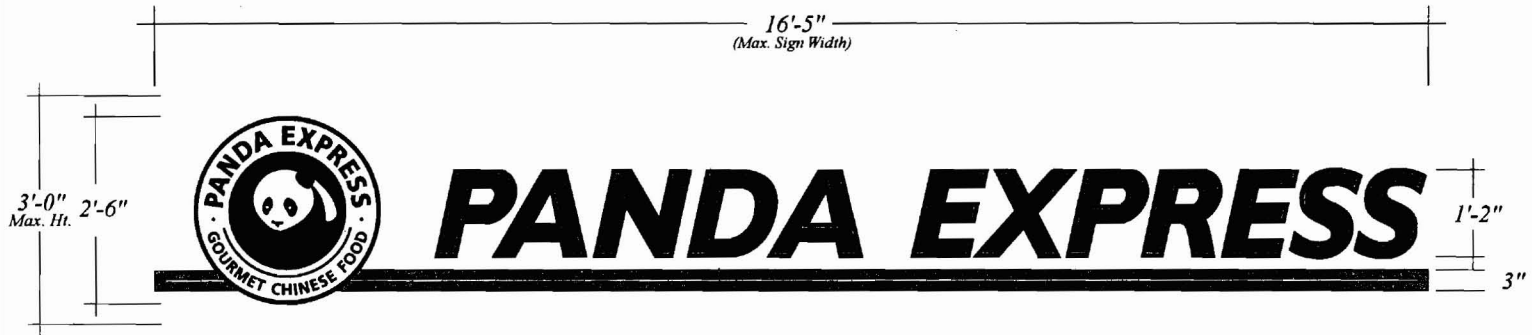
GENERAL SPECIFICATIONS

- Location of letters shall be as noted on elevations.
- Letters shall be internally illuminated channel letters mounted flush to wall fascia.
- Letters shall be 5" deep custom fabricated aluminum channel with acrylic faces and trimcap.
- Illumination shall be provided by a minimum of 13 mm neon tubing or LED illumination.
- Neon tubing shall be powered by 30 mA transformers installed behind wall fascia.
- All letters shall conform to all UL specifications and bear a UL label.
- Sizes are not to exceed as noted on elevations.
- Colors: (EXCEPT NATIONALLY RECOGNIZED & TRADEMARKED SIGNS WITH LANDLORD & CITY APPROVAL)



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SIGN TYPE E (Tenant Secondary Identification)

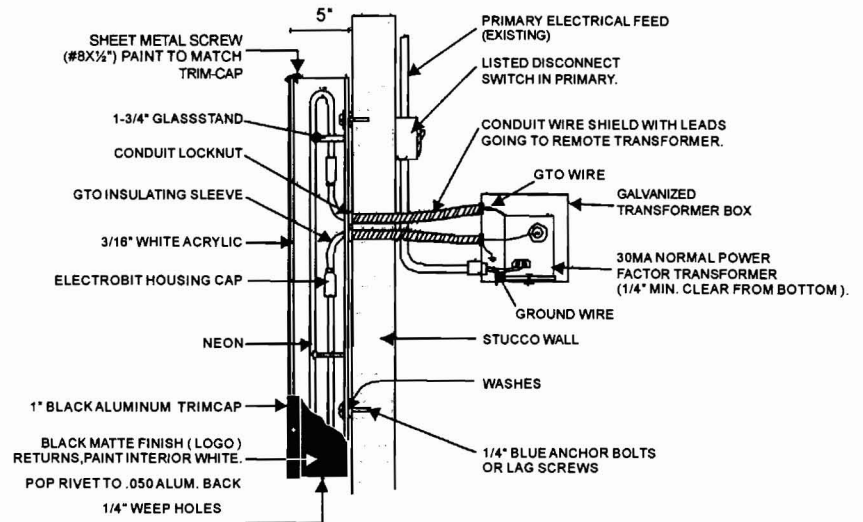
Internally Illuminated Channel Letter Option

Not to Scale

Quantity: One (1) set allowed

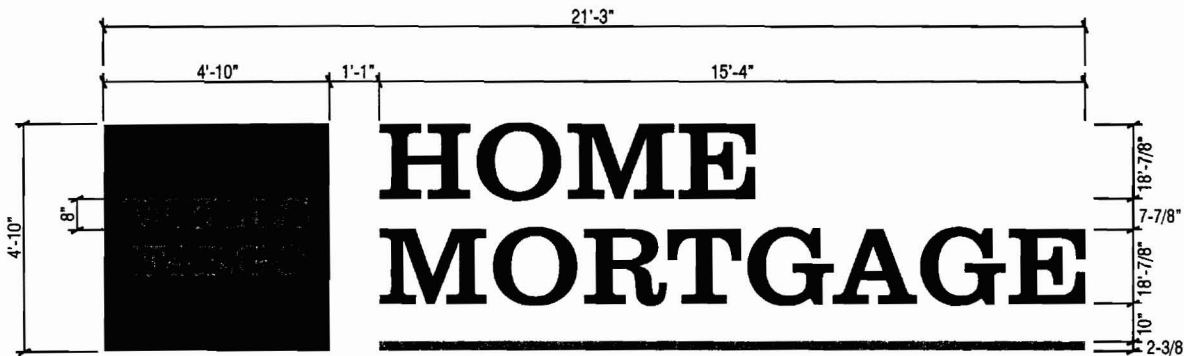
GENERAL SPECIFICATIONS

- Location of letters shall be as noted on elevations.
- Letters shall be internally illuminated channel letters mounted flush to wall fascia.
- Letters shall be 5" deep custom fabricated aluminum channel with acrylic faces and trimcap.
- Illumination shall be provided by a minimum of 13 mm neon tubing or LED illumination.
- Neon tubing shall be powered by 30 mA transformers installed behind wall fascia.
- All letters shall conform to all UL specifications and bear a UL label.
- Sizes are not to exceed as noted on elevations.
- Colors: (EXCEPT NATIONALLY RECOGNIZED & TRADEMARKED SIGNS WITH LANDLORD & CITY APPROVAL)



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SIGN TYPE D (Tenant Primary Identification)

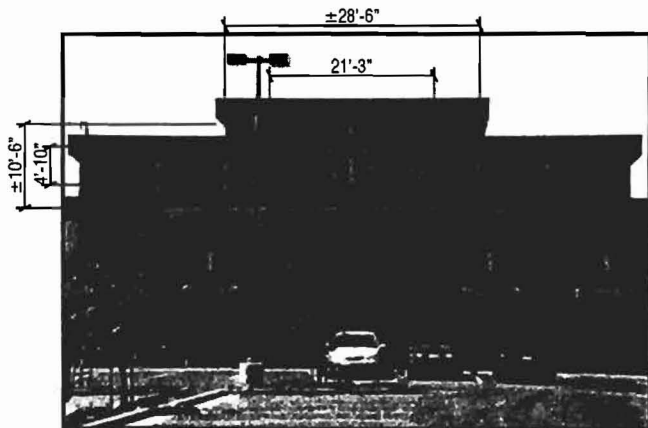
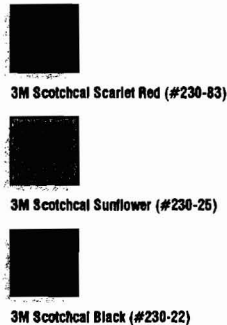
Internally Illuminated Channel Letter / Channel Plaque

Scale: 3/8" = 1'-0"

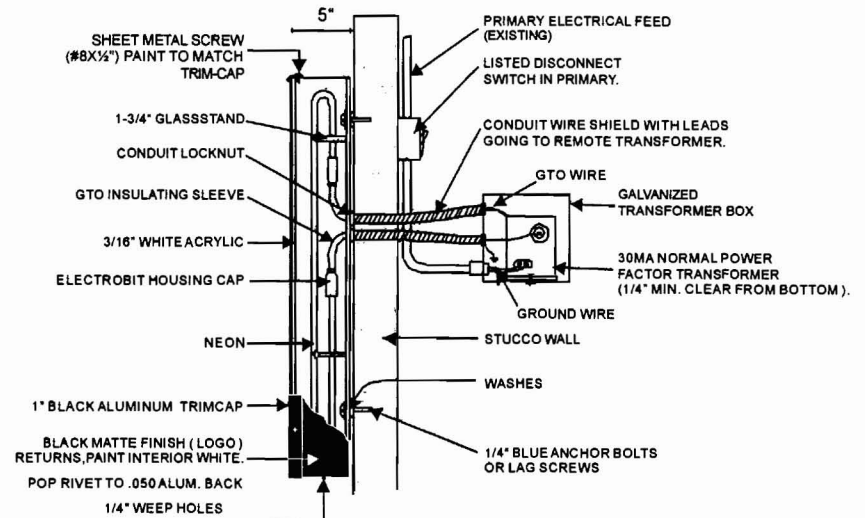
Quantity: One (1) set allowed

GENERAL SPECIFICATIONS:

- Location of letters shall be at the Major Tenant Entry and side elevation.
- Letters/Plaque shall be internally illuminated channel letters mounted flush to wall fascia.
- Letters/Plaque shall be 5" deep custom fabricated aluminum channel with acrylic faces and trimcap.
- Illumination shall be provided by a minimum of 13 mm neon tubing be
- Neon tubing shall be powered by 30 mA transformers which shall be remotely installed behind wall fascia.
- All letters shall conform to all UL specifications and bear a UL label.
- Maximum square footage allowed is 120.0 square feet on north elevation.



SCALE: 1/16" = 1'-0"



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Maximum Copy Area

3'-0" MAX

TENANT NAME

GENERAL SPECIFICATIONS

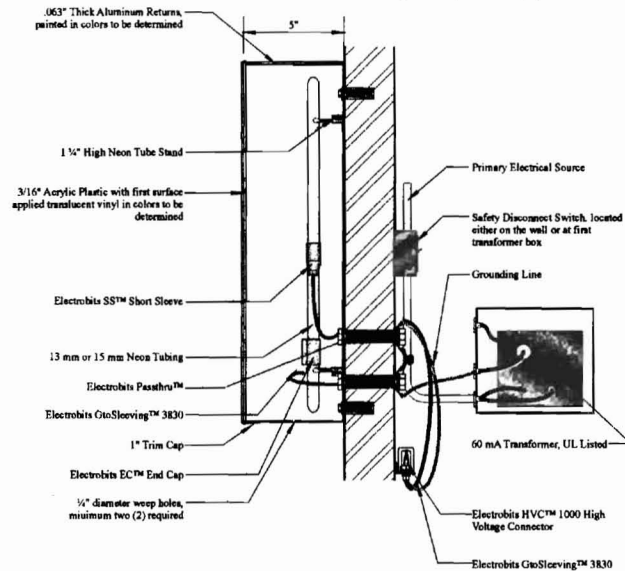
- Location of letters (see site plan for location).
- Letters shall be internally illuminated channel letters mounted flush to wall fascia.
- Letters shall be 5" deep custom fabricated aluminum channel with acrylic faces and trimcap.
- Illumination shall be provided by a minimum of 13 mm neon tubing. Neon tubing shall be powered by 30 mA transformers which shall be remotely installed behind wall fascia.
- All letters shall conform to all UL specifications and bear a UL label.
- Maximum square footage allowed is per Zoning Code.
- Faces of letters limited to red, blue, white, green, yellow

SIGN TYPE D AND E (Tenant Identification)

Internally Illuminated Channel Letter Option

Not to Scale

Quantity: *One (1)* set allowed



CHANNEL LETTER SECTION

Not to Scale

PAGE 105103

RESOLUTION NO. 09-2563

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY
APPROVING PLANNED SIGN PROGRAM NO. 08-100, THEREBY THE LOCATION
AND APPEARANCE OF THE SIGNS WITHIN A MULTI-TENANT COMMERCIAL
SHOPPING CENTER ON PROPERTY LOCATED AT 8500-8530 FIRESTONE
BOULEVARD AND ZONED C-2 (GENERAL COMMERCIAL)**

THE PLANNING COMMISSION OF THE CITY OF DOWNEY DOES RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Downey does hereby find, determine and declare that:

- A. On September 22, 2004, the Design Review Board approved Design Review Case No. 04-58, thereby approving the architectural design, colors, and landscaping for the commercial center. On August 24, 2005, the Design Review Board approved a revision to DRB Case No. 04-58, thereby approving a Planned Sign Program for the center; and,
- B. On September 7, 2005, the Planning Commission adopted Resolution No. 2402, thereby approving Zone Variance No. 2402. This variance allowed a deviation from the Municipal Code provisions for the number of tenants on a monument sign, thereby permitting two tenants instead of one; and,
- C. On August 29, 2008, the applicant submitted an application for Planned Sign Program No. 08-100, requesting to revise the existing sign program to allow additional wall signs on Building 'B'. Staff deemed the application complete on December 22, 2008; and,
- D. On December 23, 2008, notice of the pending public hearing was mailed to all property owners within 500' of the subject site. Additionally, the public notice was published in the *Long Beach Press-Telegram* on December 26, 2008; and,
- E. The Planning Commission held a duly noticed public hearing on January 7, 2009 and after fully considering all oral and written testimony and facts and opinions offered at the aforesaid public hearing adopted this resolution, subject to conditions of approval (Exhibit A).

SECTION 2. The Planning Commission further finds, determines and declares the environmental impact of the proposed development has been reviewed and has been found to be in compliance with the California Environmental Quality Act (CEQA) and is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1, Existing Facilities).

SECTION 3. Having considered all of the oral and written evidence presented to it at said public hearings, the Planning Commission further finds, determines and declares that:

- 1. The proposed sign is permitted within the zone and complies with all applicable provisions of this chapter, the General Plan, and any other applicable standards. The subject site is within the C-2 zone, which permits the use of wall signs and monument signs. The proposed Planned Sign Program limits the signs to appropriate walls signs for each tenant and to tenant space on the monument signs and complies with the all applicable provisions of the Zoning Code, including the allowance for the Planning Commission to permit deviations to the sizes of the signs.

2. The sign is in proper proportion to the structure or site on which it is located. Based on a review of the proposed signs, a condition of approval that reduces the height of several of the wall signs. With this condition of approval the wall signs will be in proper proportion to the building facades.
3. The sign materials, color, texture, size, shape, height, and placement are compatible with the design of the structure(s), property, and neighborhood of which it is a part. As noted in the previous finding, most of the signs are compatible with the building and the site. However, a condition of approval to reduce the height of several of the signs on Building 'A'. With this condition of approval, sign materials, color, texture, size, shape, height, and placement are compatible with the design of the structure(s), property, and neighborhood of which it is a part.
4. The sign's illumination is at the lowest reasonable level as determined by the City Planner, which ensures adequate identification and readability, and is directed solely at the sign or is internal to it. All of the signs are internally illuminated with neon bulbs to reduce the brightness of the sign. In addition to this standard, a condition of approval to include provision for the use of internal LED strands to illuminate the signs has been incorporated. The City Planner has reviewed both of these lighting sources and has agreed that they are set at the minimum standards needed to ensure that there is adequate readability of the signs.
5. The sign is not detrimental to the public interest, health, safety, or welfare. All wall mounted signs are set at a sufficient height such that they will not create a detrimental impact to the public interest, health, safety, and/or welfare. With regards to the location and size of the monument signs, the proposed Planned Sign Program does not alter the existing location or size of the monuments signs, which was previously reviewed and approved by the Public Works Department to ensure there is no sight issuance of on and/or off site traffic.
6. The sign is in compliance with Section 9624, Lighting and Design Standards. All signs on site are internally illuminated, which is in compliance with Municipal Code Section 9624.

SECTION 4. Based upon the findings set forth in Sections 1 through 3 of this Resolution, the Planning Commission of the City of Downey hereby approves Planned Sign Program No. 08-16, subject to conditions of approval attached hereto as Exhibit A, which are necessary to preserve the health, safety and general welfare of the community and enable the Planning Commission to make the findings set forth in the previous sections. The conditions are fair and reasonable for the accomplishment of these purposes

SECTION 5. The Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 7th day of January, 2009

Michael Murray
Michael Murray, Chairman
City Planning Commission

I HEREBY CERTIFY that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Downey at a regular meeting thereof, held on the 7th day of January, 2009 by the following vote, to wit:

AYES: COMMISSIONERS: Lambros, Kiefer, Murray
NOES: COMMISSIONERS: None
ABSTAIN: COMMISSIONER: None
ABSENT: COMMISSIONERS: McCaughan

Theresa Still
Theresa Still, Secretary
City Planning Commission

**CONDITIONAL USE PERMIT NO. 08-100
EXHIBIT A - CONDITIONS**

- 1) The approval of Planned Sign Program No. 08-100, approves the location, color, and size of all signs for a multi-tenant commercial center at 8500-8530 Firestone Boulevard.
- 2) Approval of this Planned Sign Program shall not be construed to mean any waiver of applicable and appropriate zoning regulations, or any Federal, State, County, and City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Downey Municipal Code shall apply.
- 3) The City Planner is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
- 4) The Zone Variance No. 05-95 and the Planned Sign Program approved under DRB Case. No. 04-58 is hereby deemed null and void.
- 5) All conditions of approval Planned Sign Program No. 08-100 shall be complied with before the Planned Sign Program becomes valid.
- 6) Prior to the issuance of any building permit for a sign, said sign shall comply with this Planned Sign Program, with exception of window signs and non-permit signs, which shall comply with the requirements of the Downey Municipal Code.
- 7) The following changes shall be incorporated into the Planned Sign Program.
 - a) Building 'A' – On the north elevation, the signs for Panda Express and Chipotle shall have a maximum height of 4' and The UPS Store shall have a maximum height of 2'. On the west elevation, the Chipotle sign shall have a maximum height of 3'.
 - b) Monument signs – The faces shall be white tex-coated metal with routed letters and vinyl backing. Vinyl color shall be as approved by the Landlord and Staff.
 - c) Provisions shall be included to allow LED strings to internally illuminate the signs.

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