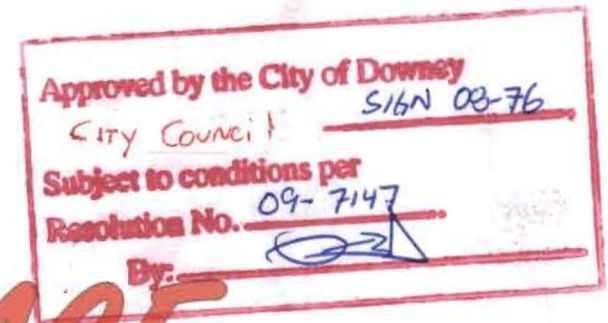


A&M Sign Corporation

1938 Doreen Ave. S. El Monte CA 91733
Office: 626-444-8214 Fax: 626-444-8432
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THE MARKETPLACE at Gallatin

9200 Lakewood Blvd.
Downey CA 90240

SIGN PROGRAM

September 22nd, 2010



O B J E C T I V E

The objective of the following sign criteria is to provide standards and specifications that assure consistent quality, size, variety and placement for Tenant signs throughout this project. This criteria is also intended to stimulate creative invention and achieve the highest standard of excellence in environmental graphic communication. Such excellence is best achieved through open and frequent dialogue between Tenant, Landlord, and the project's graphic design consultant. Signing of Market Place in Downey, California is an integral part of the center's image and appeal, so signs must be thoughtfully designed, placed and proportioned to the individual architectural facade on which they are placed. To insure that the existing Tenant signage will conform, the Landlord will require its existing and/or new Tenants to replace existing signage and bring to conformity of the sign program upon new or renewal of Tenant lease. Care in the design and installation of store signs will enhance customer's appreciation.

OVERVIEW

The overview of this criteria is to assist the Landlord/Tenant and City relationship.

The Landlord will be responsible to:

- a. Provide base building design and construction information requested by Tenant's sign design consultant.
- b. Review, comment and approve Tenant sign submission.

In return, the Tenant will be responsible for:

Design, fabrication, permitting and installation of signs, including any structural support and electrical service and any special installation requiring addition or modification to the shell building approved by the Landlord.

Maintenance of the Sign

The Tenant shall employ professional sign fabricators and installers approved by the Landlord who are well qualified in the techniques and procedures required to implement the sign design concept. The Tenant will abide by all provisions, guidelines and criteria contained within the "Market Place" Sign Program. Any requirements not contained within this Sign Program shall be subject to the Downey Municipal Code.

Only those sign types provided for and specifically approved by the Landlord in Tenant's sign submission documents will be allowed. The Landlord may, at his discretion and at the Tenant's expense and after proper notice to Tenant, replace or remove any sign that is installed without Landlord's written consent, or that is not executed in conformance with the approved submission. Tenant shall furnish the Landlord with a copy of all sign fabrication and installation plans prior to City submittal and again prior to permit issuance.

Tenants whose signage is located on any pylon sign, shall pay a prorated fee of the cost, including but not limited to, the construction, maintenance, power, insurance, etc. of the pylon sign. Within ten (10) day written notice of Owner or City, Tenant will effectuate all repairs requested. Maintenance of signs shall follow the guidelines set forth in.

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ANCHOR TENANT SIGNS

Existing Anchor Tenant (Ralph's) at Market Place may keep their existing building signage as long as the Anchor Tenant (Ralph's) remains as the Anchor Tenant at Gallatin Plaza.

EXISTING NON-CONFORMING SIGNS

All existing Inline and Pad Tenant signage (other than Anchor or Major Tenants), after approval of this Sign Program, will be deemed non-conforming signage if they do not adhere to the standards of this Sign Program.

The existing Inline and Pad Tenant signs shall be removed when the existing Inline or Pad Tenant vacates the premises and that time the new standards will apply to the new Inline or Pad Tenant that leases that Tenant space or pad.

In the event of a lease is entered into or renewed, where Landlord has the rights to do so, the new master sign program will be in effect for said Tenant.



APPROVAL PROCESS

The Landlord has engaged the services of a SIGN CONSULTANT for the entire project who will assist in the review and approval of Tenant sign submissions and insure their conformance to the project's overall SIGN CRITERIA.

At least thirty (30) days prior to the Landlord's scheduled delivery of the premises, Tenant shall provide the following information to the Landlord for review.

Note: This information is separate from sign approval submission and store design and drawing submissions, and will be used to begin the sign design process.

Store Name;
Store Logo (in color with colors identified);
Store interior materials, colors and finishes.

Allowing reasonable time for Landlord's review and Tenant's revision of submission in advance of sign fabrication, Tenant shall submit for Landlord's approval, three (3) sets of complete and fully dimensioned shop drawings of the Tenant's sign to the Landlord's Tenant coordinator.

Shop drawings shall include at least the following: Tenant's entire building facade elevation, showing the proposed sign, in color drawing to scale of 1/4" - 1'-0".

Storefront (partial building) elevation showing the location, size, color, construction and installation details of the Tenant's proposed sign. Typical "section-through" letter and/or sign panel showing the dimensioned projection of the letter or panel face and the illumination method.

Color and material samples together with a photograph (if possible) of a similar installation.

The Tenant is responsible to ensure that all proposed signs are compliant with this Sign Program and the Downey Municipal Code.

Within ten (10) days of receipt of the sign submission, the Landlord will approve, as noted, or disapprove with comments the Tenant's sign design. Tenant must respond to the Landlord's comments and re-submit within fourteen (14) calendar days, and repeat this process until all sign design, fabrication and installation issues are resolved to the Landlord's satisfaction.

Upon receipt of final sign approval from the Landlord, Tenant shall submit two (2) sets of colored drawings of the proposed sign(s) to the City of Downey, CA for fabrication and installation permits. Tenants are required to provide one (1) set of the City approved drawings to the Landlord prior to permit issuance and installation.

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THE FOLLOWING SIGNS AND ELEMENTS ARE PROHIBITED

1. A sign that consists of only an unadorned rectangular cabinet signs with translucent or opaque faces.
2. Temporary wall signs, pennants, banners, inflatable displays unless with specific prior approval by the Landlord and the City of Downey.
3. Window signs or signs blocking doors or fire escapes, unless approved by the Landlord and the City of Downey.
(Note: Box signs hanging in display windows are not allowed).
4. Gold leaf treatments on windows, box signs and exposed neon window displays without Landlord's written approval and approval by the City of Downey.
Note: Approval is at Landlord's discretion. Off the shelf signs are discouraged.
5. Exposed junction boxes, wires, plug in wires on window signs, transformers, lamps, tubing, conduits, raceways or neon crossovers of any type.
6. Signs using trim-cap retainers that do not match the color of the letter and logo returns (polished gold, silver or bronze trim caps are NOT permitted).
7. Pre-manufactured signs, such as franchise signs that have not been modified to meet these criteria.
8. Paper, cardboard, or Styrofoam signs, stickers, or decals hung around or behind storefronts. (Except those required by governmental agencies)
9. Exposed fasteners, unless decorative fasteners are essential to the sign design concept.
10. Simulated materials such as wood grained plastic laminates or wall coverings.
11. Flashing, oscillating, animated lights or other moving sign components.
12. Rooftop signs or signs projecting above roof lines or parapets.
13. Signs on mansard roofs or equipment screens.
14. Advertising or promotional signs on parked vehicles.
15. Sign company decals in full view (limit to one placement only).
16. Painted signs.
17. Portable and A-frame signs.
18. Wind-activated and balloon signs.
19. Changeable copy signs.
20. Outdoor advertising structures (billboards).

ACUM SIGN CORPORATION

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FABRICATION

The Tenant must insure that his sign fabricator and installer understand their responsibilities before they begin the sign fabrication.

The Tenant's sign contractor is responsible for the following:

1. Signs must be fabricated of durable appropriate weather resistant materials complementary to the base building materials.
2. Dissimilar metals used in sign fabrication shall be separated with non-conductive gaskets to avoid electrolysis. Additionally stainless steel fasteners shall be used to attach dissimilar metals.
3. Threaded rods or anchor bolts shall be used to mount sign letters which are held off the background panel. Angle clips attached to letter sides will NOT be permitted.
4. Colors, materials, finishes shall exactly match those submitted to and approved by the Landlord.
5. Visible welds and seams shall be ground smooth and filled with auto body compound before painting.
6. No fasteners, rivets, screws or other attachment devise shall be visible from any public vantage point.
7. Finished metal surfaces shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips and runs and shall have a uniform surface conforming to the highest industry standards.
8. Channel letters to be mounted on a wire way and to be Led's internally illuminated.

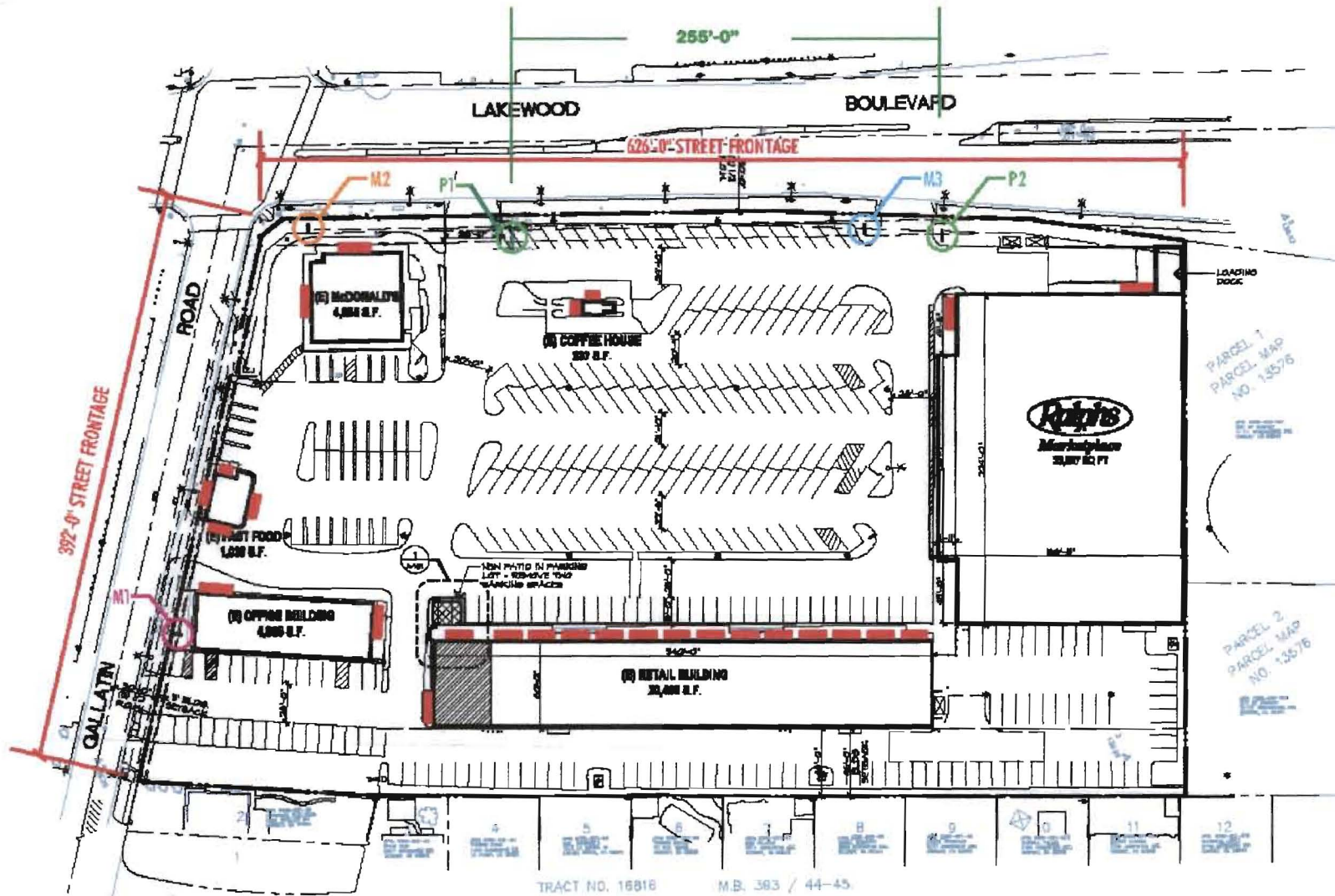
INSTALLATION

The Tenant's sign installer will provide the following:

1. Provide the Landlord with an original certificate of insurance naming the Landlord as an additional insured for liability coverage in an amount required by Landlord.
2. Obtain all required sign permits from the City of Downey, California and deliver copies to the Landlord before installing the sign(s).
3. Keep a Landlord approved set of sign drawings on site when installing the sign(s).
4. Warrant the sign(s) against latent defects in materials and workmanship for a minimum of one (1) year.
5. Tenant shall obtain all necessary inspections and obtain permit final.
6. Tenant is responsible for patching all holes and paint to match building when removing a sign.



SITE PLAN



- = BUILDING SIGNS
- = PYLON SIGN ()
- = TENANT MONUMENT SIGN (M1)
- = TENANT MONUMENT SIGN (M2)
- = TENANT MONUMENT SIGN (M3)

The locations shown on this plan are approved locations for the signs. Any deviation to the approved location shall be approved by the Landlord and the City of Downey prior to installation of the sign(s).

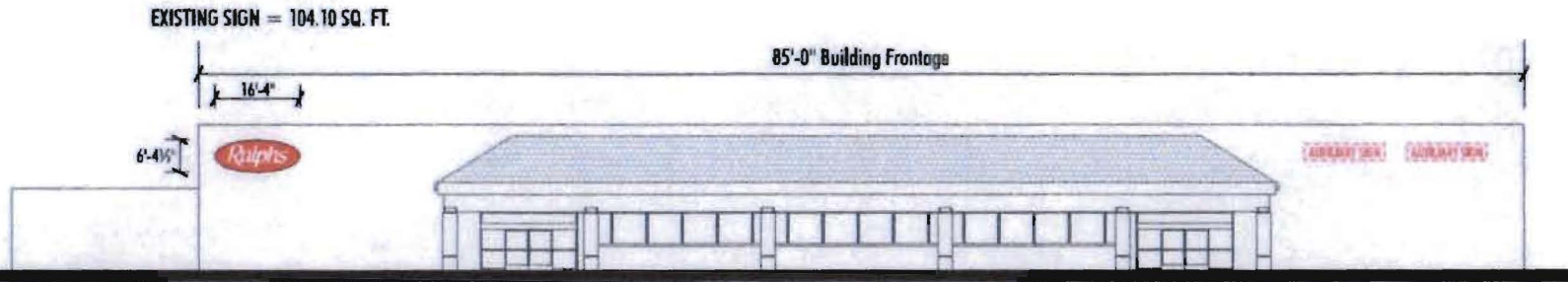


SCALE: 1" = 100'-0"

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BUILDING ELEVATIONS (RALPH'S)

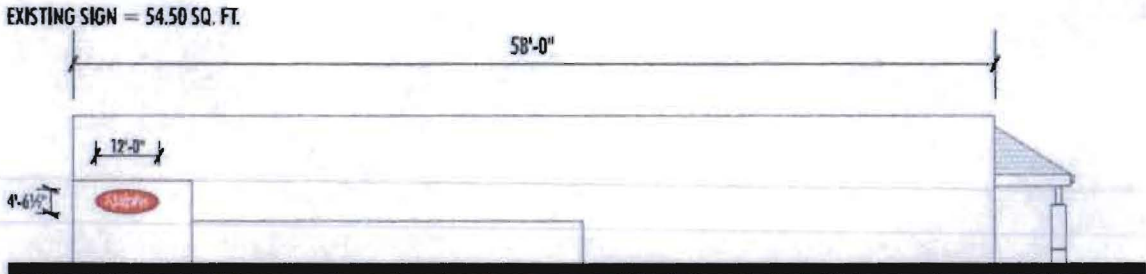


SOUTH ELEVATION

SCALE: 1/32" = 1'-0"

EXISTING SIGN = 104.10 SQ. FT.
 MAXIMUM SIGN AREA FOR ALL PERMITTED SIGNS NOT TO EXCEED 2.25 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE PER EACH INDIVIDUAL BUSINESS
 $2.25 \times 85.00 = 191.25$ SQ. FT. TOTAL SIGN AREA FOR ALL PERMITTED SIGNS ON PRIMARY ELEVATION
 PRIMARY WALL SIGN NOT TO EXCEED 1.50 SQ. FT PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 $1.50 \times 85.00 = 127.50$ SQ. FT. MAXIMUM FOR PRIMARY WALL SIGN AREA ON THIS ELEVATION

AUXILIARY SIGN(S) WHICH DESCRIBE GENERIC SERVICES OR PRODUCTS (SUCH AS PHARMACY, ATM, LUMBER, ETC.) IN ADDITION TO THE PRIMARY BUSINESS NAME, MAY BE PERMITTED FOR BUSINESSES WITH GREATER THAN 10,000 SQUARE FEET OF BUILDING AREA. THE SIGNS SHALL BE OF A SIZE AND ORIENTATION TO PROVIDE REASONABLE VISIBILITY FROM THE ADJACENT PRIMARY PARKING AREA.
 A TOTAL MAXIMUM SIGN AREA NOT TO EXCEED TWENTY-FIVE PERCENT (25%) OF THE STOREFRONT (PER ELEVATION).
 NO MORE THAN TWO (2) AUXILIARY SIGNS WILL BE PERMITTED PER ELEVATION.



WEST ELEVATION

SCALE: 3/32" = 1'-0"

EXISTING SIGN = 54.50 SQ. FT.
 A SECONDARY WALL SIGN SHALL NOT EXCEED ONE-HALF (1/2) THE ALLOWABLE AREA OF THE PRIMARY WALL SIGN.
 SIGNS SHALL NOT EXCEED THE AREA OF THE PRIMARY WALL SIGN, NOR SHALL THEY EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE ON THEIR RESPECTIVE FRONTAGES.
 $1.50 \times 58 = 87$ SQ. FT. MAXIMUM SIGN AREA FOR SECONDARY SIGNS ON THIS ELEVATION



EXISTING SOUTH ELEVATION
 NOT TO SCALE



EXISTING WEST ELEVATION
 NOT TO SCALE

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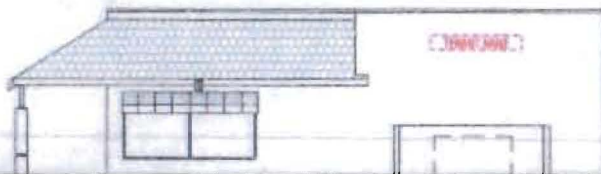
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WEST ELEVATION (PARTIAL)
SCALE: 1"=20'-0"



WEST ELEVATION (PARTIAL)
SCALE: 1"=20'-0"



SOUTH ELEVATION
SCALE: 1"=20'-0"

MAXIMUM SIGN AREA FOR ALL PERMITTED SIGNS NOT TO EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE PER EACH INDIVIDUAL BUSINESS (LEASED TENANT SPACE). EACH INDIVIDUAL BUSINESS FRONTING A STREET OR PARKING LOT AREA MAY BE PERMITTED AT LEAST ONE (1) WALL SIGN OF NOT LESS THAN FIFTEEN (15) SQ. FT.

A SECONDARY WALL SIGN SHALL NOT EXCEED ONE-HALF (1/2) THE ALLOWABLE AREA OF THE PRIMARY WALL SIGN. Secondary wall sign shall not be permitted on the same facade as the primary sign

ACCEPTABLE SIGN TYPES:

- 4" DEEP INTERNALLY ILLUMINATED CHANNEL LETTERS OR FACSIMILE OF CHANNEL LETTERS.
- WITH THE LANDLORD APPROVAL, COMPLEX SHAPED (I.E POLYHEDRON) LOGOS WHICH ARE PART OF A NATIONAL LOGO, MAY BE USED ALONE IF THEY INCORPORATE DIMENSIONAL ELEMENTS SUCH AS PUSH-THROUGH LETTERS.

TENANT SIGN DETAILS (RETAIL)

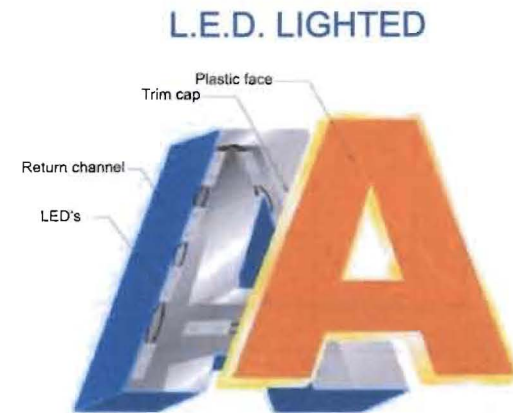
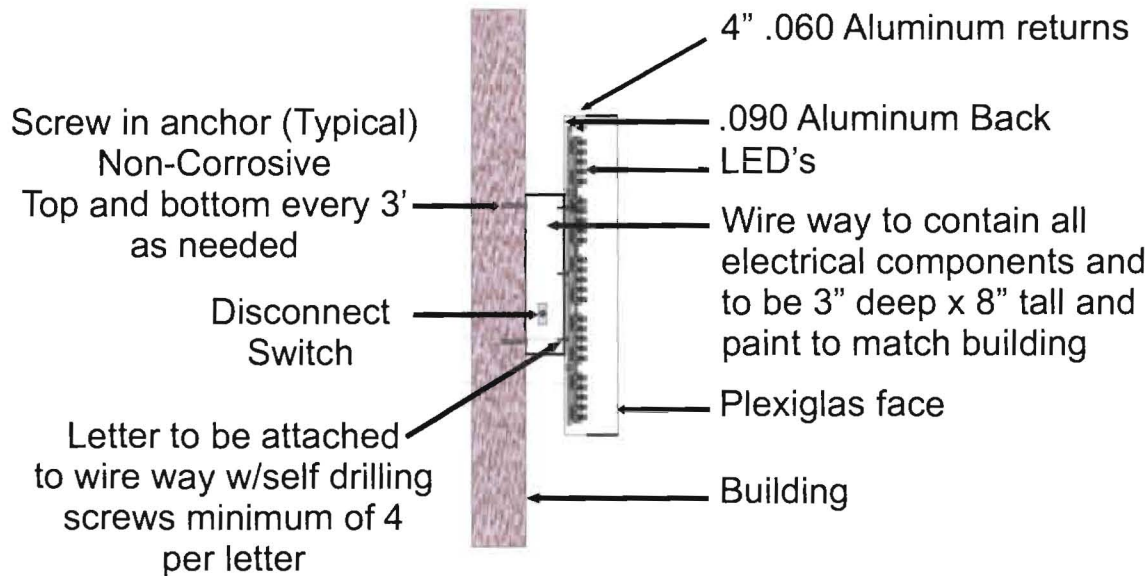


CHANNEL LETTERS SPECIFICATIONS:

4" DEEP INTERNALLY ILLUMINATED CHANNEL LETTERS.
 FACE COLORS MAY BE PER TENANTS CORPORATE COLORS.
 TRIM CAP AND RETURNS MAY BE PER TENANTS CORPORATE COLORS.
 ILLUMINATION TO BE LED'S AND COLOR TO BE DETERMINED BY COLOR OF FACE.

Set of channel letters to be mounted on a wire way and to be LED's internally illuminated

Side View

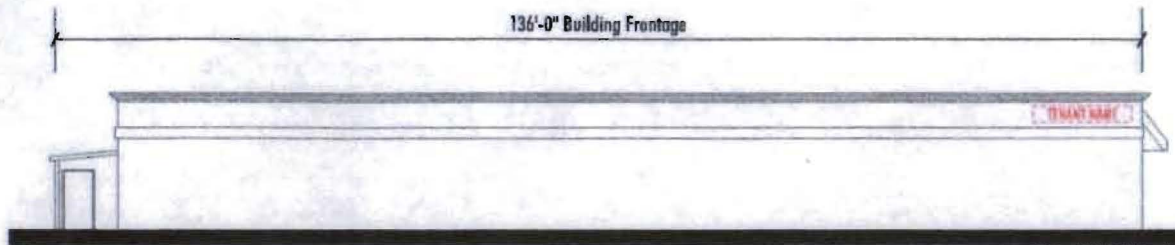


All components and wiring to be U.L. Listed approved

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BUILDING ELEVATIONS (OFFICE BLDG)



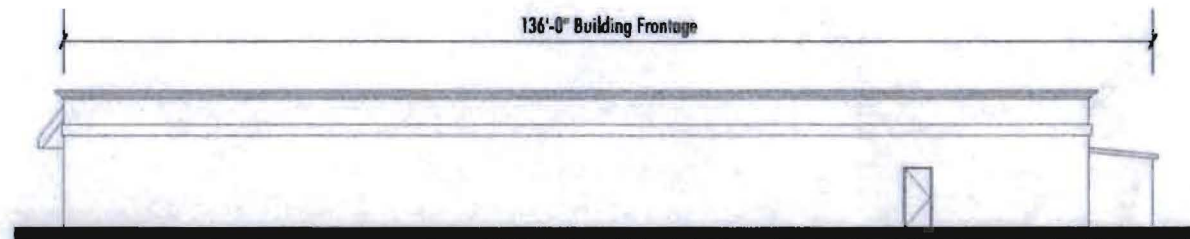
WEST ELEVATION
SCALE: 1" = 20'-0"



NORTH ELEVATION
SCALE: 1" = 20'-0"



SOUTH ELEVATION
SCALE: 1" = 20'-0"



EAST ELEVATION
SCALE: 1" = 20'-0"

MAXIMUM SIGN AREA FOR ALL PERMITTED SIGNS NOT TO EXCEED 2.25 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 $2.25 \times 136 = 306$ SQ. FT. TOTAL SIGN AREA FOR ALL PERMITTED SIGNS ON PRIMARY ELEVATION
 PRIMARY WALL SIGN NOT TO EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 $1.50 \times 136 = 204$ SQ. FT. MAXIMUM FOR PRIMARY WALL SIGN AREA

A SECONDARY WALL SIGN SHALL NOT EXCEED ONE-HALF ($\frac{1}{2}$) THE ALLOWABLE AREA OF THE PRIMARY WALL SIGN.
 SIGNS SHALL NOT EXCEED THE AREA OF THE PRIMARY WALL SIGN, NOR SHALL THEY EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE ON THEIR RESPECTIVE FRONTAGES.

ACCEPTABLE SIGN TYPES:

- 4" DEEP INTERNALLY ILLUMINATED CHANNEL LETTERS OR FACSIMILE OF CHANNEL LETTERS.
- WITH THE LANDLORD APPROVAL, COMPLEX SHAPED (I.E. POLYHEDRON) LOGOS WHICH ARE PART OF A NATIONAL LOGO, MAY BE USED ALONE IF THEY INCORPORATE DIMENSIONAL ELEMENTS SUCH AS PUSH-THROUGH LETTERS.

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TENANT SIGN DETAILS (OFFICE BLDG)

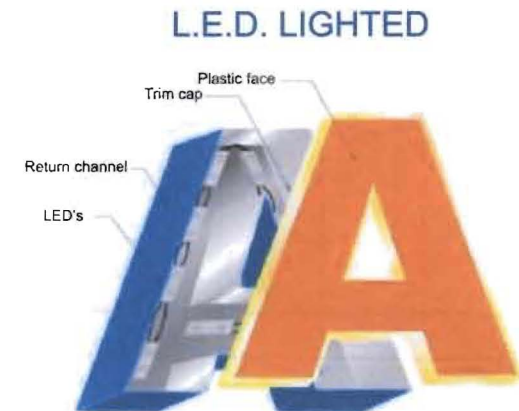
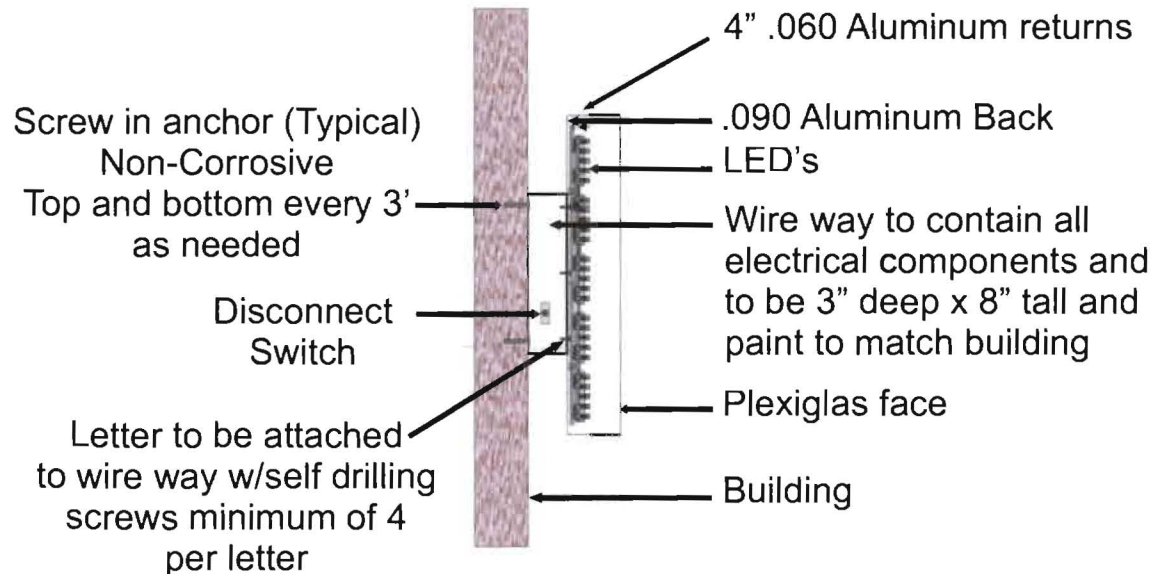


CHANNEL LETTERS SPECIFICATIONS:

4" DEEP INTERNALLY ILLUMINATED CHANNEL LETTERS.
 FACE COLORS MAY BE PER TENANTS CORPORATE COLORS.
 TRIM CAP AND RETURNS MAY BE PER TENANTS CORPORATE COLORS.
 ILLUMINATION TO BE LED'S AND COLOR TO BE DETERMINED BY COLOR OF FACE.

Set of channel letters to be mounted on a wire way and to be LED's internally illuminated

Side View



All components and wiring to be U.L. Listed approved

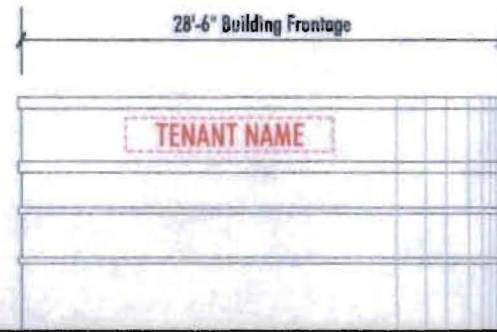
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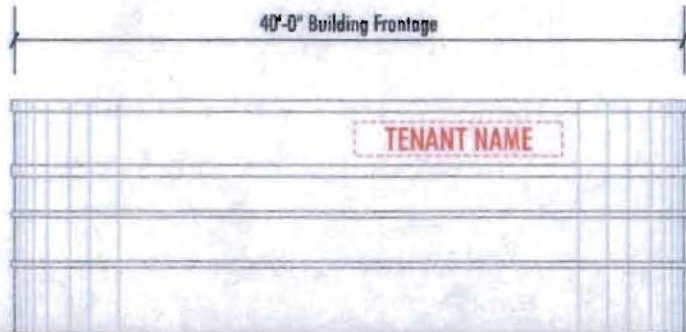
**BUILDING ELEVATIONS
(FAST FOOD)**



SOUTH ELEVATION
SCALE: 1" = 10'-0"



EAST ELEVATION
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"



WEST ELEVATION
SCALE: 1" = 10'-0"

MAXIMUM SIGN AREA FOR ALL PERMITTED SIGNS NOT TO EXCEED 2.25 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 $2.25 \times 40 = 90$ SQ. FT. TOTAL SIGN AREA FOR ALL PERMITTED SIGNS ON PRIMARY ELEVATION
 PRIMARY WALL SIGN NOT TO EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 $1.50 \times 40 = 60$ SQ. FT. MAXIMUM FOR PRIMARY WALL SIGN AREA

A SECONDARY, THIRD AND/OR FOURTH WALL SIGN SHALL NOT EXCEED ONE-HALF (1/4) THE ALLOWABLE AREA OF THE PRIMARY WALL SIGN.
 SIGNS SHALL NOT EXCEED THE AREA OF THE PRIMARY WALL SIGN, NOR SHALL THEY EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE ON THEIR RESPECTIVE FRONTAGES.

ACCEPTABLE SIGN TYPES:

- 4" DEEP INTERNALLY ILLUMINATED CHANNEL LETTERS OR FACSIMILE OF CHANNEL LETTERS.
- WITH THE LANDLORD APPROVAL, COMPLEX SHAPED (I.E. POLYHEDRON) LOGOS WHICH ARE PART OF A NATIONAL LOGO, MAY BE USED ALONE IF THEY INCORPORATE DIMENSIONAL ELEMENTS SUCH AS PUSH-THROUGH LETTERS.

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TENANT SIGN DETAILS (FAST FOOD)

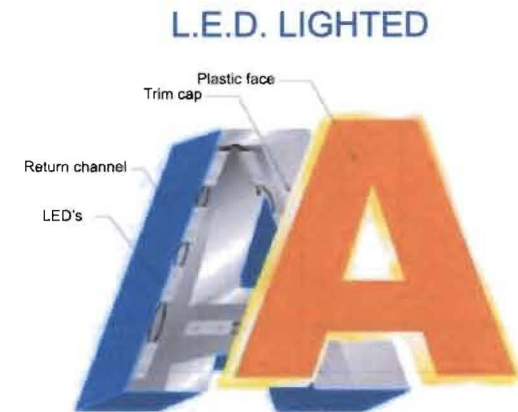
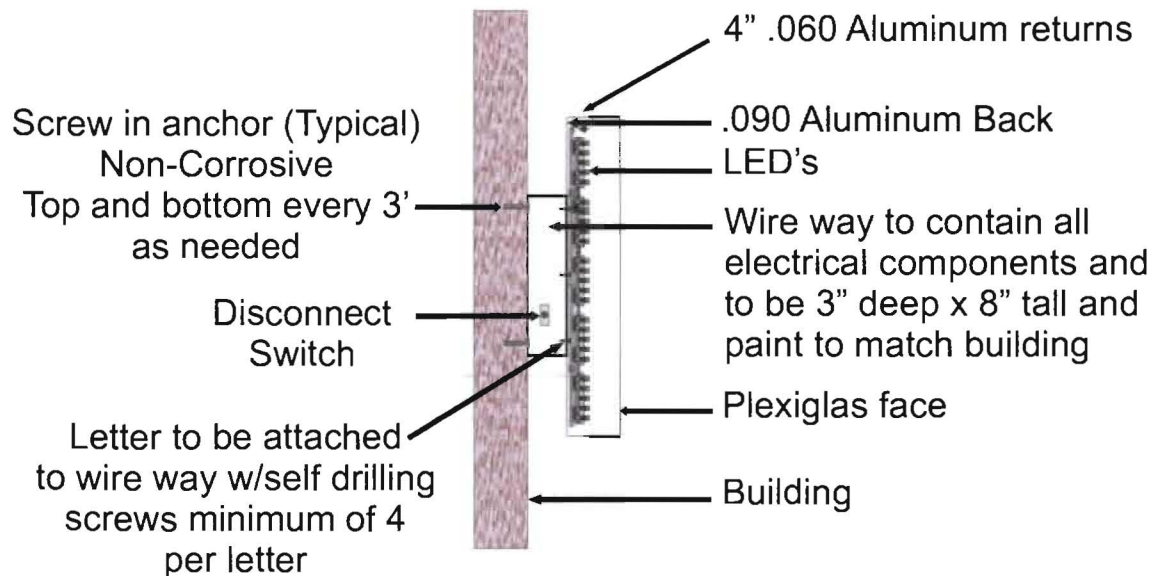


CHANNEL LETTERS SPECIFICATIONS:

4" DEEP INTERNALLY ILLUMINATED CHANNEL LETTERS.
 FACE COLORS MAY BE PER TENANTS CORPORATE COLORS.
 TRIM CAP AND RETURNS MAY BE PER TENANTS CORPORATE COLORS.
 ILLUMINATION TO BE LED'S AND COLOR TO BE DETERMINED BY COLOR OF FACE.

Set of channel letters to be mounted on a wire way and to be LED's internally illuminated

Side View

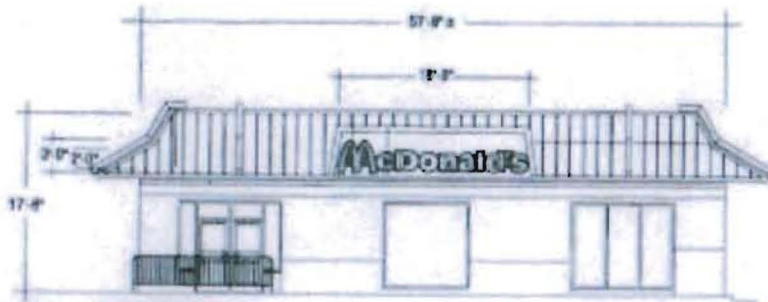


All components and wiring to be U.L. Listed approved

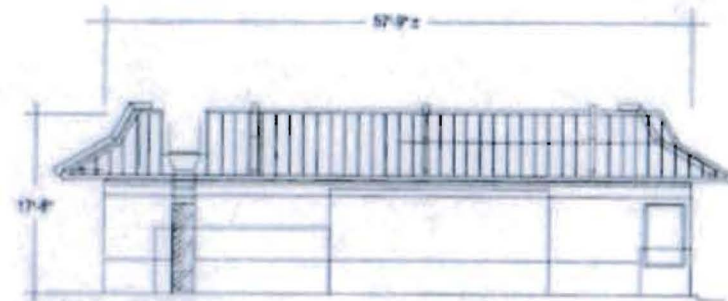
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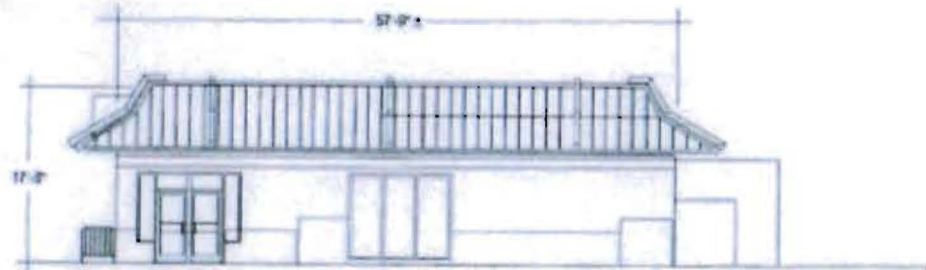
BUILDING ELEVATIONS (McDONALD'S)



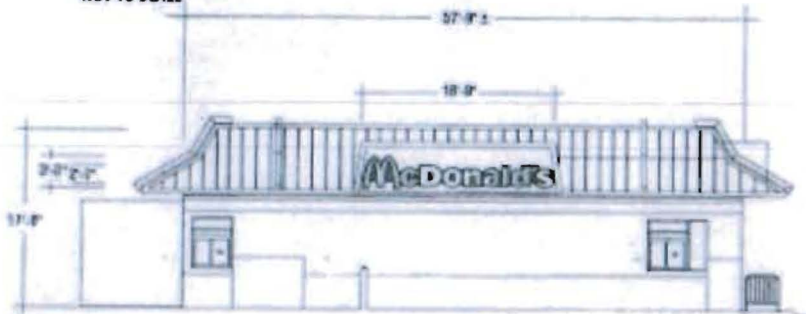
SOUTH ELEVATION
NOT TO SCALE



NORTH ELEVATION
NOT TO SCALE



EAST ELEVATION
NOT TO SCALE



WEST ELEVATION
NOT TO SCALE

MAXIMUM SIGN AREA FOR ALL PERMITTED SIGNS NOT TO EXCEED 2.25 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 $2.25 \times 57.75 = 129.94$ SQ. FT. TOTAL SIGN AREA FOR ALL PERMITTED SIGNS ON PRIMARY ELEVATION
 PRIMARY WALL SIGN NOT TO EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 $1.50 \times 57.75 = 86.63$ SQ. FT. MAXIMUM FOR PRIMARY WALL SIGN AREA

A SECONDARY, THIRD AND/OR FOURTH WALL SIGN SHALL NOT EXCEED ONE-HALF ($\frac{1}{2}$) THE ALLOWABLE AREA OF THE PRIMARY WALL SIGN.
 SIGNS SHALL NOT EXCEED THE AREA OF THE PRIMARY WALL SIGN, NOR SHALL THEY EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE ON THEIR RESPECTIVE FRONTAGES.

ACCEPTABLE SIGN TYPES:

- 4" DEEP INTERNALLY ILLUMINATED CHANNEL LETTERS OR FACSIMILE OF CHANNEL LETTERS.
- WITH THE LANDLORD APPROVAL, COMPLEX SHAPED (I.E. POLYHEDRON) LOGOS WHICH ARE PART OF A NATIONAL LOGO, MAY BE USED ALONE IF THEY INCORPORATE DIMENSIONAL ELEMENTS SUCH AS PUSH-THROUGH LETTERS.

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**SIGN SPECIFICATIONS
(McDONALD'S)**

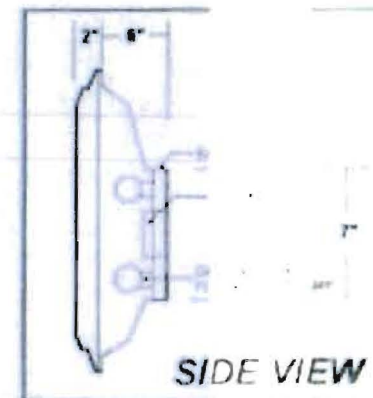


ILLUMINATED WALL-MOUNT LETTERS (UNITIZED)

Quantity: 1 (1) Unit Required

SPECIFICATIONS:

- TWO-PIECE FORMED CHANNEL PLAQUE. LETTERS TO BE VACUUM-FORMED 0.118 CLEAR TOUGH GLASS PAPER AND DECORATED VIA FLAT OUT AND SPRAY SECOND SURFACE.
- BACK TO BE FORMED IN ABS AND PAINTED WHITE INSIDE. OUTSIDE TO BE PAINTED RED.
- INTERNAL ILLUMINATION TO BE HIGH OUTPUT FLUORESCENT LAMPS PLACED ON CENTERS FOR EVEN LIGHTING.
- COLORS: LETTER FACES - #7029 WHITE
 OUTLINE - BLACK
 BACK OF FORM - BLACK



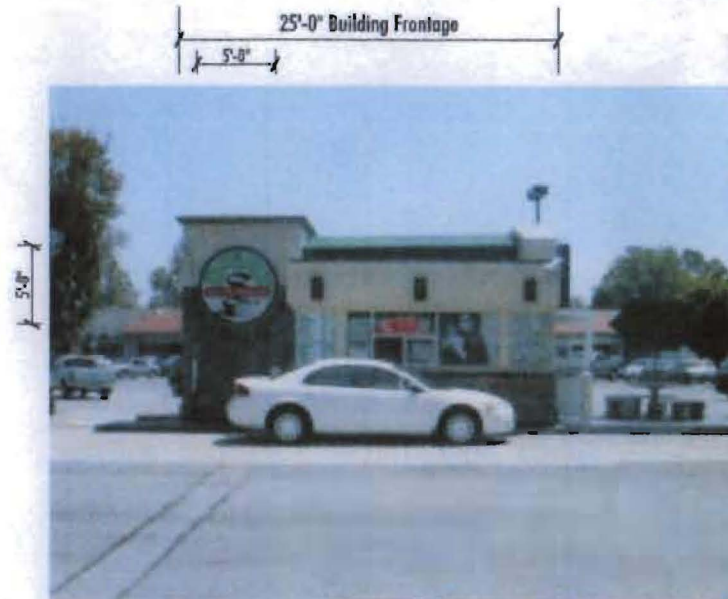
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**BUILDING ELEVATIONS
(COFFEE HOUSE)**



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
NOT TO SCALE

MAXIMUM SIGN AREA FOR ALL PERMITTED SIGNS NOT TO EXCEED 2.25 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 2.25 x 25 = 56.25 SQ. FT. TOTAL SIGN AREA FOR ALL PERMITTED SIGNS ON PRIMARY ELEVATION
 PRIMARY WALL SIGN NOT TO EXCEED 1.50 SQ. FT PER EACH LINEAL FOOT OF BUILDING FRONTAGE
 1.50 x 25 = 37.50 SQ. FT. MAXIMUM FOR PRIMARY WALL SIGN AREA

A SECONDARY THIRD AND/OR FOURTH WALL SIGN SHALL NOT EXCEED ONE-HALF (1/2) THE ALLOWABLE AREA OF THE PRIMARY WALL SIGN.
 SIGNS SHALL NOT EXCEED THE AREA OF THE PRIMARY WALL SIGN, NOR SHALL THEY EXCEED 1.50 SQ. FT. PER EACH LINEAL FOOT OF BUILDING FRONTAGE ON THEIR RESPECTIVE FRONTAGES.

A&M Sign Corporation

1938 Doreen Ave. S. El Monte CA 91733
 Office: 626-444-8214 Fax: 626-444-8432
 achavez100@aol.com

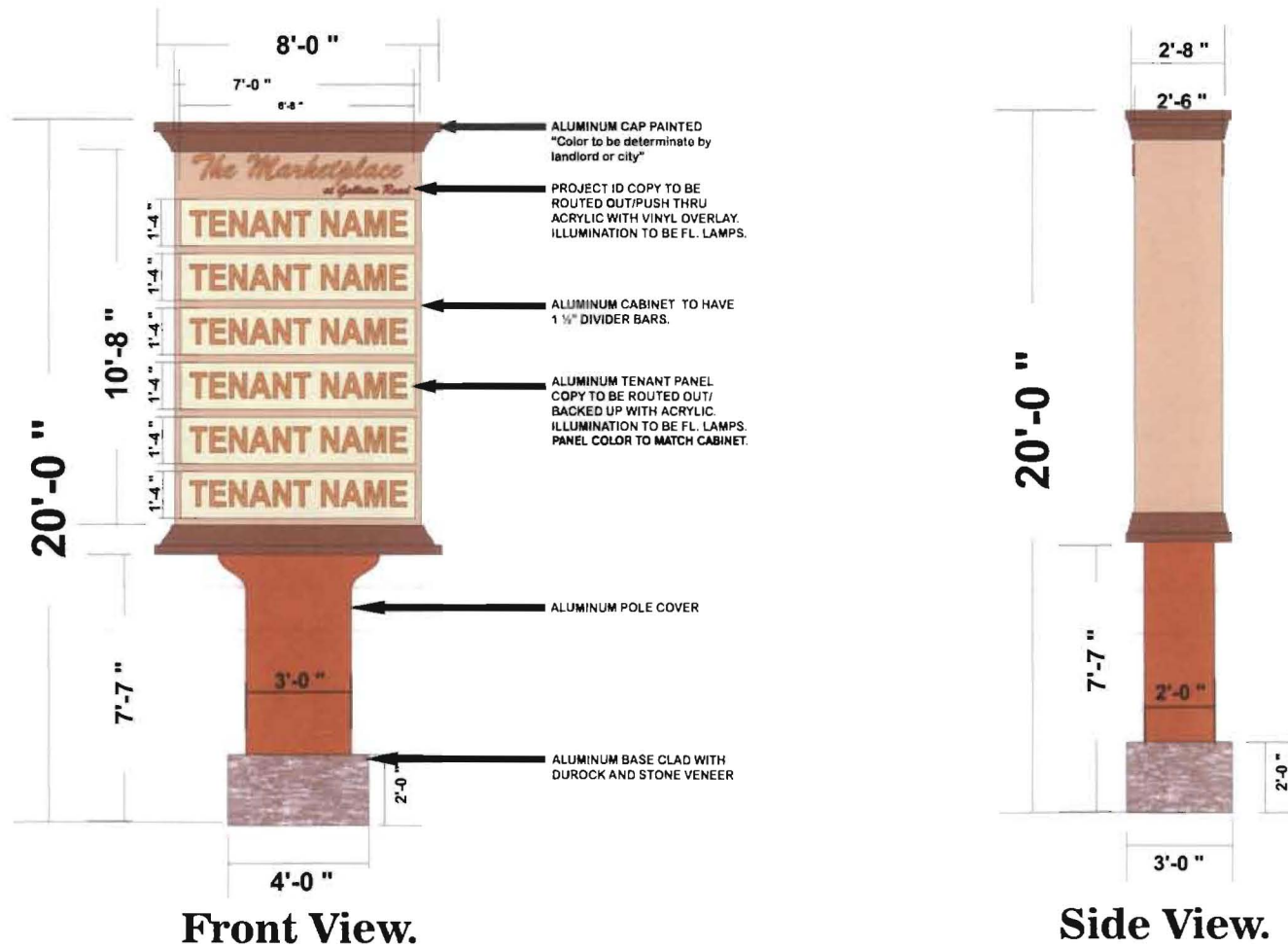
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QTY: TWO (2)

TOTAL SIGN AREA = 73.50 SQ. FT.

PYLON SIGN

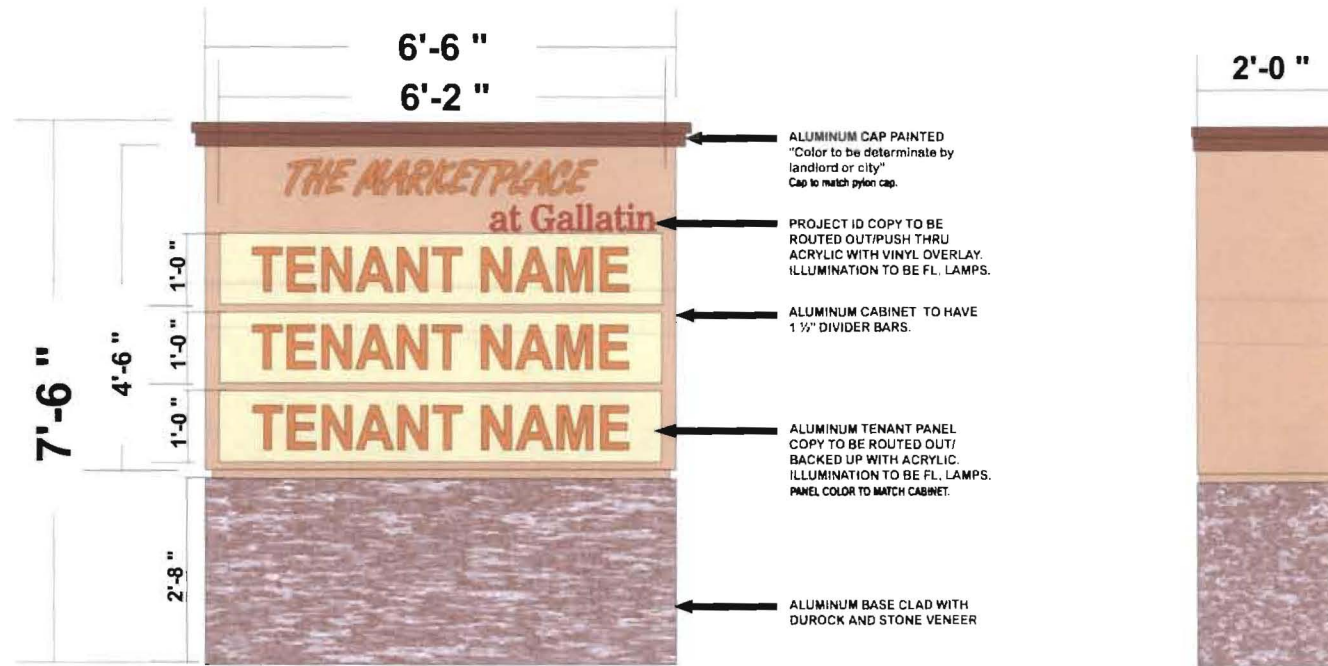


OPTIONAL SINGLE TENANT FACE



QTY: ONE (1)

TOTAL SIGN AREA = 29.25 SQ. FT.



Front View.

Side View.

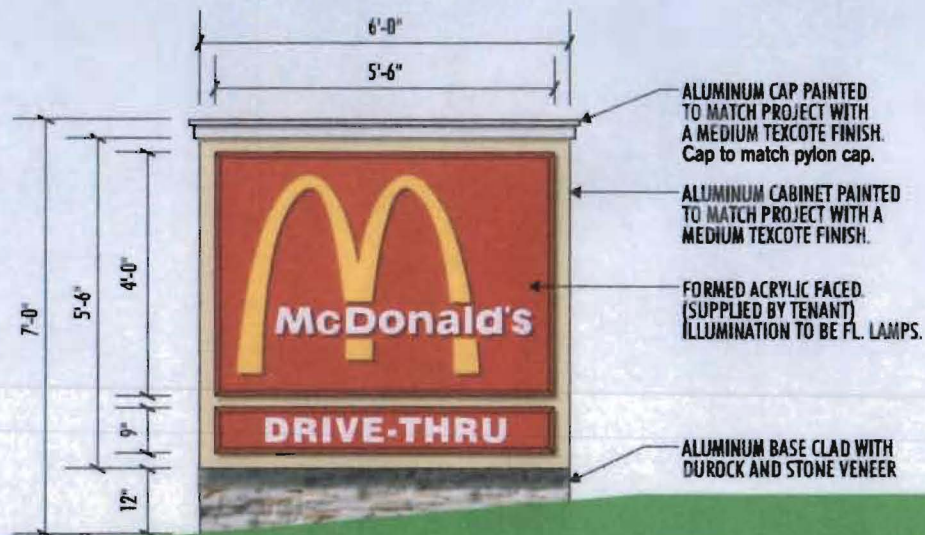
D/F ILLUMINATED PYLON SIGN
 SCALE: 3/8" = 1'-0"

TENANT MONUMENT SIGN (M2)



SCALE: 3/32" = 1'-0"

QTY: ONE (1)
TOTAL SIGN AREA = 33 SQ. FT.



D/F ILLUMINATED MONUMENT SIGN

SCALE: 1/2" = 1'-0"

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TENANT MONUMENT SIGN (M3)



SCALE: 1/16" = 1'-0"

QTY: ONE (1)
TOTAL SIGN AREA = 57 SQ. FT.



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