



PLEASE SEE ATTACHED SPECIAL NOTICE FOR INSTRUCTIONS ON VIRTUAL MEETING

- I. **CALL TO ORDER: A REGULAR PLANNING COMMISSION MEETING - 6:30 P.M.**
- II. **ROLL CALL:** Commissioners Uva, Ortiz, Duarte, Vice Chair Montoya and Chair Owens
- III. **PLANNING COMMISSIONER ANNOUNCEMENTS; REQUEST FOR FUTURE AGENDA ITEMS; AND CONFERENCE/MEETING REPORTS:**
- IV. **PRESENTATIONS:**
- V. **REPORT ON CITY COUNCIL ACTION:**
- VI. **PUBLIC HEARINGS:**

	<u>RECOMMENDED ACTION</u>
1. <u>PLN-21-00135 (Site Plan Review)</u>	Approval
Location: 7550 Firestone Boulevard	
Request: A request for a Site Plan Review to approve a 2,933 sq. ft. expansion and remodel of an existing Hyundai Dealership, on property zoned C-2 (General Commercial)	
CEQA: Categorical Exemption – Section 15301 Existing Facilities	
Staff: Assistant Planner Gissel Enriquez	
Contact: genriquez@downeyca.org 562-904-7154	
- VII. **NON-AGENDA PUBLIC COMMENTS:** This portion of the agenda provides an opportunity for the public to address the Planning Commission on items within the jurisdiction of the Planning Commission and not listed on the agenda. It is requested, but not required, that you state your name, address and subject matter upon which you wish to speak. Please limit your comments to no more than three (3) minutes. Pursuant to the Brown Act, no discussion or action, other than a brief response, referral to the City Planning staff or schedule for a subsequent agenda, shall be taken by the Planning Commission on any issue brought forth under this section.
- VIII. **CONSENT CALENDAR ITEMS:** Items in this section will be voted on in one motion unless Commissioner requests separate actions. Anyone wishing to comment on a Consent Calendar item should be recognized by the chairman, state name, address and agenda item number. Further, any Consent Calendar items removed from the agenda will be considered by the Commission following the public hearing items.
 - 2. 2021 General Plan Progress Report
 - 3. November 3, 2021 Minutes



- IX. **OTHER BUSINESS:**
- X. **STAFF MEMBER COMMENTS:**
- XI. **ADJOURNMENT:** To Wednesday, March 16, 2022 at 6:30 pm, at Downey City Hall, 11111 Brookshire Avenue, Downey, CA. 90241.

NOTICE: SECTION 9806 – APPEALS

Any person aggrieved or affected by any final determinations of the Commission concerning an application for action of an administrative nature, including a variance or a permit, or any condition or requirement thereon, or upon the failure of the Commission to make its findings and determinations within thirty (30) days after the closure of the hearing thereon, no later than fifteen (15) calendar days, (Exception: subdivisions, no later than ten (10) calendar days) after the date of the decision or of the Commission's failure to make a determination, may file with the City Planner a written notice of appeal therefrom to the Council. Such appeal shall set forth specifically wherein it is claimed the Commission's findings were in error, and wherein the decision of the Commission is not supported by the evidence in the matter, and wherein the public necessity, convenience, and welfare require the Commission's decision to be reversed or modified

Supporting documents are available at: www.downeyca.org; City Hall-Planning Division, 11111 Brookshire Avenue, Monday – Friday, 7:30 a.m. – 5:30 p.m. Video streaming of the meeting is available on the City's website. In compliance with the Americans with Disabilities Act, if special assistance is needed to participate in this meeting, complete the City's Title II ADA Reasonable Accommodation Form located on the City's website and at City Hall - Planning Division, 11111 Brookshire Avenue, Monday – Friday, 7:30 a.m. – 5:30 p.m., and submit to the Planning Division or contact the Planning Division office at (562) 904-7154 or the California Relay Service at 7-1-1. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting.

The City of Downey prohibits discrimination on the basis of disability in any of its program and services. For questions, concerns, complaints, or for additional information regarding the ADA, contact the City's ADA/Section 504 Coordinator at ADACoordinator@downeyca.org; Phone: (562) 299-6619; or TTY at 7-1-1.

In compliance with Title VI of the Civil Rights Act, the City of Downey prohibits discrimination of any person in any of its program and services. If written language translation of City agendas or minutes, or for oral language interpretation at a City meeting is needed, contact (562) 299-6619, 48 business hours prior to the meeting.

En cumplimiento con el Título VI de la Ley de Derechos Civiles, la Ciudad de Downey prohíbe la discriminación de cualquier persona en todos sus programas y servicios. En caso de necesitar una traducción escrita de los órdenes del día o las actas de las reuniones de la ciudad, o para solicitar un intérprete oral para una reunion de la ciudad, comuníquese con el (562) 299-6619 en el horario de atención comercial, 48 horas hábiles antes de la reunión.

Supporting data for items included in this agenda is available for public review and inspection in the office of the Planning Division during regular workday hours between 8:00 a.m. and 5:00 p.m., and in the City Library during regular hours and on the City's website at <http://www.downeyca.org>.

I Mary Cavanagh, Secretary to the Planning Commission, City of Downey, do hereby certify, under penalty of perjury under the laws of the State of California that the foregoing notice was posted pursuant to Government Code Section 54950 Et. Seq. and City of Downey Ordinance at the following locations: Downey City Hall, Downey City Library, and Barbara J. Riley Senior Center.

Dated this 24th day of February, 2022

Mary Cavanagh

Mary Cavanagh
Secretary, Planning Commission



SPECIAL NOTICE

Public Participation and Accessibility for March 2, 2022 Downey Planning Commission Meeting

Pursuant to Downey City Council Resolution No. 22-8052, Ratifying the Findings Pursuant to AB 361 and Re-Authorizing Use of Remote Teleconferencing for an additional 30 Days (attached), adopted on February 8, 2022, the Regular Planning Commission Meetings scheduled for **March 2, 2022** at 6:30 p.m. will allow members of the public to view, listen and participate in the meetings virtually/remotely. Members of the public wishing to submit public comment to the Planning Commission regarding items on the agenda and non-agenda may do so in writing or and non-agenda may do so in writing or telephonically.

Below are the ways to participate in the Regular Meeting at 6:30 p.m.

1. View the Planning Commission meeting live stream at:

YouTube Channel: <https://www.youtube.com/channel/UCHJOzNYcnaDRUSax0sCOL9Q/live>

2. Planning Commission meeting Conference phone (audio only):

Call Toll-Free: (888) 788-0099 or (877) 853-5247

Meeting ID: **827 9969 3917**

Passcode: **362628**

and press the # (pound) key

Members of the public wishing to address the Planning Commission, during public comments or for a specific agenda item, or both, may do so by the following methods:

3. E-mail: pccpubliccomment@downeyca.org

In order to effectively accommodate public participation, participants are asked to provide their public comments via e-mail by 4:00 p.m. on the day of the meeting.

Participants addressing the Planning Commission by email are encouraged to provide the following information:

- a) Full Name;
- b) City of Residence;
- c) Public Comment or Agenda Item No;
- d) Subject;
- e) Written Comments.

4. Teleconference phone number: (562) 299-6622

Calls will be placed on hold in queue and participants will provide their public comments via speaker phone. Persons speaking are limited to a maximum of three (3) minutes. Please be mindful that the teleconference call will be recorded as any other person is recorded when appearing before the Planning Commission, and all other rules of procedure and decorum will apply when addressing the Planning Commission by teleconference.

Participants addressing the Planning Commission by teleconference are encouraged to provide the following information:

- a) Full Name;
- b) City of Residence;
- c) Public Comment or Agenda Item No;
- d) Comments.

For any questions contact the Planning Division's Office at (562) 904-7154.





STAFF REPORT


PLANNING DIVISION

DATE: MARCH 2, 2022

TO: PLANNING COMMISSION

SUBMITTED BY: ALDO E. SCHINDLER, DEPUTY CITY MANAGER/ COMMUNITY DEVELOPMENT 

REVIEWED BY: CRYSTAL LANDAVAZO, CITY PLANNER 

PREPARED BY: GISSEL ENRIQUEZ, ASSISTANT PLANNER 

SUBJECT: PLN-21-00135 (SITE PLAN REVIEW) – A REQUEST FOR EXPANSION AND REMODELING OF THE EXISTING HYUNDAI AT 7550 FIRESTONE BOULEVARD

LOCATION: 7550 FIRESTONE BOULEVARD

ZONING: C-2 (GENERAL COMMERCIAL)

REPORT SUMMARY

The applicant is requesting a Site Plan Review (SPR) to expand and remodel an existing Hyundai dealership. This review is required to evaluate the site improvements of the 2,933 square foot expansion. The expansion involves an addition to existing showroom and reception area with an expanded delivery canopy along the West side of the building. The site improvements consist of a reconfiguration of vehicle display access and an expanded driveway width.

Based on the analysis contained in this report, staff is recommending the Planning Commission adopt the following titled resolution:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A SITE PLAN REVIEW (PLN-21-00135), THEREBY ALLOWING THE EXPANSION AND REMODELING OF THE EXISTING HYUNDAI LOCATED AT 7550 FIRESTONE BOULEVARD

BACKGROUND

The subject site is 2.52 acres, located within the C-2 zone (General Commercial), and has a General Plan land use designation of General Commercial. Adjacent properties to the north, east, and west are also zoned C-2. Directly to the South, abutting the subject property, is a rail road track creating a buffer between the dealership and residential properties. The property is currently developed with a 13,909 square foot building of vehicle showroom and offices that connect to service bays with a service reception canopy. The proposed project will demolish the existing tower feature and modify the entire front, side, and rear façade.

The application was deemed complete on January 24, 2022. On February 17, 2022, notice of the pending public hearing was published in the *Downey Patriot* and mailed to all property owners within 500 feet of the subject property.



Existing Front Elevation from Firestone Boulevard

DISCUSSION

The Site Plan Review process requires an evaluation of the proposed site improvements, landscaping, architecture, and compliance with the Downey Municipal Code. The site improvements consist of the complete remodel of the front and side façades, expansion of the showroom and service reception area, expanded delivery canopy, new landscaping throughout the vehicle display area, and reconfiguration of pedestrian and vehicle circulation. The proposed project will demolish existing canopy display to accommodate the showroom expansion along the east elevation and removal of a tower feature to the north to incorporate the proposed modern architecture style required to comply with corporate branding. An existing sewer easement runs north to south on the site which restricts any construction within the easement space. The proposed delivery canopy will be detached from the building to avoid construction in the sewer easement. The project will also include installing electric vehicle (EV) storage and battery within EV service bay.

The proposed development will comply with all applicable development standards. As a point of reference, some major development standards for this project are as follows:

Standard	Zoning Code Standards	Proposed
Floor area ratio	1.4	0.19
Lot Coverage	50%	19%
Building Height	45 ft. / 3 stories	19'-6"
Front	15 ft. Min.	41 ft.
Side	NR	East: 0 West: 132'-2"
Parking	85 spaces	189 spaces

All elements of the proposed Site Plan Review are in compliance with the Downey Municipal Code.

Architecture

Corporate Hyundai mandates all national franchises to meet and match one architectural design for branding and uniformity. The proposed design for the remodeled building will meet Hyundai's design requirement which is associated with a modern style architecture. The building features a modern look with a variety of enhanced exterior bronze and aluminum features. The front of the showroom building features large storefront windows with a glass vehicle display area accented by exterior glazing and contrasting aluminum panels. The aluminum panels are a waved-like pattern inspired by "clouds in nature" to match Hyundai's corporate branding. The service and delivery canopy will match the same materials and colors featured throughout the main building.

Landscape

The project will include 4,987 square feet of landscape area consisting mostly of drought tolerant landscape. The proposed landscaping will be colorful, full, and accent the design theme of the overall site. Landscaping will incorporate a tiered system consisting of grass, shrubs, and trees. The project will maintain existing Mexican fan palm and Brisbane box trees and will install dwarf bottlebrush, brakelights red yucca, deer grass, coast rosemary, stalked bulbine, berkelye sedge, and blue chalksticks all throughout the site.



Proposed Elevation from Firestone Boulevard

DEVELOPMENT REVIEW COMMITTEE

The Development Review Committee (DRC) discussed and evaluated the project as it pertains to Planning, Police, Fire, Public Works, and Building and Safety matters. The Public Works Department provided information to the applicant on how to vacate the existing sewer easement on the property. Applicant chose to keep the easement and no other departments expressed major concerns or opposition over the project, and issued standard conditions. Recommended conditions of approval have been included in the attached Resolution to address potential impacts.

ENVIRONMENTAL ANALYSIS

Staff has reviewed the proposed Site Plan Review for compliance with the California Environmental Quality Act (CEQA). Upon completion of this review, staff has determined that this request is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1– Existing Facilities). Class 1 exemptions consist of additions to existing structures no more than 10,000 square feet. The exemption applies as the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and is not located within an environmentally sensitive area.

FINDINGS

Pursuant to Municipal Code Section 9820.08, there are seven (7) findings that must be adopted prior to approving a Site Plan Review. The findings are as follows:

1. The site plan is consistent with the goals and polices embodied in the General Plan and other applicable plans and policies adopted by the Council.

The project’s objective to revitalize the site helps achieve various long-term goals. Specifically, the following policies are promoted by the Site Plan Review:

Policy 8.1.1 – Promote architectural design of the highest quality.

Policy 8.2.2 – Promote the upgrading of properties.

The proposed architecture uses quality materials that provide different elements to achieve modern style architecture. The site is compatible in that the surrounding properties consist of a variety of architectural styles; however, this development will be newer than most developments within its proximity. The redevelopment of this site has the potential of serving as an example of higher quality architecture for future developments within the city.

Program 9.1.1.5 – Continue the revitalization of commercial and industrial corridors.

The site has remained relatively the same since 1980 (with the exception of a few minor interior tenant improvements), and is surrounded by older developed commercial properties. The quality of design, site layout, and landscaping not only upgrades the subject property but the surrounding area as well.

2. The proposed development is in accordance with the purposes and objectives of this article and the zone in which the site is located.

The purpose of the C-2 (General Commercial) zone, as stated in the Downey Municipal Code, “is intended to provide for and encourage the orderly development of general commercial uses, with a wide variety of goods and services, for the residents of the entire City, with provisions designed to ensure that such commerce will be efficient, functionally related, and compatible with adjacent noncommercial development.” The proposed application is in full conformance with the objectives stated above in that it will continue to allow for the site to offer goods and services with this commercial zone. Furthermore, automobile dealership use is commonly found in the General Commercial zone and are consistent with other uses found along Firestone Boulevard.

- 3. The proposed development's site plan and its design features, including architecture and landscaping, will integrate harmoniously and enhance the character and design of the site, the immediate neighborhood, and the surrounding areas of the City.**

The proposed design of the project will integrate harmoniously with this area by providing aesthetically pleasing architecture and landscaping. The renovations and expansion to the existing 13,909 square foot building will serve as a significant upgrade from the existing facilities on the site. In addition, the landscape will be enhanced to provide better transition from the street onto the site and vehicle display area.

- 4. The site plan and location of the buildings, parking areas, signs, landscaping, luminaries, and other site features indicate that proper consideration has been given to both the functional aspects of the site development, such as automobile and pedestrian circulation, and the visual effects of the development from the view of the public streets.**

The existing site layout has two entries along Firestone Boulevard without access to circulate from one entry to the next. The proposed development will remove a raised concrete curb, modify vehicle display parking, and expand the driveway to create two-way circulation at the front of the site. Modifications to the parking and driveway will improve circulation for visitors and staff members. In addition, the landscaping around the vehicle display creates a nice transitional buffer between the site and the public right of way and is intended to heavily compliment the aesthetics of the site. This project also incorporates decorative pavement within the vehicle display area; thus, preventing a long barren site with no visual appeal.

- 5. The proposed development will improve the community appearance by preventing extremes of dissimilarity or monotony in new construction or in alterations of facilities.**

The proposed project reflects modern style architecture, and reflects a high quality of architectural design. The proposed architectural style is neither dissimilar nor monotonous from other buildings in the area and this project will upgrade the overall appearance of the site and, in turn, improve the community appearance. Lastly, this proposed development will be in keeping with the quality of design of recently approved projects within the city.

- 6. The site plan and design considerations shall tend to upgrade property in the immediate neighborhood and surrounding areas with an accompanying betterment of conditions affecting the public health, safety, comfort, and welfare.**

The proposed architecture is a significant upgrade to the immediate neighborhood and surrounding areas. In addition, the redevelopment of this site has the potential of serving as an example for higher quality architecture for future developments within the City of Downey. Lastly, the operational procedures of the proposed development are also conditioned in an effort to ensure that any potential effects will not negatively harm or impact the surrounding sites and accompany the public health, safety, comfort and general welfare as much as possible.

- 7. The proposed development's site plan and its design features will include graffiti-resistant features and materials in accordance with the requirements of Section 4960 of Chapter 10 of Article IV of this Code.**

The project has been conditioned to meet the requirements specified in Section 4960 of the Downey Municipal Code. Section 4960 discusses the installation of anti-graffiti materials and the appropriate allotted time limit for the removal of graffiti.

CORRESPONDENCE

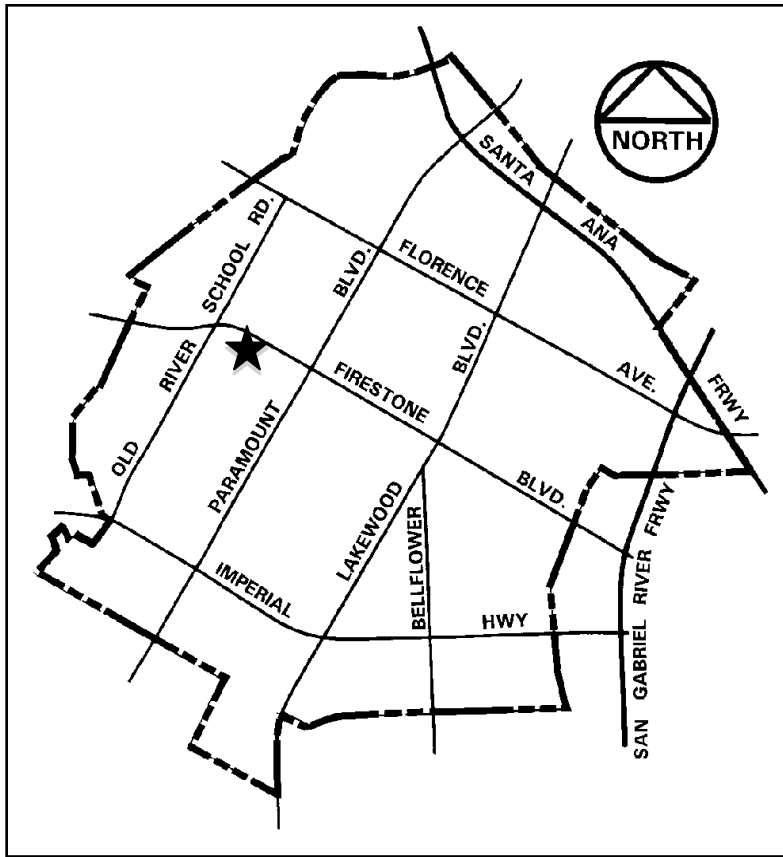
As of the date that this report was printed, staff has not received any correspondence regarding this application.

CONCLUSION

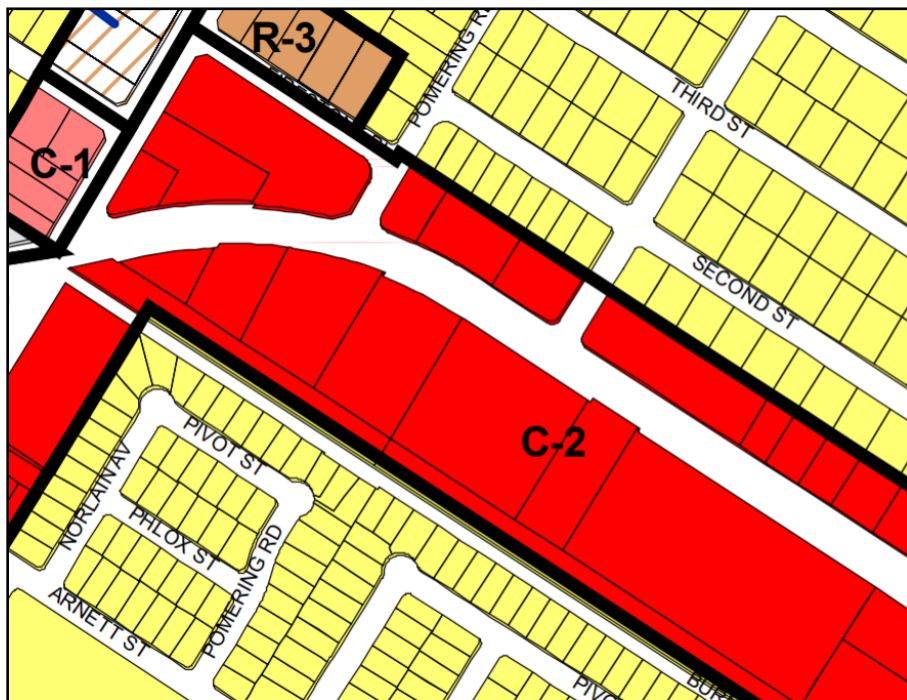
Based on the analysis contained within this report, staff is concluding that all findings required for approval can be made in a positive manner. As such, staff is recommending that the Planning Commission approve the application (PLN-21-00135), thereby approving the modification and expansion of 2,933 square foot to existing building.

EXHIBITS

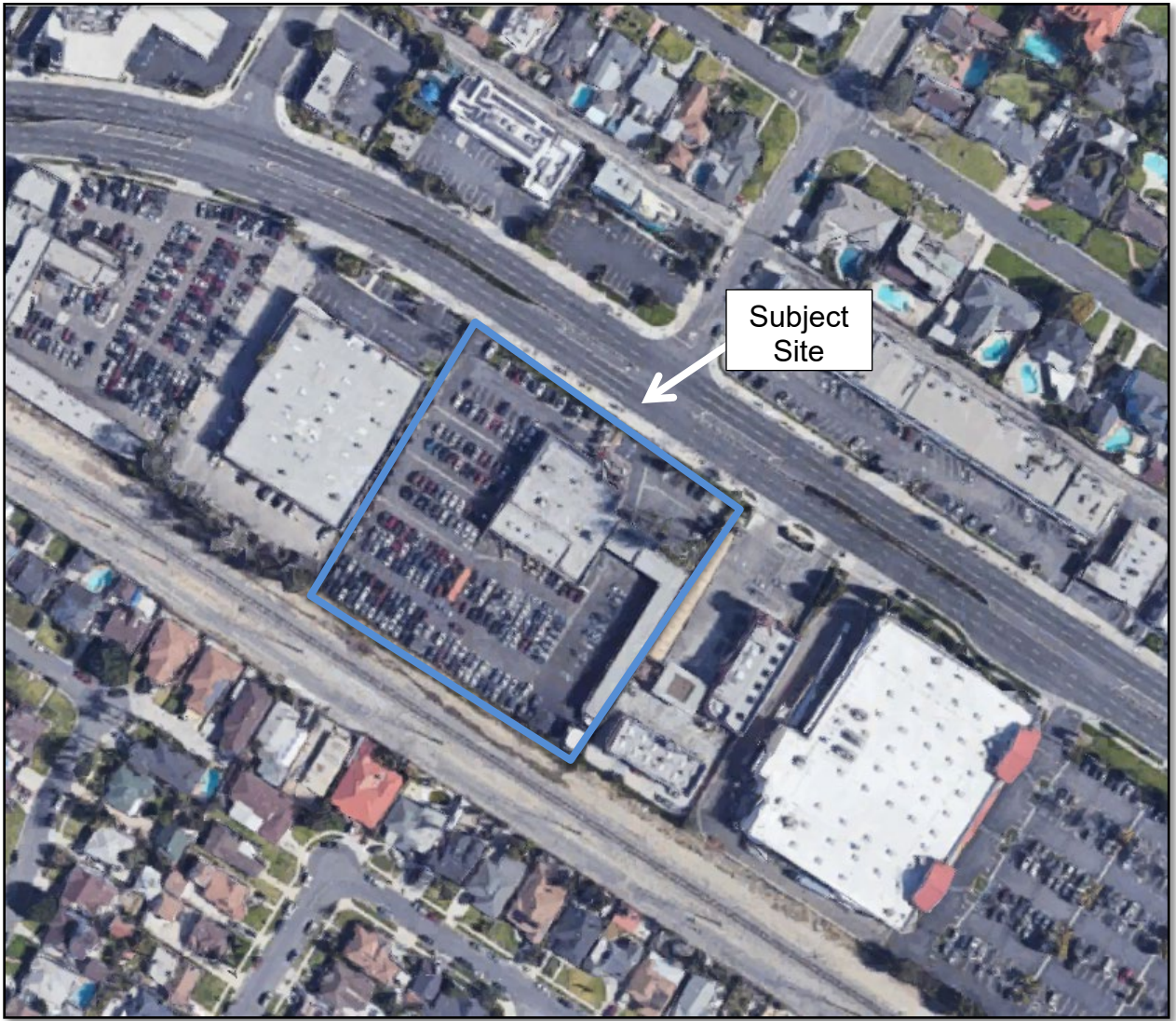
- A. Maps
- B. Draft Resolution
- C. Project Plans



Location



Zoning Map



Aerial Photograph

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A SITE PLAN REVIEW (PLN-21-00135), THEREBY ALLOWING THE EXPANSION AND REMODEL OF AN EXISTING HYUNDAI DEALERSHIP AT 7550 FIRESTONE BOULEVARD

THE PLANNING COMMISSION OF THE CITY OF DOWNEY DOES RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Downey does hereby find, determine and declare that:

- A. On September 24, 2021, an application was filed by Jonathan Matson (hereinafter referred to as the “applicant”) a request for Site Plan Review (PLN-21-00135) to expand and remodel an existing Hyundai dealership.
- B. The application was deemed incomplete due to missing information on October 20, 2021. The applicant resubmitted additional information and the application was deemed complete for further processing on January 24, 2022; and
- C. On February 17, 2022, a notice of the public hearing was sent to all property owners within 500’ of the subject site and the notice was published in Downey Patriot; and,
- D. The Planning Commission held a duly noticed public hearing on March 2, 2022, and after fully considering all oral and written testimony, facts, and opinions offered at the aforesaid public hearing adopted this resolution.

SECTION 2. The Planning Commission further finds, determines and declares that the proposed project was reviewed for compliance with the California Environmental Quality Act (CEQA), and is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1– Existing Facilities). Class 1 exemptions consist of additions to existing structures no more than 10,000 square feet. The exemption applies as the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and is not located within an environmentally sensitive area.

SECTION 3. Having considered all of the oral and written evidence presented to it at said public hearings regarding the Site Plan Review, the Planning Commission further finds, determines and declares that:

- A. The site plan is consistent with the goals and polices embodied in the General Plan and other applicable plans and policies adopted by the Council. The project’s objective to revitalize the site helps achieve various long-term goals. Specifically, the following policies are promoted by the Site Plan Review:

Policy 2.2. – Encourage infill development and recycling of land to provide adequate residential sites.

Policy 8.2.2 – Promote the upgrading of properties.

Program 9.1.1.5 – Continue the revitalization of commercial and industrial corridors.

The proposed architecture uses quality materials that provide different elements to achieve modern style architecture. The site is compatible in that the surrounding properties consist of a variety of architectural styles; however, this development will be newer than most developments within its proximity. The redevelopment of this site has the potential of serving as an example of higher quality architecture for future developments within the city. The site has remained relatively the same since 1980 (with the exception of a few minor interior tenant improvements), and is surrounded by older developed commercial properties. The quality of design, site layout, and landscaping not only upgrades the subject property but the surrounding area as well.

- B. The proposed development is in accordance with the purposes and objectives of this article and the zone in which the site is located. The purpose of the C-2 (General Commercial) zone, as stated in the Downey Municipal Code, "is intended to provide for and encourage the orderly development of general commercial uses, with a wide variety of goods and services, for the residents of the entire City, with provisions designed to ensure that such commerce will be efficient, functionally related, and compatible with adjacent noncommercial development." The proposed application is in full conformance with the objectives stated above. Furthermore, automobile dealership use is commonly found in the General Commercial zone and are consistent with other uses found along Firestone Boulevard.
- C. The proposed development's site plan and its design features, including architecture and landscaping, will integrate harmoniously and enhance the character and design of the site, the immediate neighborhood, and the surrounding areas of the City. The proposed design of the project will integrate harmoniously with this area by providing aesthetically pleasing architecture and landscaping. The renovations and expansion to the existing 13,909 square foot building square foot building will serve as a significant upgrade from the existing facilities on the site. In addition, the landscape will be enhanced to provide better transition from the street onto the site and vehicle display area.
- D. The site plan and location of the buildings, parking areas, signs, landscaping, luminaries, and other site features indicate that proper consideration has been given to both the functional aspects of the site development, such as automobile and pedestrian circulation, and the visual effects of the development from the view of the public streets. The existing site layout has two entries along Firestone Boulevard without access to circulate from one entry to the next. The proposed development will be removing raised concrete, modify vehicle display parking, and expand driveway to create a two-way driveway within the site. Modifications to the parking and driveway will improve circulation for visitors and staff members. In addition, the landscaping around the vehicle display creates a nice transitional buffer between the site and the public right of way and is intended to heavily compliment the aesthetics of the site. This project also incorporates decorative pavement within the vehicle display area; thus, preventing a long barren site with no visual appeal.
- E. The proposed development will improve the community appearance by preventing extremes of dissimilarity or monotony in new construction or in alterations of facilities. The proposed project reflects true modern style architecture, and reflects a high quality of architectural design. The proposed architectural style is neither dissimilar nor monotonous from other buildings in the area and this project will

upgrade the overall appearance of the site and, in turn, improve the community appearance. Lastly, this proposed development will be keeping with the quality of design recently approved projects within the city.

- F. The site plan and design considerations shall tend to upgrade property in the immediate neighborhood and surrounding areas with an accompanying betterment of conditions affecting the public health, safety, comfort, and welfare. The proposed architecture is a significant upgrade to the immediate neighborhood and surrounding areas. In addition, the redevelopment of this site has the potential of serving as an example for higher quality architecture for future developments within the City of Downey. Lastly, the operational procedures of the proposed development are also conditioned in an effort to ensure that any potential effects will not negatively harm or impact the surrounding sites and accompany the public health, safety, comfort and general welfare as much as possible.

- G. The proposed development's site plan and its design features will include graffiti-resistant features and materials in accordance with the requirements of Section 4960 of Chapter 10 of Article IV of this Code. The proposed development's site plan and its design features will include graffiti-resistant features and materials in accordance with the requirements of Section 4960 of Chapter 10 of Article IV of this Code. Section 4960 discusses the installation of anti-graffiti materials and the appropriate allotted time limit for the removal of graffiti.

SECTION 4. Based upon the findings set forth in Sections 1 through 3 of this Resolution, the Planning Commission of the City of Downey hereby approves Site Plan Review PLN-21-00135, subject to conditions of approval attached hereto as Exhibit 'A', which are necessary to preserve the health, safety and general welfare of the community and enable the Planning Commission to make the findings set forth in the previous sections. The conditions are fair and reasonable for the accomplishment of these purposes.

SECTION 5. The Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 2nd day of March 2022.

Patrick Owens, Chairman
City Planning Commission

I HEREBY CERTIFY that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Downey at a regular meeting thereof held on the 2nd day of March 2022, by the following vote, to wit:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSENT: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:

Mary Cavanagh, Secretary
City Planning Commission

**PLN-21-00135
(SITE PLAN REVIEW)
EXHIBIT A - CONDITIONS**

PLANNING

1. The approval of this Site Plan Review (PLN-21-00135) allows for 2,933 square foot expansion and remodel of existing front and side facades of an Hyundai dealership.
2. No later than March 16, 2022, the applicant and the property owner shall sign and return an affidavit of Acceptance of Conditions, as provided by the City of Downey.
3. The site shall remain in substantial conformance with this request and the approved set of plans.
4. Approval of the Site Plan Review (PLN-21-00135) shall not be construed to mean any waiver of applicable and appropriate zoning regulations, or any Federal, State, County, and City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Downey Municipal Code shall apply.
5. The Owner/Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the approval of this resolution, to challenge the determination made by City under the California Environmental Quality Act or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition.
6. The City Planner is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
7. All buildings and walls must be finished with graffiti resistant materials pursuant to Downey Municipal Code Section 4960.
8. Any graffiti applied to the site shall be removed within 48 hours.
9. The approved modern architectural style, finish material, and colors shall remain in strict conformance with the approved elevations and materials board reflecting bronze aluminum features. Changes to the facades and/or colors shall be subject to the review and approval of the City Planner. At his/her discretion, the City Planner may refer changes to the facades and/or colors to the Planning Commission for consideration.
10. The applicant shall comply with the art in public places requirements set forth in Downey Municipal Code 8950 et seq. This shall include payment of all required fees prior to the

issuance of building permits. Should the applicant exercise their right to install public art on site, the public art application (including payment of all deposits) shall be submitted prior to the issuance of building permits.

11. The Applicant shall incorporate a copy of this Resolution, including Exhibit A - Conditions of Approval, into the approved set of building plans.
12. Deliveries to the premises are prohibited between 10:00 P.M. and 7:00 A.M and shall occur within private property.
13. All landscaping must remain in compliance with the Downey Municipal Code, be composed of drought tolerant plants, and strictly conform to the approved set of plans. Any revisions to the proposed landscape plans will first require approval from the City Planner.
14. Prior to the final of building permits, all landscaping and irrigation shall be installed. The type, size and number of landscaping shall be as noted on the final approved landscape plan. All landscape shall be installed and permanently maintained.
15. The use approved herein must be executed within one year of approval or shall be subject to revocation where this approval will be deemed null and void.
16. All exterior lights on the property shall be LED and shall be directed, positioned, and/or shielded such that they do not illuminate surrounding properties and the public right-of-way.
17. All above grade back-flow preventers, check valves, shall be screened from view from the public right-of-way by a decorative metal-cut-out screen subject to approval of the City Planner.
18. All exterior mechanical and utility equipment shall be designed and located so as to not transmit noise or vibration to abutting properties. All utility equipment shall be located shall be screened from public view through the use of landscape screens, walls, or other devices architecturally compatible with the buildings. Electrical panels and/or transformers are expressly prohibited from being located between the buildings and the public street.

BUILDING

19. All construction shall comply with the most recent adopted City and State building codes:
 - a) 2019 California Building Code
 - b) 2019 California Electrical Code
 - c) 2019 California Mechanical Code
 - d) 2019 California Plumbing Code
 - e) 2019 California Fire Code
 - f) 2019 California Green Code
20. Special Inspections – As indicated by California Building Code Section 1704, the owner shall employ one or more special inspectors who shall provide special inspections when

required by CBC section 1704. Please contact the Building Division at time of plan submittal to obtain application for special inspections.

21. The Title Sheet of the plans shall include:
 - a) Occupancy Group
 - b) Occupant Load
 - c) Description of use
 - d) Type of Construction
 - e) Height of Building
 - f) Floor area of building(s) and/or occupancy group(s)
22. School impact fees shall be paid prior to permit issuance.
23. Dimensioned building setbacks and property lines, street centerlines and between buildings or other structures shall be designed on plot plan.
24. All property lines and easements must be shown on plot plan. A statement that such lines and easements are shown is required.
25. The project design will conform with energy conservation measures articulated in Title 24 of the California Code of Regulations and address measures to reduce energy consumption such as flow restrictors for toilets, low consumption light fixtures, and insulation and shall use to the extent feasible draught landscaping.
26. A design professional will be required at time of construction drawings, to prepare plans for proposed improvements per the Business and Professions' Code.
27. Public and private site improvements shall be designed in accordance with the Americans with Disabilities Act and Chapter 11 of the California Building Code. Site plan shall include a site accessibility plan identifying exterior routes of travel and detailing running slope, cross slope, width, pedestrian ramp, curb ramps, handrails, signage and truncated domes. Path of travel shall be provided from the public right of way and accessible parking to building. The design professional shall ensure that the site accessibility plan is compliance with the latest Federal and State regulations.

FIRE

The following comments pertain to a limited fire review of a design review plan submittal. The comments contained herein shall not be construed as complete or encompassing all fire-life safety code requirements set forth in local, State, and/or National local codes.

28. Premises shall be appropriately addressed. Approved address identification shall be provided that is legible and placed in a position that is visible from the street/road. Sizing shall be approved and at a minimum meet requirement of CA Fire Code [CA Fire Code §505.1]
29. Submit a separate fire lane/access plan. Separate fire access/lane plan shall be submitted to Fire for review and shall include the location of fire hydrants along fire

access road(s)/lane(s), fire lane markings, fire lane and access road widths, turnarounds, etc. [CA Fire Code §503.2; 503.3]

30. Fire access road shall have a minimum unobstructed width of 26-feet to allow for aerial fire apparatus access when the vertical distance between grade plane and highest roof surface exceeds 30-feet [CA Fire Code Appendix D105.1; 105.2].
31. Parking stalls, including wheel stops, shall be of sufficient size as to accommodate vehicles and not have said parked vehicles encroach into fire lane/access road
32. If necessary, existing key boxes (e.g. Knox Boxes) shall be relocated to an approved location as determined by Downey Fire. Building shall be provided with Knox Key box and any gates, barriers shall be provided with either approved Knox pad lock or electronic key switch [CA Fire Code §506.1].
33. If gates or other barriers are installed across the fire apparatus access road, they shall be approved by Fire Code Official; and if electric gates are provided, it shall be listed in accordance with UL 325 and be designed, constructed and installed to comply with requirements of ASTM F2200 [CA Fire Code §503.5; §503.6]. Gates shall be provided with an approved key boxes (e.g. Knox Entry System) [CA Fire Code §506.1].
34. Buildings egress shall be designed and adhere to the requirements of the CA Building and Fire Codes (CA Fire Code Chapter 10) as it relates to occupant load, number of egresses, egress sizing, door swing direction, exit sign illumination, etc.
35. A deferred automatic fire sprinkler plan shall be submitted. Automatic fire sprinkler system design, installation, and testing shall be per NFPA 13 [CFC §105.7.1; 903; DMC 3317]
36. A deferred fire alarm and detection system plan shall be submitted. Automatic fire alarm and detection system design, installation, and testing shall be per NFPA 72 [CA Fire Code § 105.7.7; 907; DMC 3316]
37. Existing NFPA 704 hazard warning placard shall be relocated to an approved location on the address side of the building and be readily visible to first responders. NFPA 704 placard shall be required where hazardous substances equal to or above permitted quantities are handled, stored, or used [CA Fire Code §5003.5].
38. Provide additional details on new raised parapet (e.g. height). The parapet shall not interfere or otherwise obstruct firefighter roof access as roof access shall be maintained with no features obstructing or interfering with emergency access for roof operations during a fire emergency [CA Fire Code §504.1; 504.4; CCR Title 19 §3.05(b)]

PUBLIC WORKS

39. The owner/applicant shall obtain all necessary plan approvals and permits.
40. No permanent structures shall be built on any easements inside the property.

41. City would open to vacating the 10' sewer easement running north/south through the Downey Hyundai property at 7550 Firestone Bl. Before beginning the process of vacating the easement, the applicant/owner for Downey Hyundai would need to CCTV the existing 8" V.C.P. sewer main line completely to make sure that no other neighboring properties are connected to this sewer main. If it is determined that no other property is connected than City is willing to work with the applicant owner and proceed with the documentation need to vacate the existing sewer easement.
42. Any utilities that are in conflict with the development shall be relocated at the owner/applicant's expense. Owner/applicant shall coordinate the relocation with the utility owner and proper Public Works permit will need to be pulled.
43. Complete a construction & demolition (C&D) waste management plan per Article V, Chapter 8 of the Downey Municipal Code.
44. The owner/applicant shall comply with the National Pollutant Discharge Elimination System (NPDES) requirements of the Federal Clean Water Act; and Ordinance 1142 of the Downey Municipal Code (DMC). Watering down parking lot for maintenance purposes shall be prohibited at all times.
45. The owner/applicant must comply with all applicable Federal, State and local rules and regulations, American Disabilities Act (ADA), including compliance with South Coast Air Quality Management District (SCAQMD) regulations.
46. If any hazardous material is encountered on the site that has the potential to reach the ground water supply, the owner/applicant shall secure a permit for the State Regional Water Quality Control Board.
47. If any hazardous material is encountered on the site, the owner/applicant shall secure an ID number from the EPA.
48. The owner/applicant shall deploy Best Management Practices during and after construction.

Attachment A
Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Development Construction
Projects/Certification Statement

The following is intended as an attachment for construction and grading plans and represent the minimum standards of good housekeeping which must be implemented on all construction sites regardless of size.

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
 - Other

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Project Name: _____

Project Address: _____

Print Name _____
(Owner or authorized agent of the owner)

Signature _____ Date _____

[End of Conditions]

Downey Hyundai New Design



Photo Realistic Rendering from Firestone Boulevard

DOWNEY HYUNDAI
 7550 FIRESTONE BLVD.
 DOWNEY, CA. 90241

MATSON ARCHITECTS INC.
 JONATHAN S. MATSON, A.I.A.
 13271 South Street
 Cerritos, California 90703
 (562) 402-9100 Fax (562) 402-6570 E-mail: information@matsomarch.com

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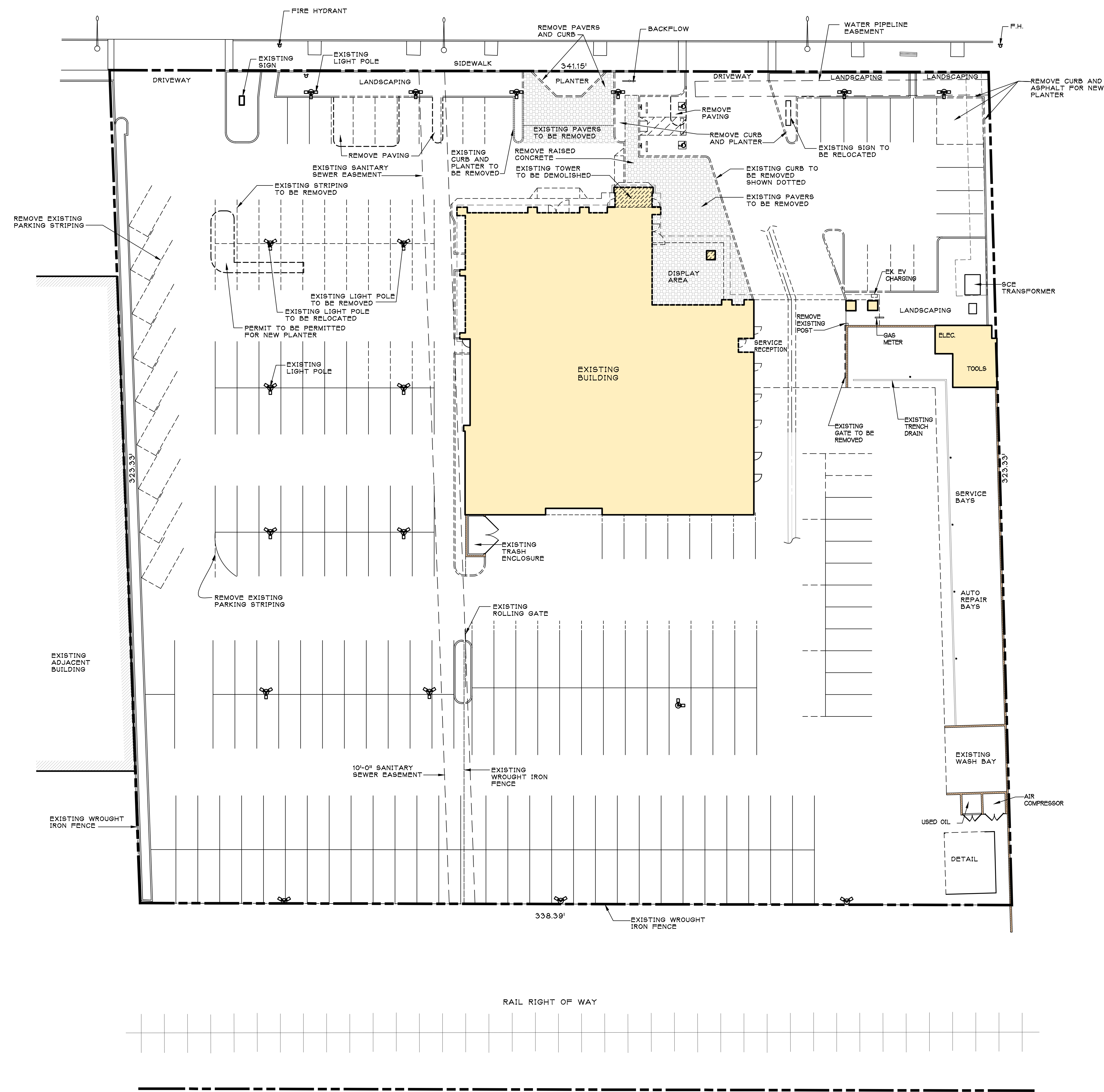


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 DATE: 11/18/21
 JOB NO: 21867

DESCRIPTION:
 3D Rendering

SHEET:
 A-1

FIRESTONE BLVD.



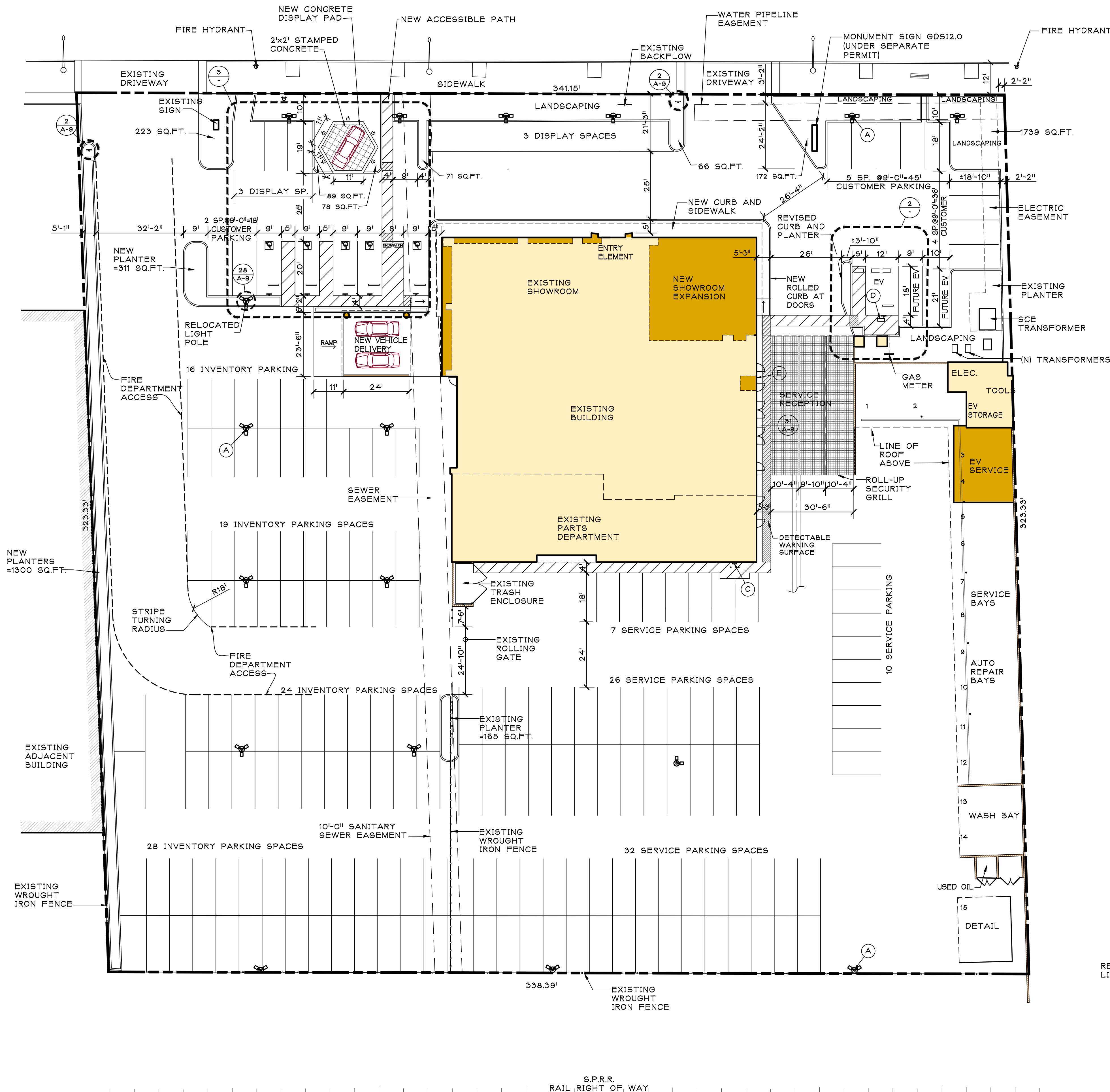
1
A-2
EXISTING SITE PLAN
SCALE: 1" = 20'-0"

DOWNEY HYUNDAI
7550 FIRESTONE BLVD.
DOWNEY, CA. 90241

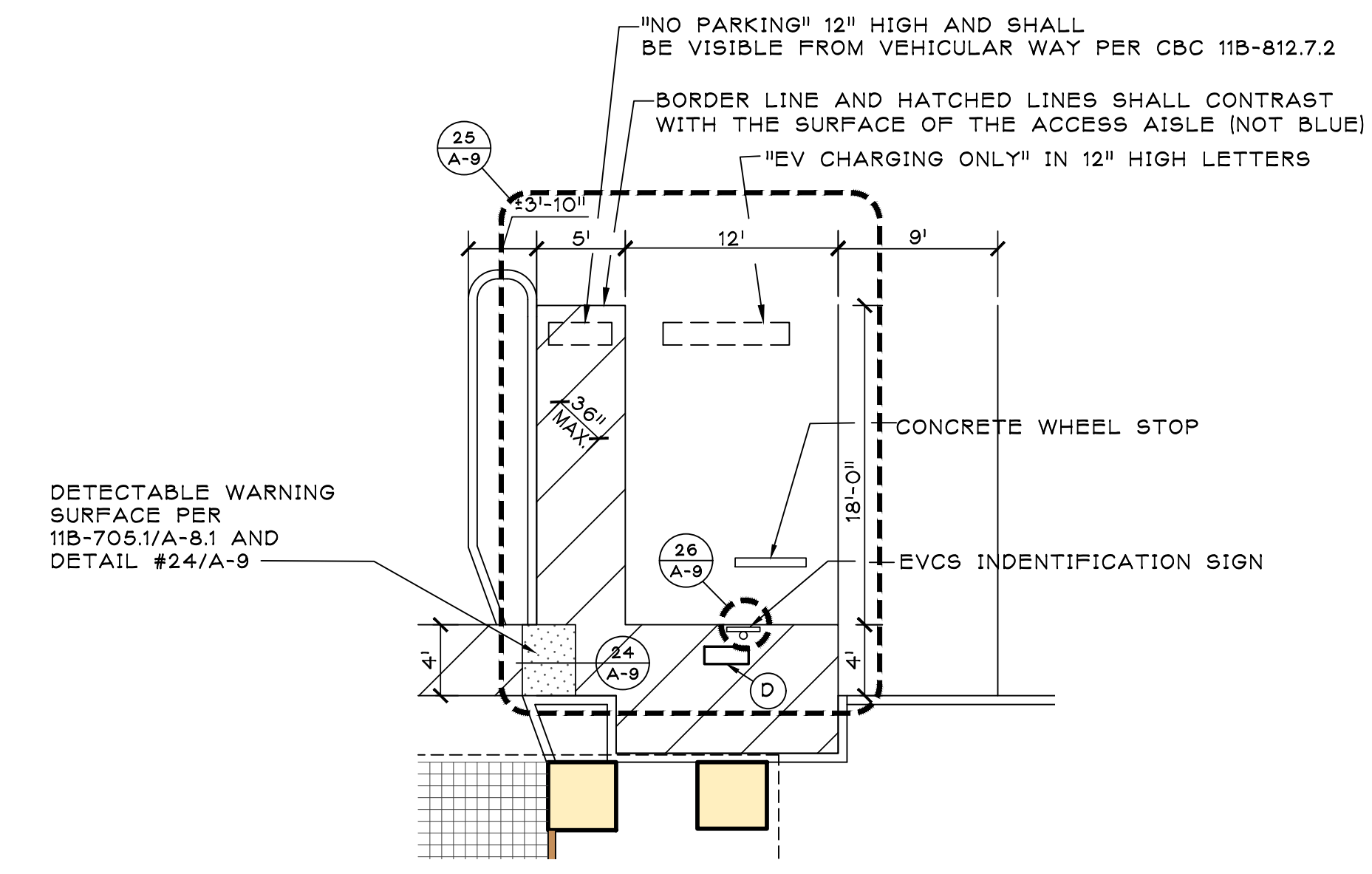
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13271 South Street
Cerritos, California 90703
(562) 402-9100 Fax (562) 402-6570 E-mail: information@matsomarch.com

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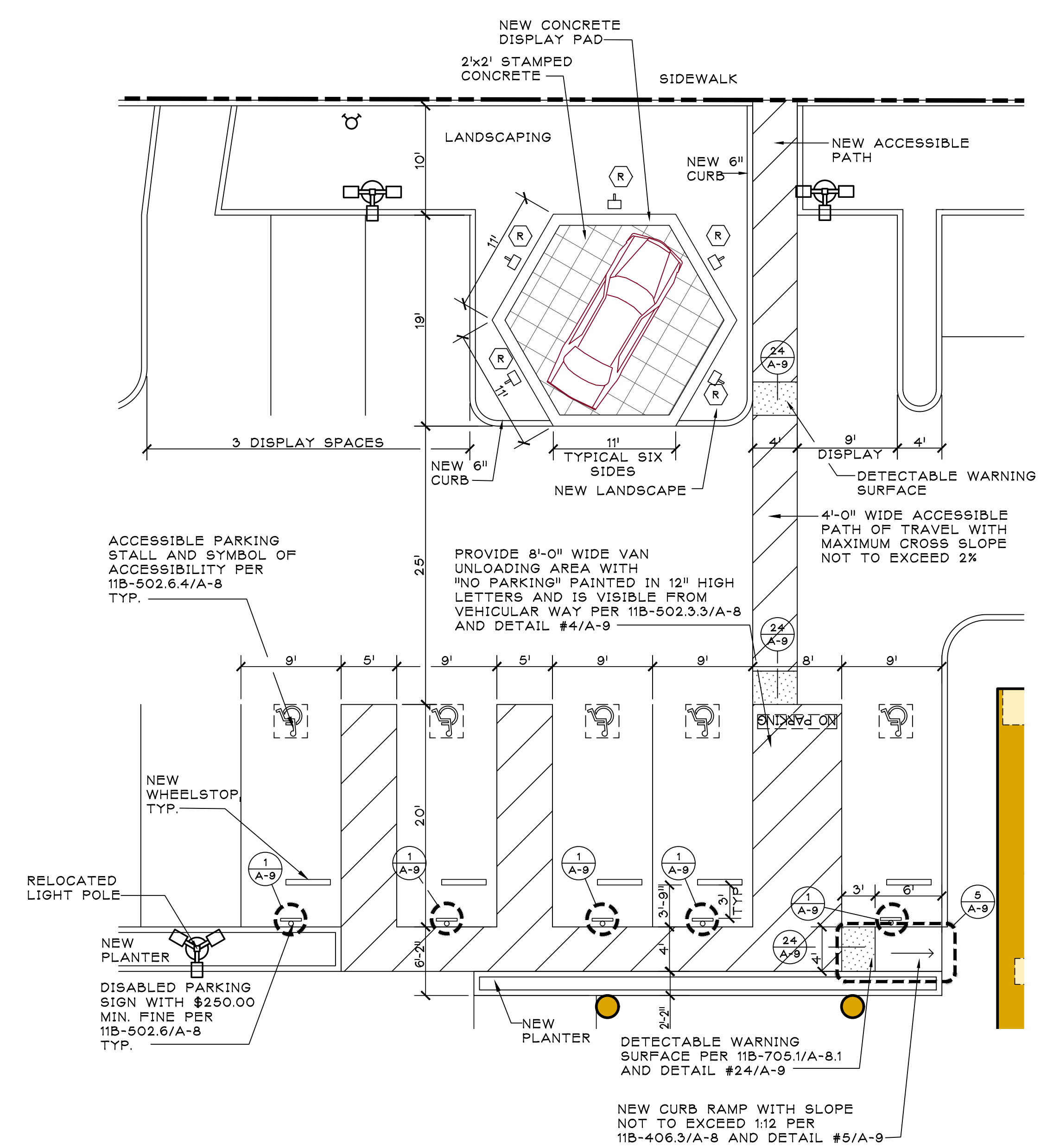
FIRESTONE BLVD.



1 PROPOSED SITE PLAN
SCALE: 1" = 20'-0"



2 ACCESSIBLE EV CHARGING
SCALE: 1/8" = 1'-0"



3 ACCESSIBLE PARKING AND DISPLAY PAD
SCALE: 1/8" = 1'-0"

PROJECT DATA

SCOPE OF WORK : REVISE SITE TO IMPROVE CIRCULATION, PROVIDE ACCESSIBLE PATH AND ACCESSIBLE PARKING.
EXISTING BUILDING TO BE REMODELED TO CURRENT HYUNDAI STANDARDS WITH SHOWROOM EXPANSION AND DELIVERY CANOPY.

SITE AREA : 108,786 SQ. FT.

BUILDING AREA

EXISTING	
AREAS TO BE REMODELED :	
SHOWROOM AND OFFICES :	8,571 SQ. FT.
SERVICE RECEPTION :	1,424 SQ. FT.
EXISTING AREAS TO BE REMODEL :	9,995 SQ. FT.
PARTS DEPARTMENT :	3,245 SQ. FT.
SERVICE BAYS :	4,713 SQ. FT.
DETAIL/ WASH BAY :	634 SQ. FT.
CANOPY :	669 SQ. FT.
TOTAL EXISTING :	19,256 SQ. FT.
AREA TO BE DEMOLISHED	
TOWER :	-113 SQ. FT.
DISPLAY CANOPY :	-669 SQ. FT.
TOTAL :	-782 SQ. FT.
NEW :	
SHOWROOM EXPANSION :	1,738 SQ. FT.
DELIVERY CANOPY :	564 SQ. FT.
SERVICE RECEPTION :	631 SQ. FT.
TOTAL NEW AREA :	2,933 SQ. FT.
TOTAL BUILDING AREA :	21,407 SQ. FT.

SITE IMPROVEMENTS :

ASPHALT PAVING TO BE REPLACED AND STRIPED :	12,823 SQ. FT.
CONCRETE WALKWAYS TO BE REPLACED :	2,724 SQ. FT.
NEW LANDSCAPING :	635 SQ. FT.
TOTAL SITE IMPROVEMENTS AREA :	16,182 SQ. FT.

PARKING REQUIRED

AUTO REPAIR :	3 SPACES PER BAY
SHOWROOM AND OFFICE SPACE :	1 SPACE/ 400 SQ. FT.
PARTS DEPARTMENT :	1 SPACE/ 300 SQ. FT.
EXTERIOR DISPLAY :	1 SPACE/ 2000 SQ. FT.

15 REPAIR BAYS : 15x3 = 45 SPACES
SHOWROOM AND NEW VEHICLE DELIVERY/CANOPY : 10,873/400 = 27
PARTS DEPARTMENT : 3,245/ 300 = 11
EXTERIOR DISPLAY : 2,754/ 2000 = 2
TOTAL : 85 SPACES

PARKING PROVIDED

CUSTOMER PARKING :	13 SPACES
ACCESSIBLE PARKING :	5
EV PARKING :	75
SERVICE PARKING :	94 SPACES
INVENTORY PARKING :	87
DISPLAY PARKING :	95 SPACES

PARKING AREA
EXCLUDES DRIVEWAYS : 34,688 SQ. FT.

LANDSCAPING PROVIDED IN ADDITION TO PARKWAY LANDSCAPING : 34,688 x .10 = 3,469 SQ. FT.
LANDSCAPING PROVIDED : 4,987 SQ. FT.

ART IN-LIEU FEE
AN IN-LIEU FEE WILL BE PAID TO MEET THE PUBLIC ART REQUIREMENTS.

OCCUPANCY : B, S-1
TYPE OF CONSTRUCTION : IIIIS
SPRINKLED

CGBCS TABLE 5.106.5.3.3
PARKING PROVIDED : 94 SPACES
NUMBER OF REQUIRED CHARGING SPACES : 5 SPACES
PROVIDED AS PART OF THIS PERMIT : 3 SPACES
FUTURE CHARGING SPACES : 2 SPACES

AUTO TRANSPORT TRUCK UNLOAD AT 7474 FIRESTONE BLVD. NO TRANSPORT TRUCKS UNLOAD AT THIS PROPERTY

- GENERAL NOTES**
- ALL EXISTING SITE LIGHT POLES AND FIXTURES ARE TO BE PAINTED BRONZE ANODIZED. ALL NEW LIGHT FIXTURES AND POLES ARE TO BE BRONZE ANODIZED
 - ANY MODIFICATION OR RELOCATION TO EXISTING SIGNS MUST MEET THE CURRENT SIGN STANDARDS FOUND UNDER DMC SECTION 9618
 - NEW LEVEL 3 CHARGER WITH 2 PIPE BOLLARDS, CHARGE POINT CPE250 480V, 3PH, 80 AMPS
 - EXISTING LEVEL 2 CHARGER TO BE REPLACED WITH NEW LEVEL 3 FAST CHARGER, CHARGE POINT CPE 250, 480V, 3PH, 80 AMPS
 - PROVIDE A SIGN PROHIBITING SMOKING WITHIN 25 FT. OF BUILDING ENTRIES PER DETAIL #19/A-9

DOWNEY HYUNDAI
7550 FIRESTONE BLVD.
DOWNEY, CA. 90241

MATSON ARCHITECTS INC.
JONATHAN S. MATSON, A.I.A.
13271 South Street
Cerritos, California 90703
(562) 402-9100 Fax (562) 402-6570 E-mail: information@matsonarch.com

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CIP 2.0 PROGRAM ELEMENTS

- 1 RECEPTION DESK AND FILE DRAWER CABINET #1W46692-C2000
- 2 BRAND WALL #1W46692-C1000
- 3 PRODUCT INFORMATION CENTER
- 4 42" TOUCH SCREEN MONITOR SYSTEM #1W4669-C13000
- 5 KEY DROPBOX 17.5"L x 18.75" x 4.25"DP. #1W46692-C12000
- 6 ACCESSORY DISPLAY #1W46692-C5000
- 7 ILLUMINATED WALL GRAPHIC #1W46692-CFRA-9866 80"L x 66"H.
- 8 SERVICE PLEDGE PLAQUE #1W46692-C8200

GENERAL NOTES

- A PROVIDE A READILY ACCESSIBLE AREA THAT SERVES THE ENTIRE BUILDING FOR THE DEPOSITING, STORAGE, AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING INCLUDING PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE AND METALS.
- B CHARGE POINT CPF 50 WALL MOUNTED 240V. 50 AMPS
- C CHARGE POINT CPF 50 PEDESTAL 240V. 50 AMPS

PLUMBING FIXTURES REQUIRED

CPC TABLE A OCCUPANT LOAD FACTOR
 GROUP B OFFICE: 1/2000 SQ.FT.
 GROUP S WORKSHOPS: 1/2000 SQ.FT.
 GROUP S WAREHOUSE: 1/5000 SQ.FT.
 SHOWROOM AND OFFICES: 10873/200 = 54
 27 MEN, 27 WOMEN

REQUIRED FIXTURES	WATER CLOSET	URINALS	LAVATORIES	SERVICE
MEN	1	1	1	1
WOMEN	2	-	1	1

FIXTURES PROVIDED	WATER CLOSET	URINALS	LAVATORIES	SERVICE
MEN	1	2	2	1
WOMEN	3	-	2	1

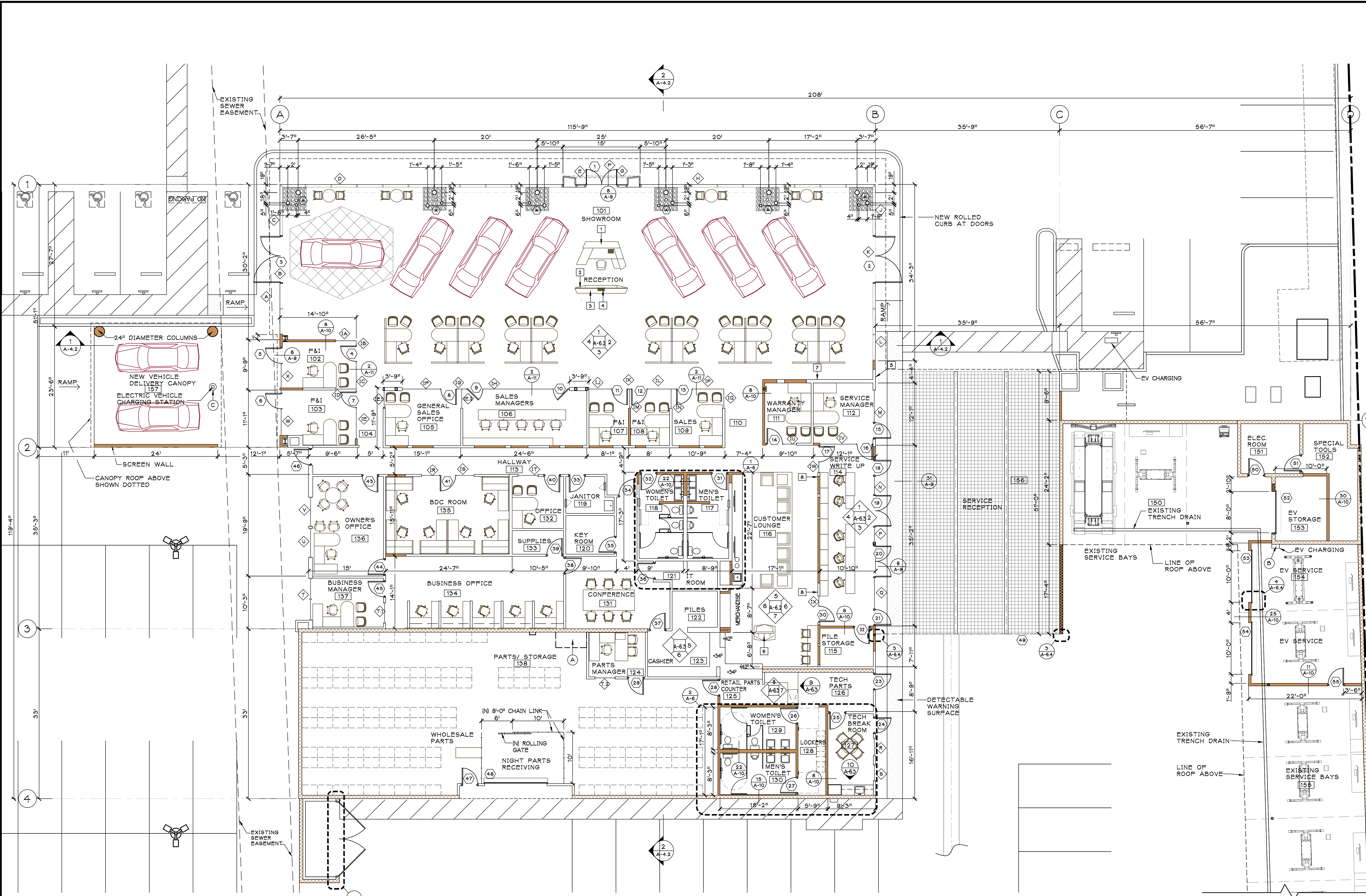
PARTS AND SERVICE
 PARTS DEPT: 3245/5000 = 1
 SERVICE DEPT: 5347/2000 = 3/4

REQUIRED FIXTURES	WATER CLOSET	URINALS	LAVATORIES	SERVICE
MEN	1	1	1	1
WOMEN	1	-	1	1

FIXTURES PROVIDED	WATER CLOSET	URINALS	LAVATORIES	SERVICE
MEN	1	1	2	1
WOMEN	2	-	2	1

WALL SCHEDULE

- EXISTING CONCRETE BLOCK WALL TO REMAIN
- EXISTING WALL OR PARTITION TO REMAIN, R-13 BATT INSULATION MINIMUM AT EXTERIOR WALLS
- NEW CONCRETE BLOCK WALL W/ 7/8" CEM. PLASTER ON CUSTOMER SIDE
- NEW WALL OR PARTITION-3/8" 20 GA STEEL STUDS@16"OC, R-13 BATT INSULATION AND 5/8" GYP.BD. BOTH SIDES



1 PROPOSED FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DOWNEY HYUNDAI
 7550 FIRESTONE BLVD.
 DOWNEY, CA. 90241

MATSON ARCHITECTS INC.
 JONATHAN S. MATSON, A.I.A.
 13271 South Street
 Cerritos, California 90703
 (562) 402-9100 Fax (562) 402-6570 E-mail: information@matsonarch.com

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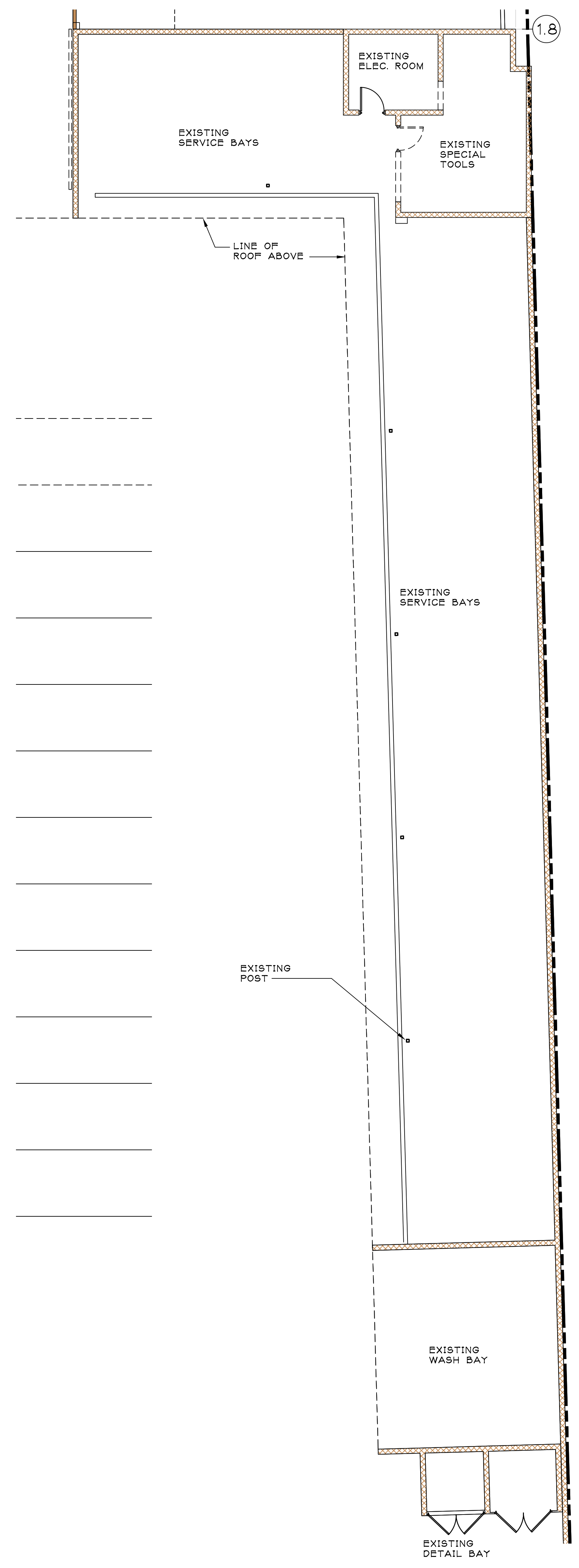
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	DATE: 2/8/22	PROPOSED FLOOR PLAN
	JOB NO. 21867	SHEET: A-3.1

GENERAL NOTES

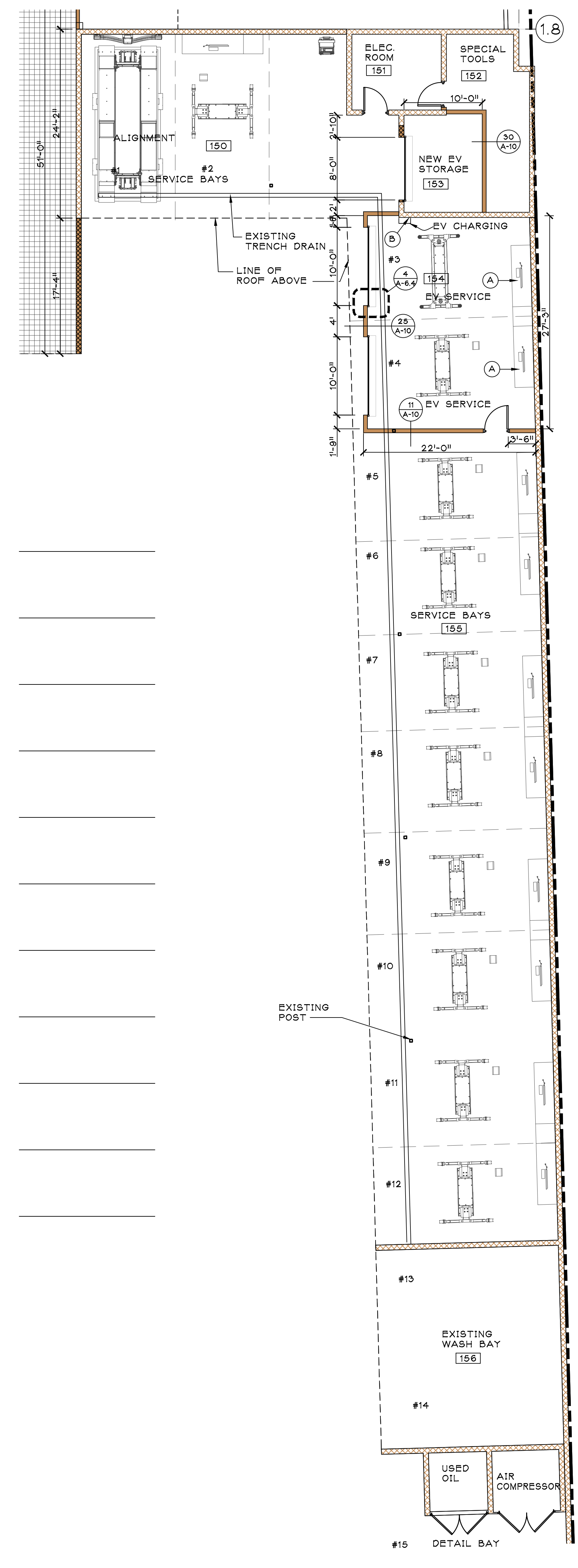
- (A) WORKBENCH WITH NON-CONDUCTIVE WORK SURFACE AT EV SERVICE BAY
- (B) CHARGE POINT GPP 50 WALL MOUNTED 240V, 50 AMPS

WALL SCHEDULE

- ===== EXISTING WALL OR PARTITION TO BE REMOVED
- EXISTING CONCRETE BLOCK WALL TO REMAIN
- EXISTING WALL OR PARTITION TO REMAIN, R-13 BATT INSULATION MINIMUM AT EXTERIOR WALLS
- NEW CONCRETE BLOCK WALL W/ 7/8" CEM. PLASTER ON CUSTOMER SIDE
- NEW WALL OR PARTITION-5/8" 20 GA STEEL STUDS@16"o.c., R-13 BATT INSULATION AND 5/8"x1 GYP. BD. BOTH SIDES



EXISTING SERVICE BAYS FLOOR PLAN
SCALE: 1/8" = 1'-0"



NEW SERVICE BAYS FLOOR PLAN
SCALE: 1/8" = 1'-0"

DOWNEY HYUNDAI
7550 FIRESTONE BLVD.
DOWNEY, CA. 90241

MATSON ARCHITECTS INC.
JONATHAN S. MATSON, A.I.A.
13271 South Street
Cerritos, California 90703
(562) 402-9100 Fax (562) 402-6570 E-mail: information@matsonarch.com

STAGE:
SHEET:
A-3.2

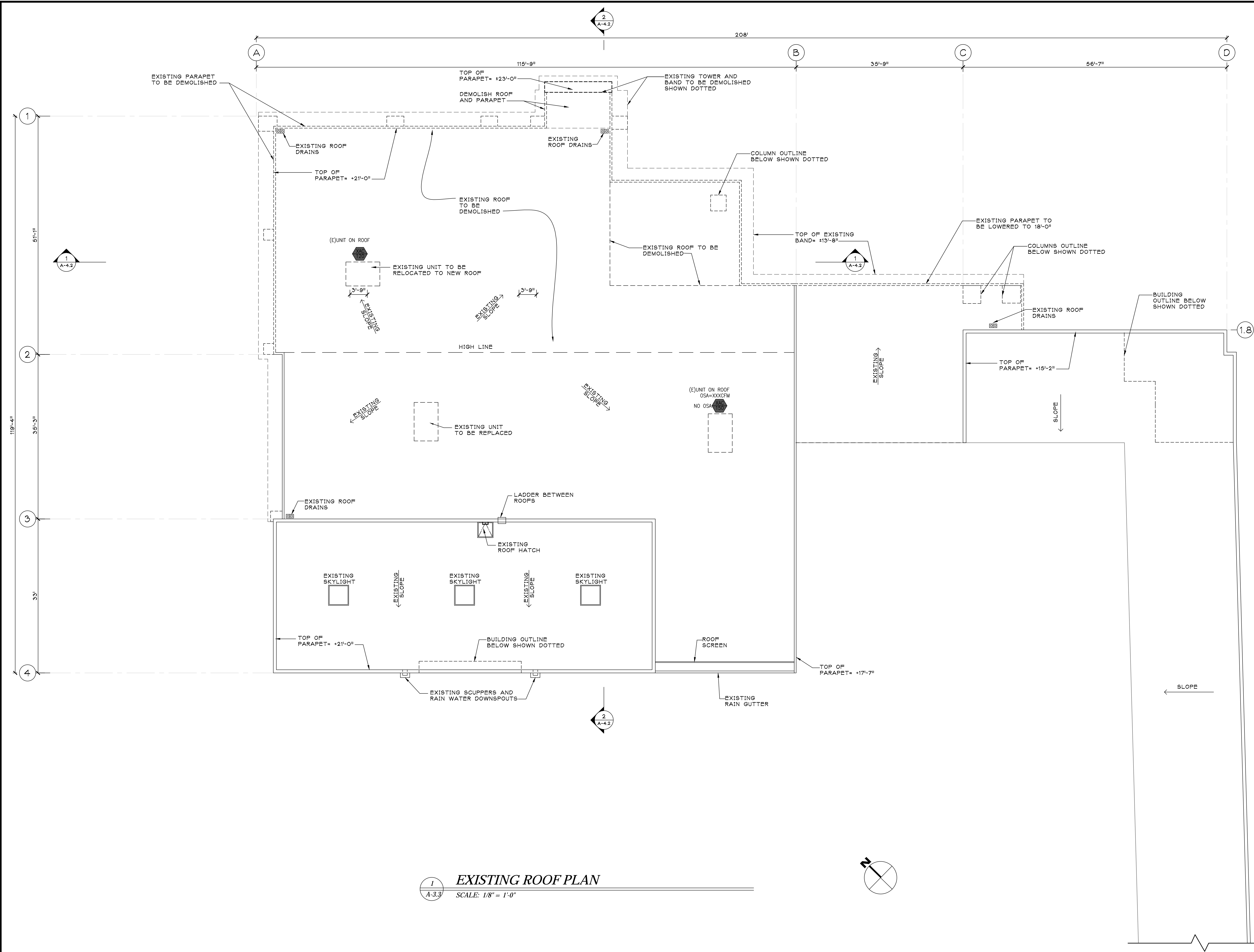
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JOB NO. 21867

DESCRIPTION:
EXISTING AND NEW SERVICE BAYS

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EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"

DOWNEY HYUNDAI
7550 FIRESTONE BLVD.
DOWNEY, CA. 90241

MATSON ARCHITECTS INC.
JONATHAN S. MATSON, A.I.A.
13271 South Street
Cerritos, California 90703
(562) 402-9100 Fax (562) 402-6570 E-mail: information@matsomarch.com

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DATE: 1/14/22
JOB NO. 21867

DESCRIPTION:
EXISTING ROOF PLAN

STAGE:
SHEET:
A-3.4

ROOFING SPECIFICATION

BUILT-UP ROOF:
 CRRC PRODUCT ID:
 # 0676-0021
 GAF MATERIALS CORP GAFGLAS
 ENERGYCAP MINERAL SURFACED CAP
 SHEET BUILT UP ROOF
 SOLAR REFLECTANCE: INITIAL .72
 THERMAL EMISSION: INITIAL .91
 U.L. RATED CLASS A
 ICC ESR-1274
 PROVIDE ROOF WARRANTY FOR 10 YEARS
 MINIMUM.

ROOF DRAINS, OVERFLOW DRAINS, AND
 RAINWATER PIPING WITHIN THE INTERIOR OF
 THE BUILDING SHALL BE TESTED IN
 ACCORDANCE WITH THE PROVISIONS OF THE
 PLUMBING CODE FOR TESTING DRAIN, WASTE,
 AND VENT SYSTEMS.

OVERFLOW DRAINS SHALL DISCHARGE TO AN
 APPROVED LOCATION INDEPENDENT FROM THE
 ROOF DRAIN.

OVERFLOW DRAINS HAVING THE SAME SIZE
 AS THE ROOF DRAINS SHALL BE INSTALLED
 WITH THE INLET FLOW 2" ABOVE THE LOW
 POINT OF THE ROOF.

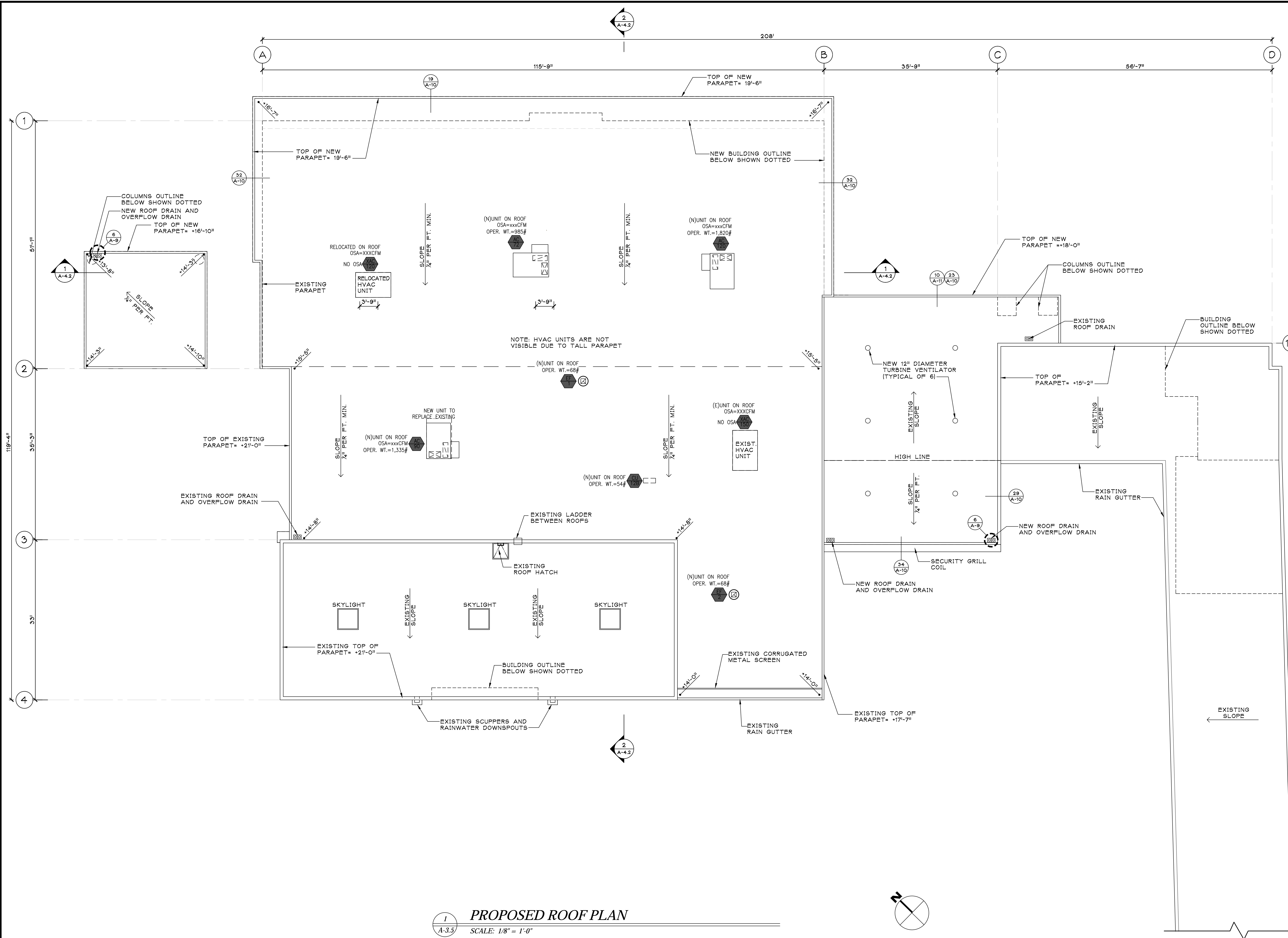
ROOF DRAINAGE SHALL NOT BE PERMITTED
 TO FLOW OVER PUBLIC PROPERTY.

ROOF DRAIN AND OVERFLOW PIPING WITHIN
 THE BUILDING SHALL UTILIZE APPROVED
 DRAINAGE FITTINGS.

MANUFACTURED ROOF DRAINS AND
 OVERFLOWS SHALL BE IAPMO LISTED
 NO ABS OR PVC ALLOWED IF CONCEALED
 WITHIN THE CONSTRUCTION

ROOF INSULATION

APPLIES TO CONDITIONED SPACE
 AT NEW ROOF FRAMING
 R-30 BATT INSULATION
 AT EXISTING ROOF FRAMING
 R-18 BATT INSULATION (CONFIRM EXISTING)



1 PROPOSED ROOF PLAN
 A-3.5 SCALE: 1/8" = 1'-0"

ROOF INSULATION

APPLIES TO CONDITIONED SPACE
 AT NEW ROOF FRAMING
 R-30 BATT INSULATION
 AT EXISTING ROOF FRAMING
 R-18 BATT INSULATION (CONFIRM EXISTING)

DOWNEY HYUNDAI
 7550 FIRESTONE BLVD.
 DOWNEY, CA. 90241

MATSON ARCHITECTS INC.
 JONATHAN S. MATSON, A.I.A.
 13271 South Street
 Cerritos, California 90703
 (562) 402-9100 Fax (562) 402-6570 E-mail: information@matsonarch.com

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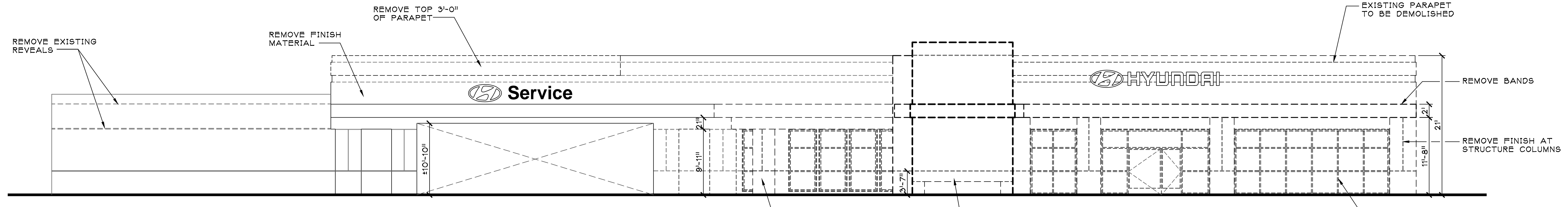
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 DATE: 2/2/22
 JOB NO. 21867

DESCRIPTION:
PROPOSED ROOF PLAN
 A-3.5

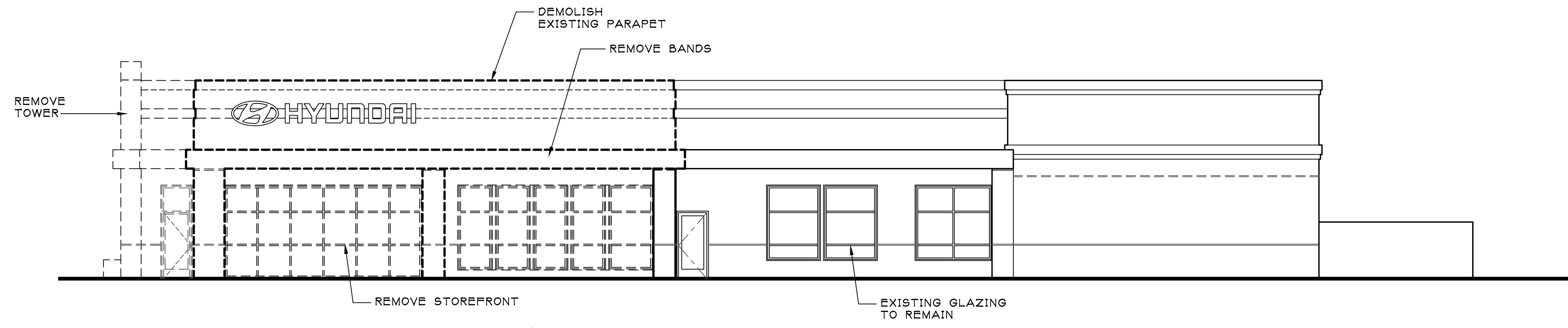


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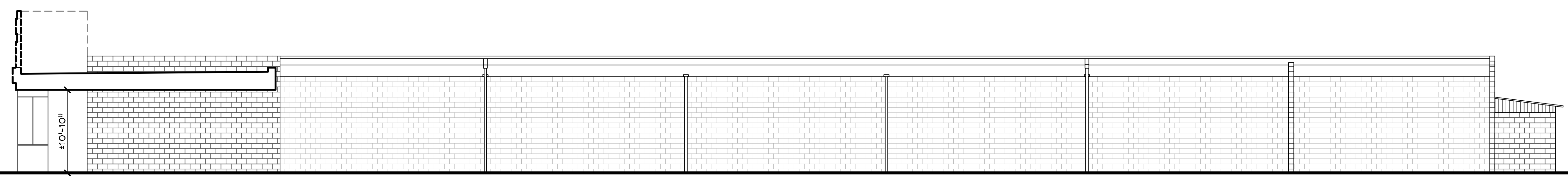
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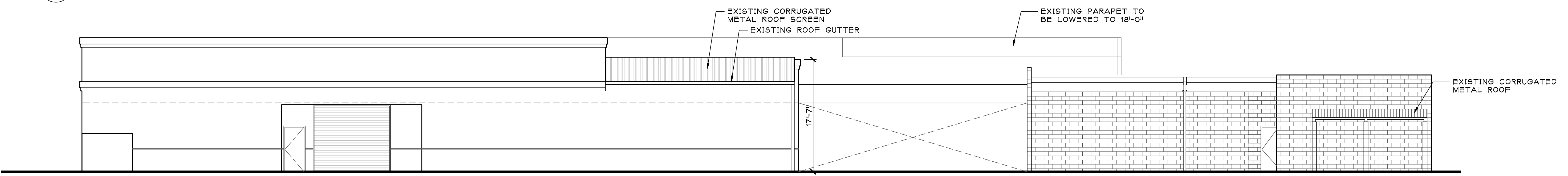
1
A-4
EXISTING NORTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



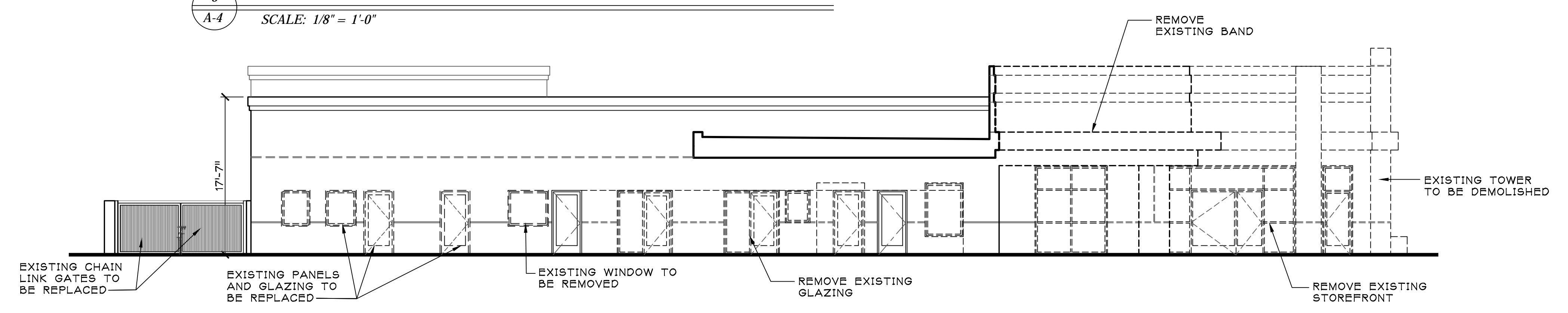
2
A-4
EXISTING NORTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



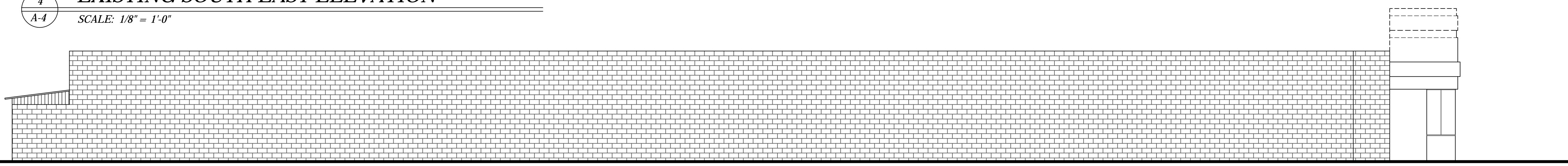
2A
A-4
EXISTING NORTH WEST ELEVATION - SERVICE BAYS
SCALE: 1/8" = 1'-0"



3
A-4
EXISTING SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



4
A-4
EXISTING SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



4A
A-4
EXISTING SOUTH EAST ELEVATION - SERVICE BAYS
SCALE: 1/8" = 1'-0"

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REVISIONS:

DRAWN BY:
DATE: 2/22
JOB NO. 21867

DESCRIPTION:
EXISTING ELEVATIONS

SHEET:
A-4

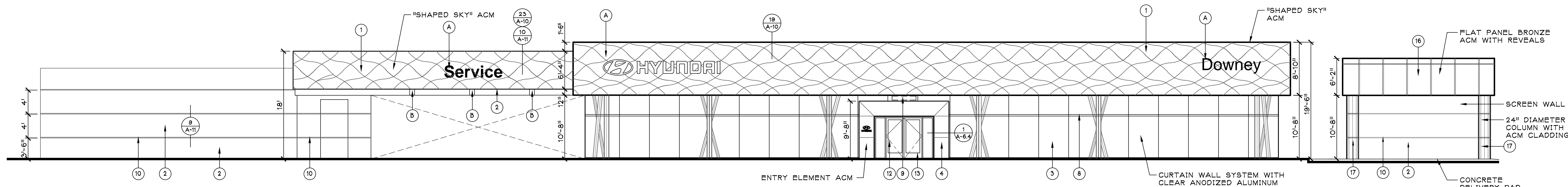
DOWNEY HYUNDAI
7550 FIRESTONE BLVD.
DOWNEY, CA. 90241

MATSON ARCHITECTS INC.
JONATHAN S. MATSON, A.I.A.
13271 South Street
Cerritos, California 90703
(562) 402-9100 Fax (562) 402-6570 E-mail: information@matsomarch.com

M:\SDSKPROJ\Downey Hyundai\CONSTRUCTION\Downey Hyundai-Elevations-EXISTING A.dwg

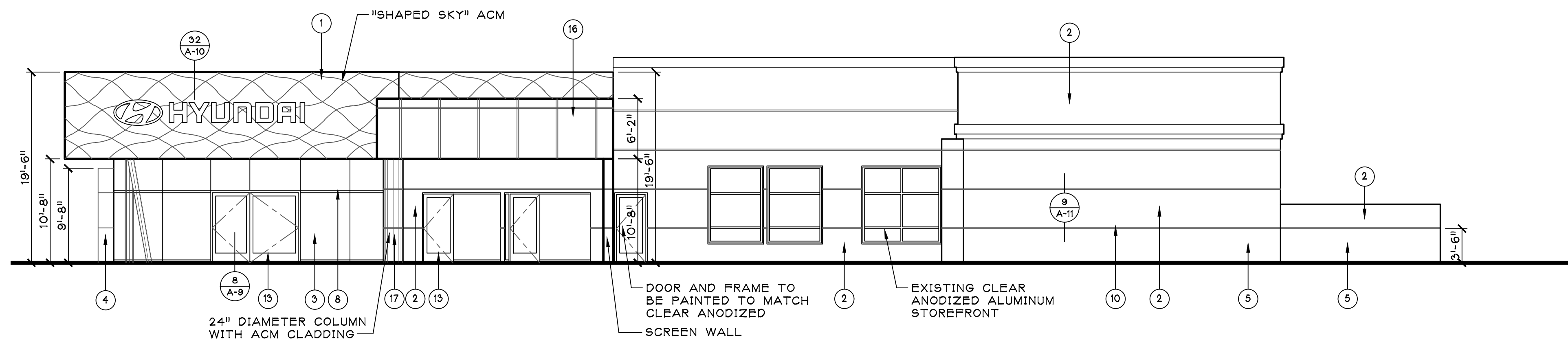
EXTERIOR MATERIALS

- 1 "SHAPED SKY" ACM PANELS, AS MANUFACTURED AND INSTALLED BY AGI. INSTALLED OVER BLACK ACM PANELS, DRY JOINT. INSPIRED BY THE SKY PATTERN OF CLOUDS IN NATURE.
- 2 PLASTER WALL FINISH, COLOR TO MATCH SHERWIN WILLIAMS #9111 "ANTLER VELVET", LIGHT SAND FINISH
- 3 STRUCTURAL SILICONE GLAZED (SSG) CURTAIN WALL SYSTEM WITH CLEAR ANODIZED ALUMINUM INTERIOR MULLIONS
- 4 ENTRY ELEMENT ACM PANELS, "HYUNDAI NORTH AMERICA BRONZE" BY AGI, DRY JOINT, PROVIDE POWER TO LEFT LEG. SEE DETAIL.
- 5 PLASTER WALL FINISH, COLOR TO MATCH SHERWIN WILLIAMS #6104 "KAFFEE" SEMI-GLOSS FINISH
- 6 PAINT METAL DOORS AND TRIM PAINTED SHERWIN WILLIAMS #9111 "ANTLER VELVET" SEMI GLOSS FINISH
- 8 HORIZONTAL COVER STRIP CLEAR ANODIZED ALUMINUM
- 9 ADDRESS NUMBERS TO BE 8" TALL CENTERED 6" ABOVE THE ENTRY ELEMENT. ALL TEXT TO BE MODERN H BOLD FONT
- 10 2" WIDE x 1" (MATERIAL THICKNESS) DEEP HORIZONTAL REVEALS
- 11 ANY WALL MOUNTED ACCESSORIES ARE TO MATCH THE COLOR OF ADJACENT WALL FINISHES
- 12 DAYS AND HOURS OF OPERATION SHALL BE POSTED AT MAIN CUSTOMER DOORS IN WHITE VINYL LETTERS IN THE HYUNDAI APPROVED FONT
- 13 CLEAR ANODIZED ALUMINUM STOREFRONT DOORS AND WINDOWS
- 14 EXISTING CONCRETE BLOCK PAINTED SHERWIN WILLIAMS #6104 "KAFFEE" UP TO 3'-6"
- 16 FLAT PANEL ACM "HYUNDAI NORTH AMERICA BRONZE"
- 17 24" DIAMETER COLUMN WITH "PUEBLO TAN" ACM



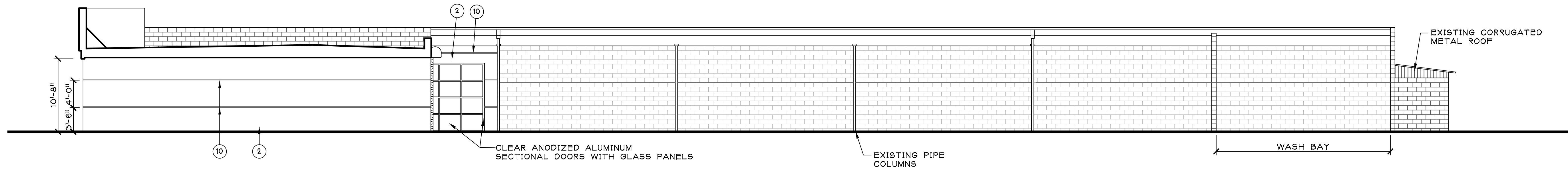
PROPOSED NORTH EAST ELEVATION

SCALE: 1/8" = 1'-0"



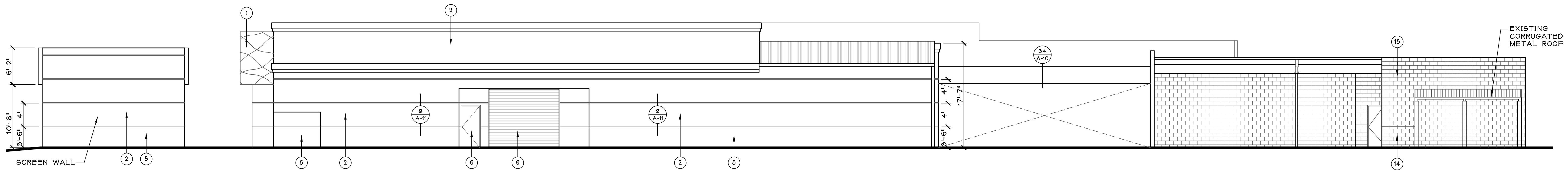
PROPOSED NORTH WEST ELEVATION

SCALE: 1/8" = 1'-0"



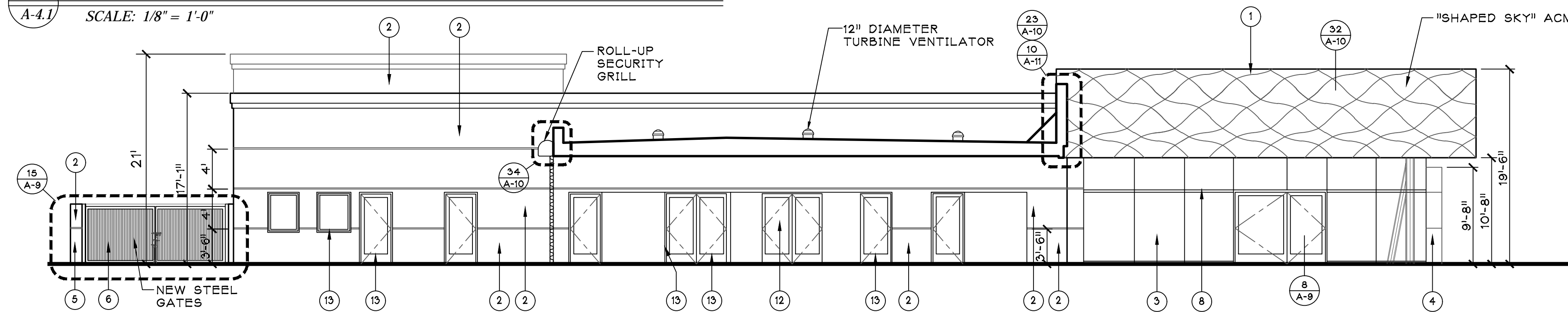
PROPOSED NORTH WEST ELEVATION - SERVICE BAYS

SCALE: 1/8" = 1'-0"



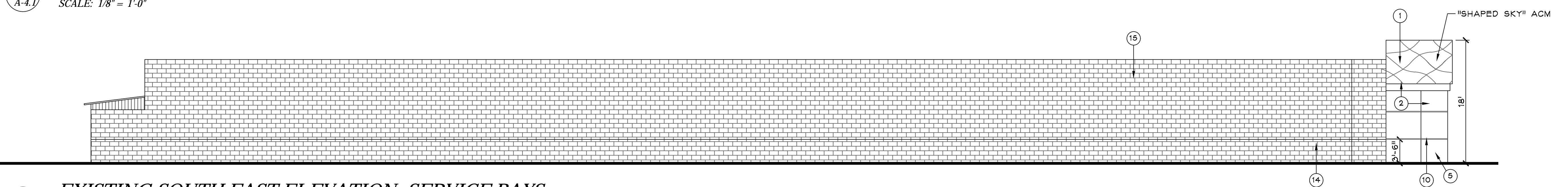
PROPOSED SOUTH WEST ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED SOUTH EAST ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING SOUTH EAST ELEVATION - SERVICE BAYS

SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A ALL SIGNS SHALL BE UNDER SEPARATE PERMIT
- B PROVIDE LED SERVICE LANE SIGNAL CENTERED ABOVE LANE BY SIGNAL TECH #TCL1010RG-175T5

DOWNEY HYUNDAI
7550 FIRESTONE BLVD.
DOWNEY, CA. 90241

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JONATHAN S. MATSON, A.I.A.
13271 South Street
Cerritos, California 90703
(562) 402-9100 Fax (562) 402-6570 E-mail: information@matsonarch.com

STAGE:

SHEET:

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REVISIONS:



DRAWN BY:
DATE: 2/2/22
JOB NO. 21867

DESCRIPTION:

PROPOSED ELEVATIONS

A-4.1

FIRESTONE BLVD.



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
	WASHINGTONIA ROBUSTA (ALL OTHER PALMS TO BE REMOVED, 2 TOTAL)	MEXICAN FAN PALM	EXISTING TO REMAIN	9	LOW
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	EXISTING TO REMAIN	6	MED
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	112	LOW
	HESPERALOE PARVIFOLIA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	5 GAL	12	VERY LOW
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	53	LOW
	WESTRINGIA 'BLUE GEM'	BLUE GEM COAST ROSEMARY	5 GAL	22	LOW
	BULBINE FRUTESCENS	STALKED BULBINE	1 GAL	@ 24" OC	LOW
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	@ 18" OC	LOW
	SENECIO SERPENS	BLUE CHALKSTICKS	1 GAL	@ 18" OC	LOW

LANDSCAPE NOTES

- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- LANDSCAPING IS TO CONFORM TO ALL APPLICABLE CODES & ORDINANCES.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE LANDSCAPING AS SHOWN.



WASHINGTONIA ROBUSTA



CALLISTEMON LITTLE JOHN



HESPERALOE 'BRAKELIGHTS'



MUHLENBERGIA RIGENS



WESTRINGIA BLUE GEM



BULBINE FRUTESCENS



CAREX DIVULSA



SENECIO SERPENS





STAFF REPORT


PLANNING DIVISION

DATE: MARCH 2, 2022

TO: PLANNING COMMISSION

SUBMITTED BY: ALDO E. SCHINDLER, DEPUTY CITY MANAGER/
COMMUNITY DEVELOPMENT 

REVIEWED BY: CRYSTAL LANDAVAZO, CITY PLANNER 

PREPARED BY: ALFONSO HERNANDEZ, SENIOR PLANNER 

SUBJECT: 2021 GENERAL PLAN ANNUAL PROGRESS REPORT

REPORT SUMMARY

The 2021 General Plan Annual Progress Report summarizes the City's progress with regards to implementation of the goals, policies and programs of the City's General Plan. It also summarizes the activities of the Planning Commission and the Community Development Department from January 1, 2021 through December 31, 2021. Staff recommends that the Planning Commission approve and forward the 2021 General Plan Annual Progress Report to the City Council.

DISCUSSION

The report has been prepared in compliance with California Government Code Section 65400 et. seq., which mandates the Planning Commission annually submit to the City Council, State Office of Planning and Research, and the Department of Housing and Community Development the status of the General Plan and the progress the City has made on implementing the goals and policies of the General Plan.

During 2021, the Planning Division also accepted and processed 168 applications including Administrative, Planning Commission, and legislative applications to the City Council.

The Planning Commission conducted 16 meetings and considered 23 items. A majority of the items considered by the Planning Commission were Special Event and Conditional Use Permits. Some of the larger projects that the Planning Commission considered include:

- Prologis Industrial Truck Terminal (12021 Woodruff Avenue) - A new 44,162 square foot industrial tilt-up building to be used as a freight truck terminal. The main components include warehousing and storage. An office space of 8,020 square feet is also included. The site was completely restored with new parking, lighting, and landscaping. The site was previously occupied by, Kirkhill Manufacturing Inc., a rubber manufacturer operating in the City of Downey since 1951. Building permits were approved in January 2022.

- Single Family Residential Development Standards and Design Guidelines (City Wide) – The Planning Commission recommended approval of new development standards and guidelines for the City’s single-family residential developments. These efforts primarily aim to reduce “mansionization” characteristics related to mass, bulk, and neighborhood consistency. The documents also streamline reviews by providing centralized materials with all relevant requirements.

In 2021, the Building and Safety Division issued 2,282 permits for a total construction valuation of \$98,867,336.04. These permits are for new construction, residential additions, and other minor improvements such as electrical, re-roof, plumbing, and window change-outs.

A copy of the 2021 General Plan Annual Progress Report is attached hereto for the Planning Commission’s consideration. The report is broken into three major sections, an introduction, a review of the department activities, and a review of the General Plan policies that have been implemented in 2021.

ENVIRONMENTAL ANALYSIS

Staff has reviewed the General Plan Annual Progress Report for compliance with the California Environmental Quality Act (CEQA). Upon completion of this review, staff determined that this request is categorically exempt from CEQA, pursuant to Guideline Section No. 15306 (Class 6, Information Collection). Categorical Exemptions are projects, which have been determined not to have a significant effect on the environment and which have been exempted from the requirements of CEQA. Class 6 consists of projects which solely encompass information collecting and reporting, such as the annual report.



City of Downey

2021 General Plan Annual Report Community Development Department



11111 Brookshire Avenue, Downey, CA

City of Downey

11111 Brookshire Avenue
Downey, CA 90241

City Council

(at the time of adoption)

Blanca Pacheco, Mayor
District 1

Sean Ashton, Mayor Pro-Tem
District 2

Catherine Alvarez
District 3

Claudia Frometa
District 4

Mario Trujillo
District 5

Planning Commission

(at the time of adoption)

Miguel Duarte
District 1

Patrick Owens
District 2

Arturo Montoya
District 3

Carrie Uva
District 4

Horacio Ortiz, Jr.
District 5



City of Downey

City Staff

City Administration

Gilbert A. Livas
City Manager

John Oskoui
Assistant City Manager

Community Development Department

Aldo E. Schindler
Director of Community Development

Crystal Landavazo
City Planner

Richard Hicks
Building Official

Jessica Flores
Economic Development & Housing
Manager

Carrie Rios
Senior Code Enforcement
Officer



Cityof**Downey**

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Introduction



Executive Summary

The City of Downey's 2021 General Plan Annual Progress Report is prepared by the Community Development Department with input from various City Departments including Public Works, Fire, Police, and Parks and Recreation. The report is intended to provide information on the measurable outcomes and actions associated with the implementation of all of the General Plan Elements. It also reviews the activities of the Community Development Department including the Planning, Building and Safety, Economic Development & Housing, and Code Enforcement Divisions.

The City of Downey General Plan is a long range comprehensive plan that will control and regulate land uses and development in the City. The individual Elements (land use, circulation, housing, conservation, open space, noise, safety, design, and economic development) of this General Plan contain policies and programs that will guide future development in the City.

California Government Code Section 65400 et seq. requires the City to annually review the General Plan. An annual report should be prepared for review and approval by the Planning Commission/City Council and forwarded to the State Office of Planning and Research and the State Housing and Community Development office.

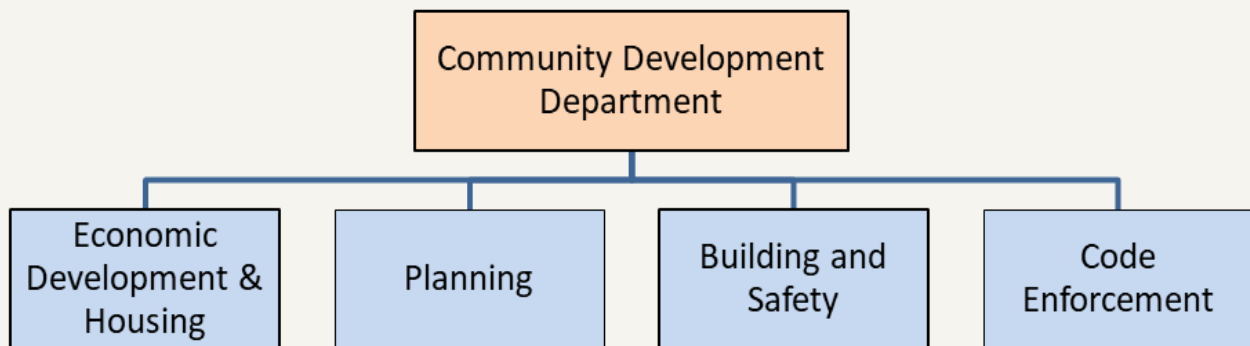
Background Information

Downey is 12.8 square miles in area. Its topography is relatively level. The City is located in the southeastern part of Los Angeles County, about 12 miles southeast of downtown Los Angeles. It is bounded by: the Rio Hondo River channel to the west; Telegraph Road to the north; the San Gabriel River channel to the east; and Gardendale Street and Foster Road to the south. Cities bordering Downey include Pico Rivera, Santa Fe Springs, Norwalk, Bellflower, Paramount, South Gate, and Commerce. The City of Downey is provided regional access by four interstate highways: the I-605 Freeway, the I-5 Freeway, the I-105 Freeway, and the I-710 Freeway. These freeways provide access to major employment centers including downtown Los Angeles and employment centers in Orange County.

The City of Downey has matured from its farming roots from its founding in 1873 to become the premier city in the southeast area of Los Angeles County. Downey is one of the larger suburban cities in the region with a population of 114,713 residents (Source: Finance Department, City of Downey *Comprehensive Annual Financial Report for Fiscal Year—ended June 30, 2020.*)

The issues addressed by General Plan Vision 2025 will work towards achieving this vision by adhering to the values providing excellent housing, education, employment, and recreation opportunities plus the mission of providing a safe, convenient, and attractive community for those that live, work, or visit Downey.

Department Organizational Chart



Acceptance Date

The 2021 General Plan Annual Progress Report was reviewed by the Planning Commission on March 16, 2022, and accepted by the City Council on March 22, 2022.

Community Development

Department Accomplishments



Planning Division

The Planning Division maintains and implements the Downey Municipal Code, Zoning Ordinance, General Plan, and prepares other specialized planning documents. The division reviews development requests for conformance with the City's planning policies and standards, and conducts environmental review under the provisions of the California Environmental Quality Act (CEQA).

The list below outlines the activities of the Planning Division from January 2021 through December 2021. The day-to-day planning activities include:

- Administrating the City's Zoning Ordinance (Development Code)
- Answering public inquiries on the telephone and over the public counter
- Processing entitlement applications for the Planning Commission and City Council
- Reviewing and approving business license applications for zoning compliance
- Reviewing development plans for compliance with City standards (Plan Checks)

Planning Commission

The Planning Commission conducts public hearings on all entitlements, including new commercial and multi-family residential buildings, conditionally permitted uses, variances and similar land use requests. On legislative items such as General Plan Amendments (GPA), Amendments to the Zoning Ordinance, and Zoning Changes, the Planning Commission acts as an advisory body to the City Council. In 2021, the Planning Commission conducted 16 meetings during which they considered 23 hearing items.

Below are some of the projects that were approved by the Planning Commission:

- Industrial Building (12021 Woodruff Avenue) – A new 44,162 square foot, one-story industrial tilt-up building was approved by the Planning Commission. The new building will be located on the west side of Woodruff Avenue. Staff worked diligently with the applicant to achieve a modern architectural style with quality materials and drought tolerant landscape throughout the site.
- Single-family Development Standards and Guideline (City Wide) - The Planning Commission recommended approval of new development standards and guidelines for the City's single-family residential developments. These efforts primarily aim to reduce "mansionization" characteristics related to mass, bulk, and neighborhood consistency. The documents also streamline reviews by providing centralized materials with all relevant requirements.

Planning Applications

Planning applications in 2021, including Administrative, Planning Commission, and legislative items to the City Council, totaled 168. Planning staff also reviewed business licenses and conducted plan check review to ensure proposed businesses, improvements and new construction were in compliance with the zoning code.

General Plan Housing Element Update

Throughout 2021, the Planning Division continued to conduct community outreach and held a Planning Commission Study Session regarding updates to the City’s housing element. This Housing Element provides the City with a coordinated and comprehensive strategy for promoting the production of safe, decent, and affordable housing for all community residents. The new element will be active between 2021-2029.

Rancho South Campus

Throughout 2021, the Planning Division created guidelines and standards through the potential implementation of a specific plan for the Rancho Los Amigos South Campus area. The plan hopes to promote future development of the southern portion of the Rancho Los Amigos Campus, which has sat mostly vacant since the consolidation of the Rancho Los Amigos National Rehabilitation Center in the 1980s.

Planning Applications	
Temporary Signs	7
Sign Permits	66
Conditional Use Permits	15
Sidewalk/ Parking Sales	6
Fireworks Stands	15
Christmas tree Lots / Pumpkin Patches	2
Special Events	12
Minor Modifications	6
Tentative Parcel/ Tract Maps	1
Planned Sign Program	2
Code Amendments	3
Lot Line Adjustments	3
Miscellaneous Actions	10
Variances	3
Site Plan Review	10
Temporary Use of Land Permit	1
Certificate of Compliance	1
Minor Conditional Use Permit	2
Temporary Outdoor Dining	3

Economic Development & Housing

In 2021, the Economic Development and Housing Division continued to assist in an amendments to the Ground Lease Agreement of a vacant 21-acre, city-owned parcel located adjacent to The Promenade Shopping Center, in an effort to facilitate development on the property. Additionally, in response to the COVID-19 pandemic, in 2020 the City created a Business Assistance Program that will provide grants of up to \$25,000, to small businesses in the community that were financially impacted by the COVID-1 pandemic. In 2021, the city assisted 13 businesses.

Funds managed by the Economic Development and Housing Division, received through The U.S. Department of Housing and Urban Development's ("HUD") annual allocation of the Community Development Block Grant (CDBG) and Home Investment Partnership (HOME) grants, provide support for some of the City's public service programs, including: the ASPIRE after school program, adult literacy program, senior meals program, grade school health and eye screening program, counseling at -risk youth program, rental assistance program, and job training programs. In addition to providing for public service programs, these two federal grants are available to the City for a variety of community development activities including affordable housing activities, neighborhood improvement programs, economic development strategies, and improvement of public facilities. Moreover in 2021, the City was also granted additional funding through the CDBG-CV (CDBG Cares Act), which provided funding for additional COVID-19-related public services, an emergency rental assistance program, and a business assistance program.

Additionally, the Division amended guidelines and regulations to the Housing Rehabilitation Grant Program. This was done in an effort to remain compliant with regulations stipulated by HUD. The grant program is offered to households who fall within the 50 percent Annual Median Income as defined by HUD. This will allow the City to continue to offer funds for home rehabilitation in 2022.

Additionally, as mentioned previously, in response to the COVID-19 pandemic, the City created emergency assistance programs that were focused on being flexible to meet the needs of the community. The emergency assistance programs consisted of the following:

- * Emergency Residential Rental Assistance Program that provided 192 direct payments in the community with rental assistance.
- * Small Business Assistance Program which provided \$25,000 grants to small businesses.

Code Enforcement Unit

The Code Enforcement Division is responsible for enforcing the Downey Municipal codes that relate to residential and business property maintenance standards, including business licensing. Code Enforcement also enforces building, health and safety standards related to environmental protection and neighborhood preservation. The Division works in close cooperation with all City departments and the City Prosecutor to educate the public and gain the willing compliance of violators.

Code Enforcement activity for the year of 2021 involved 4,928 cases for various property violations (i.e. commercial, residential, public street, park and recreational) and closed out 1,013 cases. June had the highest number of new cases generated with 563 cases. In addition to conducting property violation inspections.

Code Enforcement Officers addressed and conducted 42 inspections related to Covid-19 regulation violations. In addition, the Division continued to take calls to report violations of County Health Orders related to the COVID-19 pandemic. The Division also contacted and worked with business owners to educate and explain Health Orders and assist them to attain compliance to ensure all safety precautions are being met to benefit the community.

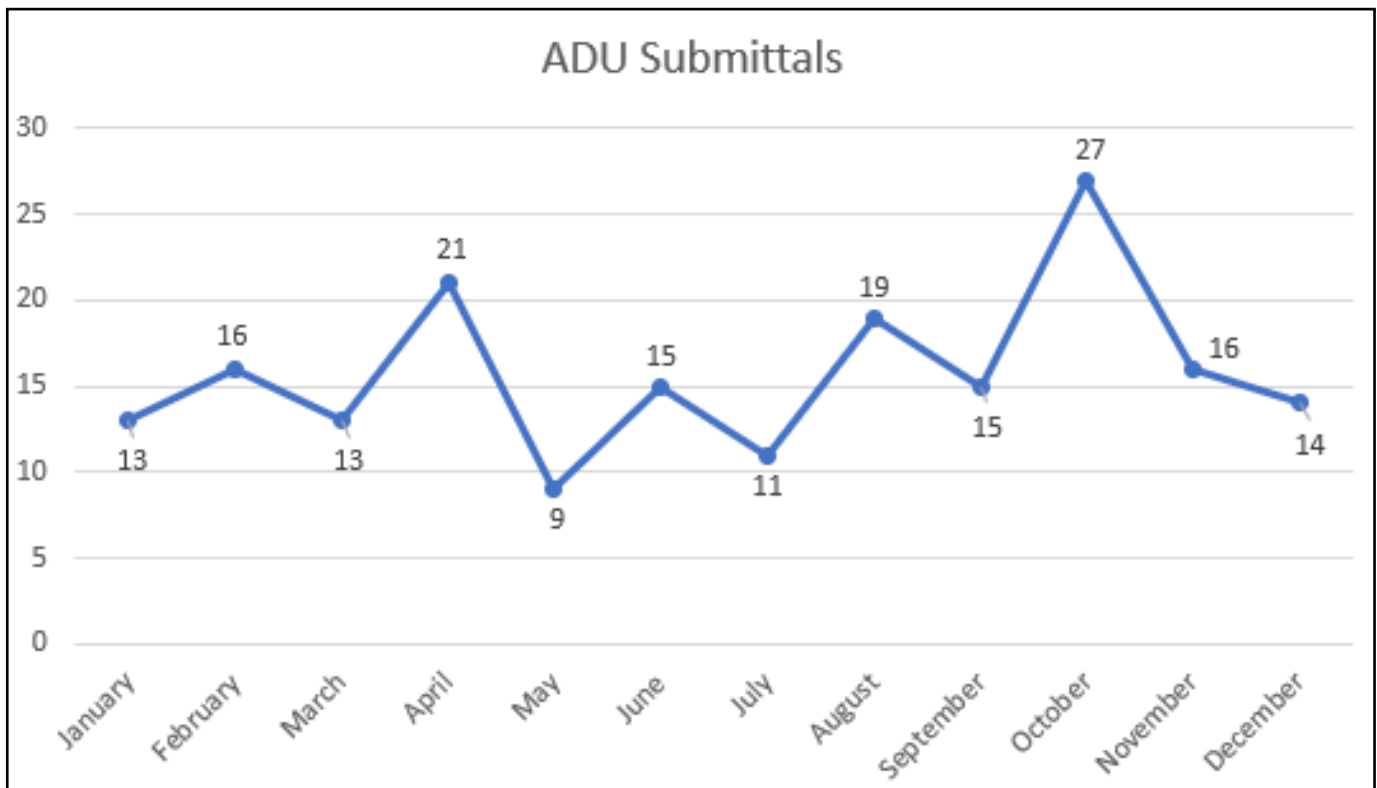
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Building and Safety Division

The Building and Safety Division is responsible for a variety of tasks that include issuing permits, processing plan check submittals, and inspections. The Building and Safety Division reviews all plans and permits for compliance with Building regulations.

In 2021, the Building and Safety Division accepted 2,282 permit applications and issued 2,026 building permits. The total valuation for all permits issued was \$98,867,336.04. These applications include all construction related projects and installation of mechanical and utility equipment. Also, there were a total of 6 new residential dwellings submitted for plan check in 2021. In addition, the Building & Safety Inspectors have conducted 8,224 inspections.

In 2021, there were a total of 189 new ADU plan check submittals. October had the most submittals for ADU's with 27 submittals.



General Plan

Implementation Status





Chapter 1 Land Use Element

The Land Use chapter establishes the policies for determining where certain land uses, such as residential, commercial, industrial, are most desirable. The Land Use chapter defines the physical areas in the City serving the needs of residents, businesses, and visitors.

- ◆ **Promote housing projects and mixed use projects that include housing within areas designated for the downtown area, transit-oriented developments, and areas in the vicinity of the Downey Landing project (Program 1.1.2.3.).** There were no new housing projects within these areas. Larger housing development have been approved in the past years. Staff continues to inform and assist all potential applicants interested in constructing in these areas. Work was also conducted as part of the General Plan Housing element identifying the Downey Landing, along with other major retail parcels, as a site for high density development. The General Plan Housing Element will be approved in early 2022.

- ◆ **Promote the Downtown area as a destination point for entertainment, dining, civic, and other activities (Program 1.2.2.1.).** The Economic development Division continues to explore new ways of creating a sense of place for the City's Downtown. This has been achieved through the installation of art murals and sculptures. Major efforts are also made in business retention which was made a priority due to the COVID-19 pandemic. Eligible businesses were awarded funds of up to \$25,000 to assist with losses due to the pandemic.

- ◆ **Discourage residential construction not in harmony with the surrounding neighborhood (Program 1.4.2.1.)** New single-family design guidelines and development standards were adopted in 2021. Staff worked with the community in receiving feedback on design within the Single Family Residential neighborhoods. The development standards and design guidelines help ensure that mass and scale of new construction is in harmony with the surrounding neighborhoods.

Chapter 2 Circulation Element

The safe and efficient movement of people and goods through cities is provided by a circulation system ranging from sidewalks to roadways. As population and economic growth continue, cities have the challenge of improving the circulation system to deal with increased demands. Population and economic growth also impact the infrastructure needed to provide utilities and other services for those who live, work, and visit Downey.

Traffic Congestion

- ◆ **Maintain intersections and street segments at acceptable service levels and not worsen those intersections and street segments currently operating at unacceptable levels (Program 2.1.1.1.).**

The city is in the process of initiating improvements at the following intersections to increase capacity in order to maintain an acceptable level-of-service, increase mobility and enhance safety at these locations:

Stewart & Gray Road Signalization & Safety Enhancements – This project includes various traffic signal upgrades and safety enhancements along Stewart & Gray Road from Old River School Road to Firestone Boulevard. Project includes installation of traffic signal communications, traffic signal upgrades, striping and signage, reconstruction of curb access ramps, traffic signal timing and miscellaneous safety improvements.

Lakewood Blvd. at Firestone Blvd. - This project includes widening and reconstruction of Firestone Boulevard at Lakewood Boulevard intersection. Improvements will include new concrete pavement and decorative concrete crosswalks; additional left-turn lanes on Lakewood Boulevard; and modification of existing traffic signal. Total estimated project cost is \$2.7 million. The Los Angeles County Metropolitan Transportation Agency has approved \$1.3 million in funding. Once design is completed, the City will apply for an additional estimated \$1.4 million in funding to implement the project.

Paramount Blvd. Signalization & Safety Enhancements - This project includes various traffic signal upgrades and safety enhancements along Paramount Boulevard from Gardendale Street to Telegraph Road. Project includes installation of fiber optic cable, new controllers, signal hardware, equipment, safety lighting and intersection pedestrian countdown signal heads to improve safety for pedestrians and bicyclists.



Chapter 2 Circulation Element continued

- ◆ **Develop a signal system master plan to promote state-of-the-art intelligent transportation system (ITS) improvements to better service on-going traffic conditions. (Program 2.1.1.3.).** Over the past several years, the City has been incrementally expanding the traffic signal control system. Initially, the Traffic Management Center was implemented at City Hall in 2005 and the first fiber-optic traffic signal communications systems were installed along the Lakewood Blvd. and Firestone Blvd. corridors. Additional systems have since been implemented along Florence Avenue, Paramount Boulevard, Bellflower Boulevard, Imperial—Highway, Woodruff Avenue and Telegraph Road. The City is currently constructing fiber-optic communication networks along the Paramount Blvd. corridors. In addition, the city is currently in the process of upgrading the system software and other elements of the TMC to maintain pace with current technology and replace obsolete hardware and software. Completion of these task occurred in June 2021.

In addition, Traffic Signal Communication Systems were upgraded as part of the City's 2021 capital improvements. These upgrades occurred along Paramount Blvd., Firestone Blvd, Florence Blvd., Stewart & Gray Road, Lakewood Blvd., and freeway intersections.

- ◆ **Encourage appropriate turn lanes and other operational improvements at major arterial intersections identified as congested (Program 2.1.1.6.).** Major capacity improvements are proposed at the four intersections as described in Program 2.1.1.1. The city received funding through the Federal Highway Safety Improvement Program (HSIP) to upgrade and implement operational improvements to the existing traffic signals at nine (9) intersections along Paramount Boulevard as well as seven (7) intersections along Stewart & Gray Road. In addition, the city received HSIP funding to upgrade and implement operational improvements to the existing traffic signals at nine (9) intersections along Imperial Highway. The proposed traffic signal upgrades at the intersections along Paramount Boulevard, Stewart & Gray Road and Imperial Highway are currently under construction. These projects were completed in 2021.
- ◆ **Establish a development recovery fee program to require new developments and expansions of existing developments to pay the cost of circulation improvements (Program 2.1.2.1.).** Developer fees are collected on a case-by-case basis by the Public Works Department through the development plan review/entitlement process. Approximately \$250,000 is collected from developers each year. In addition, the city is proposing to complete a transportation impact developer fee nexus study in conjunction with the next General Plan Circulation Element update.

Chapter 2 Circulation Element continued

- ◆ **Ensure the mitigation of off-site traffic impacts by development projects to the maximum extent feasible, including the installation or upgrade of traffic signals at intersections and/or contribution of its fair-share towards mitigating impacts (Program 2.1.2.2.).** Land development projects are reviewed on a case-by-case basis for potential traffic impact. If trip generation thresholds in accordance with CEQA guidelines are exceeded, a traffic impact analysis study is required which will determine mitigation measures necessary to offset the impacts created by the development at any signalized intersections or the amount of development fee to be collected. For example, traffic studies were recently prepared in conjunction with the environmental documents being prepared for the proposed redevelopment of the Rancho Los Amigos South Campus Specific Plan and the Eco Rapid Transit Line and were also completed recently for a large scale industrial building development.
- ◆ **Promote site designs, street patterns, and street signalization that discourage the use of local streets as through routes (Program 2.1.2.4.).** The intersection improvement projects included under Programs 2.1.1.1 and 2.1.1.6 are intended to increase capacity and operational efficiency at these intersections in order to encourage through traffic on arterial streets and minimize intrusion through residential neighborhoods. In addition, the traffic signal communication system projects mentioned in Program 2.1.1.3 will improve mobility along the Stewart & Gray Rd. and Old River School Rd. corridors which will also minimize intrusion through residential neighborhoods. In addition, the city's Traffic Calming Program provides a framework for discouraging through traffic on local streets through a series of traffic calming measures which are applied to local residential streets as appropriate in response to complaints submitted by residents.

Travel Alternatives

- ◆ **Encourage the use of bicycling as a form of transportation for employment commuting and business purposes, in addition to recreational purposes (Program 2.2.2.1.).** Bike lanes exist throughout various major streets in Downey. These bike lanes provided a healthy option to help reduce greenhouse gas emissions. Also, bike lanes have a "traffic calming" effect, meaning roads that appear narrow result in slower vehicular speeds improving safety and increasing driver's reaction times.
- ◆ **Promote home-based businesses (Program 2.2.3.4.).** In 2021, the city renewed 372 business licenses for home-based business. This allows people who live in residential zoned properties an opportunity to work from home.



Chapter 2 Circulation Element continued

Truck Traffic

- ◆ **Co-ordinate with local, regional, and state agencies involved in mitigating truck traffic impacts in the region (Program 2.3.1.2).** The City of Downey Public Works Department issues overload permits to ensure that the correct haul routes are utilized through the city and that proper arrangements have been made in advance. In addition, truck circulation improvements will be incorporated in the various proposed intersection improvements as referenced in Program 2.1.1.1.

- ◆ **Discourage truck parking on public streets (Program 2.3.2.1).** Section 3173 of the Downey Municipal Code states No person shall park or leave standing upon any public street or private property, any commercial vehicle having a manufacturer's unladen weight in excess six thousand (6,000) pounds or having a width in excess of eighty-four inches (84") as measured at the widest portion of the body, not including mirrors or other extensions, or having a height in excess of eighty-four inches (84"), or any trailer, or commercial equipment, irrespective of weight, upon any public street or on public or private property in the City, except:
 - 1) When such vehicle is parked in an industrial zone, excluding parking buffer zones;
 - 2) When such vehicle, trailer and/or commercial equipment is parked while being loaded or unloaded or in connection with, and in the aid of the performance of, a service to or on a property in the block in which such performance of, a service to or on a property in the block in which such vehicle, trailer and/or commercial equipment is parked until such service is completed; or
 - 3) When the vehicle, trailer or commercial equipment is immobile due to accident or mechanical breakdown, in which event said vehicle, trailer and/or commercial equipment may be parked for a period of time not to exceed eight (8) hours;
 - 4) When such trailer is attached to a motor vehicle capable of providing the motive power for moving the trailer upon the street, alley, public way or place.

Chapter 2 Circulation Element continued

The following are excluded from the provisions of this section:

- 1) Pick-up trucks as defined by California Vehicle Code Section 471 which are not used for commercial purposes or defined as a commercial vehicle pursuant to California Vehicle Code Section 260, and commercial vehicles, trailers and/or commercial equipment parked or stored on private, commercially zoned property, and owned or operated by the same commercial use.
- 2) Commercial vehicles, trailers and/or commercial equipment operated and parked by a registered transient guest of a motel or hotel if such commercial vehicle, trailer and/or commercial equipment is parked within approved designated vehicle parking areas upon the business premises of the motel or hotel.

In addition, the City requires new land development uses to provide parking for commercial vehicles (i.e., trucks and truck-trailer combinations) making deliveries or pick-ups from said use on the property itself and highly discourages the parking of commercial vehicles upon the adjacent public street while making deliveries or pick-ups.

- ◆ **Ensure that land uses generating high amounts of truck traffic provide compensation to the city for projected pavement wear of public streets (Program 2.3.2.4).** Approximately \$5 million annually is programmed in the city's Capital Improvement Program for the rehabilitation and/or reconstruction of the city's arterial, collector and local streets. In addition, developers are assessed fees on a case-by-case, pro-rata share basis towards pavement rehabilitation of arterial streets designated as truck routes. The City collects \$1.5 million annually from its trash collection company which is applied towards the rehabilitation of the City's residential streets.

Regional Traffic

Coordinate with Caltrans, Metro, SCAG, Gateway Cities COG and other agencies to promote multi-modal improvement strategies to improve the regional transportation network (Program 2.4.1.1). The City coordinates extensively with various regional agencies to enhance multi-modal travel within the City. The City secured a \$1.3 million grant from Metro to implement a bus transit priority system which will improve travel times for public transit buses (Metro and Downey LINK) by giving the transit vehicles priority at signalized intersections. In addition, the City received a Community-Based Transportation Planning grant from Caltrans in 2013 for the development of a Bicycle Master Plan which was

Chapter 2 Circulation Element continued

adopted by the City Council in 2015. Furthermore, the City received state-funded Active Transportation Program (ATP) grants in 2015 in the amount of \$300,000 for the development of a Citywide Pedestrian Plan and in the amount of \$240,000 for a Safe Routes to School Project involving the installation of approximately 1,600 linear feet of sidewalk on residential streets and the conducting of safety education events for four elementary and one middle school in the southerly portion of the City. The City coordinated the development of its Bicycle Master Plan with adjoining cities (i.e., South Gate, Paramount, Bellflower and Norwalk) to ensure connectivity of proposed bike routes within the City with those in the neighboring jurisdictions as well as the Gateway Cities COG to make sure the plan fit into the Transportation Strategic Plan (STP), a comprehensive multi-modal transportation framework developed for the Gateway Cities subregion to address the subregion's long-term mobility needs.

Infrastructure and Maintenance

- ◆ **Promote the expansion of communication networks to meet the needs of city residents, businesses, and other land uses (Program 2.7.1.2.)** The City continues to assist in the processing of telecommunication related permits located on both public and private property.
- ◆ **Promote alternative funding sources for infrastructure maintenance and upgrades (Program 2.7.2.1.).** Funding sources for projects mentioned in this Circulation Element progress report include Los Angeles County Metro, Federal Transportation Improvement Programs, and the California Department of Transportation.

Chapter 3 Housing Element

The California State Legislature has identified the “Attainment of a decent home and suitable living environment for every citizen”, as the State’s major housing goal. Accordingly, the State of California mandates that each county and city maintain a Housing Element in their General Plan. Section 65583 of the Government Code sets forth the specific components to be contained in a community/s housing element, including the City’s share of the Regional Housing Needs Assessment (RHNA).

In addition to providing assistance and guidance for the City’s Housing Element, the Housing Division administers a variety of community development activities including affordable housing activities, neighborhood improvement programs, economic development strategies, improvement of public facilities, and support for needed public services. The following is in regards to Chapter 2 (Housing Plan) of the 2014-2021 Housing Element goals administered by the Housing Division:

Program 2 – The Housing Rebate and Grant Program

Objective: Address property, structural, and energy/water conservation improvements for low-income homeowners in the City. The City anticipates that 10 projects will be assisted annually based on funding availability.

Status: No rehabilitation grants were awarded for the year of 2021. The city did however update standards and policies to comply regulation provided by the State.

Program 3 – Monitor and Preserve Affordable Housing

Objective: City staff continued to maintain a list of affordable housing units throughout the City including affordability information to ensure landlords are compliant with deed restrictions and to preserve affordable units. The Housing Division will continue to pursue partnership opportunities with nonprofits to preserve and expand affordable housing in the City.

Status: An inventory of the City's affordable housing units is kept and maintained by the City's Community Development Department. Currently, 200 affordable units exist in the city. Continued education is provided to property owners in an effort to maintain compliance with deed restrictions. Standards, benefits, and incentives related to affordable housing are also shared with any persons interested in the construction of a residential development.



Chapter 3 Housing Element continued

Program 5 – Housing Opportunity Sites

Objective: Staff will continue to facilitate the redevelopment of underutilized sites through various outreach methods to the development community through an updated inventory available throughout the 2014-2021 City of Downey 2014 - 2021 Housing Element 25 planning cycle. Provide information to interested developers and on the City's website about potential residential opportunity sites.

Status: The City continues to encourage and advocate for the construction/redevelopment of underutilized parcels as an ongoing effort. The highest number of new residential development came in the form of accessory dwelling units (ADU). 117 ADUs were issued in 2021. A total of 189 applications were submitted, many of which will be approved in 2022.

Program 9 – Section 8 Rental Assistance

Objective: Continue to provide assistance to households through continued participation in the Los Angeles County Section 8 program and encourage rental property owners to register their units with the Housing Authority of the County of Los Angeles ("HACOLA"). The Housing Division will continue to monitor the number of residents accessing the program and units available for rent.

Status: Current records indicate there are 555 total units within the City participating in the Section 8 program. The County Housing Authority operates the program and is responsible for issuing vouchers.

Program 16 – Planning and Development Fees

Objective: Continue to conduct annual reviews of planning and development fees.

Status: In 2021, fees were adjusted and raised 2.5% for the majority of development applications. Changes were made in an effort to recover cost for services, yet total cost for service still remains higher than the applicable fee. Change in fees remains appropriate and consistent with surrounding communities.

Chapter 3 Housing Element continued

Program 21 – Fair Housing

Objective: Staff continued to assist households through the Fair Housing Foundation (“FHF”) and continue to refer fair housing complaints to the FHF.

Status: Activity remains ongoing. On average a total of 250 Downey residents are assisted by the FHF. (Data source: Fair Housing Foundation) The City continues to educate residents on the resources available to them provided by the FHF. In addition, informational handouts are found at the Housing Division public counter. Information and documents are provided in both English and Spanish. Staff is trained on the purpose of the foundation and their services.

Regional Housing Need Allocation (RHNA)

Each local government in California is required to adopt a Housing Element as part of its General Plan that shows how the community plans to meet the existing and projected housing needs of people at all income levels. The Regional Housing Need Allocation (RHNA) is the state-mandated process to identify the total number of housing units (by affordability level) that each jurisdiction must accommodate in its Housing Element. In 2021, City of Downey issued 120 building permits for the construction of new dwelling units, including ADUs.

The State Housing Report is attached to this report as an appendix to provide additional details pertaining to the Housing Element’s plans and accommodations to housing needs within the City of Downey.

Chapter 3 Housing Element continued

Income Level		RHNA Allocation by Income Level	2013	2014	2015	2016	2017	2018	2019	2020	2021	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	210	-	-	-	-	-	-	-	-	-	-	210
	Non-Deed Restricted		-	-	-	-	-	-	-	-	-		
Low	Deed Restricted	123	-	-	-	6	-	-	-	-	-	6	117
	Non-Deed Restricted		-	-	-	-	-	-	-	-	-		
Moderate Above Moderate	Deed Restricted	135	-	-	-	-	-	-	-	-	-	167	-
	Non-Deed Restricted		-	20	50	-	-	-	-	-	97		
		346	-	12	13	44	135	87	41	58	-	390	-
Total RHNA		814											
Total Units			-	32	63	50	135	87	41	58	97	563	327

The State Housing Report is attached to this report as an appendix to provide additional details pertaining to the Housing Element's plans and accommodations to housing needs within the City of Downey.

Chapter 4 Conservation Element

The City of Downey, like the rest of southern California, enjoy a temperate climate, access to both beaches and mountains and many other amenities not found in many other parts of the world. The quality of life that the region offers its residents is one of the main reasons the region continues to attract visitors and newcomers. However, southern California is a semi-arid desert environment with limited natural resources. These limited resources, need to be preserved for continued use by existing residents and by future generations.

Water Supply

- ◆ **Continue providing information to the public promoting the benefits of water conservation (Program 4.1.1.1).** Staff continued to provide samples of synthetic turf at the Community Development Department Planning counter. Residents were encouraged to work with Planning staff for additional information regarding installation and materials. All new developments and landscape remodels require the use of drought tolerant species, and are designed by licensed landscape architects.
- ◆ **Promote the continued use of water conservation methods at city-owned facilities, such as parks and golf courses (Program 4.1.1.3).** The City continued to look for additional opportunities to expand its use of recycled water at City-owned and other sites as recycled water becomes available. Some of the larger City locations where recycled water is currently used include: Downey Cemetery, Independence Park, Rio San Gabriel Park, Wilderness Park, Rio Hondo Golf Course, Crawford Park, Columbia Memorial Space Center, and Sports Park. The City currently maintains 35 recycled water services/meters for use at City Park and golf course ponds, and for irrigation of landscaping at parks, golf course, and medians/parkways.
- ◆ **Encourage the use of reclaimed water, or re-use of water on-site, for new and redevelopment projects (Program 4.1.1.4).** The Public Works Department continued to require contractors and developers to install recycled water services/piping and meters where recycled water is located in proximity to the development projects.
- ◆ **Expand the availability of reclaimed water by extending the dual-pipe water system (Program 4.1.1.5).** The recycled water facility at the Downey Promenade Shopping Center allows the use of recycled water for landscape irrigation at medians/parkways along Lakewood Boulevard, Bellflower Boulevard and future construction projects along these corridor.



Chapter 4 Conservation Element continued

Stormwater Quality

- ◆ **Provide treatment of runoff generated by properties on-site before release into the storm drain system (Program 4.3.1.1).**

Section 5705 of the Downey Municipal Code specifies requirements for urban runoff reduction and requires the owner, occupant or other person in charge of the day-to-day operation or maintenance of each parcel within the City to adhere to Best Management Practices (BMPs) requirements in order to prevent or reduce the discharge of pollutants to achieve water quality standards.

Section 5706 of the Downey Municipal Code specifies source control requirements for all new development or redevelopment applications within the City. The applicant shall submit an appropriate project specific Urban Runoff Mitigation Plan to the Director of Public Works. The Urban Runoff Mitigation Plan shall include structural and design elements that typically increase infiltration, reduce pollutant conveyance and decrease runoff, including:

- * Landscaping/vegetated areas, sand filters, swales, infiltration basins, biofilters and planters to maximize infiltration;
- * Replacing impermeable surfaces with porous materials;
- * Directing impervious surface runoff to permeable areas;
- * Grading the site to encourage runoff to permeable areas;
- * Directing runoff to dry wells, perforated pipes, infiltration trenches or other source reduction BMPs;
- * Designing curbs and landscaping to facilitate infiltration;
- * Using cisterns or retention basins to store precipitation; and
- * Installing treatment control BMPs to remove pollutants.

All Urban Runoff Mitigation Plans shall include a structural and treatment control BMP maintenance schedule, the applicant's signed statement of responsibility for continued BMP maintenance and plan for continued maintenance responsibilities. In addition, the plan must indicate that subsequent property transfers include, as a written condition and are subject to, the transferee assuming full responsibility for maintenance of any structural, treatment and/or source control BMPs.

The applicant shall retain responsibility for such maintenance until responsibility is legally transferred in accordance with this chapter. The applicant, facility operators and/or owners shall also provide, as requested by the Director of Public Works, any other legally enforceable agreement which assigns responsibility for the maintenance of post-construction structural or treatment control BMPs.

Chapter 4 Conservation Element continued

As a condition for issuing a certificate of occupancy for a new development or redevelopment project, the Director of Public Works shall require the applicant, facility operators and/or owners, as appropriate, to construct all storm water pollution control BMPs and structural or treatment control BMPs shown on the approved project plans, to submit, for review and approval, a BMP maintenance schedule and inspection plan and to file a signed statement that the project site and all structural or treatment control BMPs shall be maintained in compliance with the Urban Runoff Mitigation Plan.

Section 5707 requires the following design elements for all new development or redevelopment projects:

- (1) Preparation and Director of Public Works approval of the Urban Runoff Mitigation Plan, as a condition of Community Development Department approval.
- (2) Runoff shall be restricted from running through certain areas.
- (3) Developments which include outdoor material storage areas that may discharge MS4 pollutants must include design elements to place materials within enclosures to prevent the pollutants from flowing into storm drains and impervious surfaces in all liquid handling areas.
- (4) Waste material bins with a capacity greater than fifty gallons shall be stored in a covered area to prevent rainfall or roof drainage through the waste.

Any project including down spouts, roof gutters or subsurface drainage shall utilize perforated pipe or similar systems in approved infiltration areas, unless approved by the Director of Public Works.

Each Urban Runoff Management Plan shall be individually evaluated to determine whether the proposed project and site characteristics meet governmental standards and must demonstrate to the Director of Public Works' satisfaction that proposed BMPs numeric design criteria or design elements meet the requirements of the Downey Municipal Code.

The Director of Public Works shall approve or disapprove of any project plans. No city grading or building permit shall be issued until the director has approved the Urban Runoff Mitigation Plan.

Chapter 4 Conservation Element continued

Development projects subject to permitting and approval for the design and implementation of post-construction controls to mitigate storm water pollution prior to completion of the project include:

- * All development projects equal to (1) acre or greater of disturbed area that adds more than 10,000 square feet of impervious surface area,
- * Industrial parks 10,000 square feet or more of surface area,
- * Commercial malls 10,000 square feet or more of surface area,
- * Retail gasoline outlets with 5,000 square feet or more of surface area,
- * Restaurants with 5,000 square feet or more of surface area,
- * Parking lots with 5,000 square feet or more of impervious surface area or with 25 or more parking spaces.
- * Streets and roads construction of 10,000 square feet or more of impervious surface area.
- * Automotive service facilities with 5,000 square feet or more of surface area.
- * Projects located in or directly adjacent to or discharging directly to an environmentally sensitive area, where the development will either discharge storm water runoff that is likely to impact a sensitive biological species or habitat and create 2,500 square feet or more of impervious surface area.
- * Single family hillside homes.
- * Redevelopment projects with land disturbing activity resulting in the creation or addition or replacement of 5,000 square feet or more of impervious surface area on an already developed site.

The site for every planning priority project shall be designed to control pollutants, pollutant loads, and runoff volume to the maximum extent feasible by minimizing impervious surface area and controlling runoff from impervious surfaces through infiltration, evapotranspiration, bioretention and/or rainfall harvest and use. Projects not classified with general applicability listed in this section but resulting in the creation or addition or replacement of 800 square feet or more of impervious surface area shall be designed to control pollutants, pollutant loads and runoff volume as approved by the City.

- ◆ **Promote effective street cleaning (Program 4.3.1.3).** The City continued to vacuum-sweep streets weekly. These streets are posted with “No Parking” signs during the appointed period and Parking Enforcement Officers accompany the sweeper vehicles. Residents utilizing to their properties as a condition of being exempted from the posted parking restrictions.

Chapter 4 Conservation Element continued

- ◆ **Encourage proper storage and handling of construction materials to avoid the contact of pollutants with storm water runoff during construction (Program 4.3.1.4.).** Public Works, Code Enforcement, and Building and Safety staff continued to share responsibility for implementing Program 4.3.1.4 of the City Vision 2025 General Plan. Public Works focused on construction projects in the public right-of-way, preparation and review of erosion control plans by developers, compliance by large state permitted construction sites and responding to complaints of materials in the municipal separate storm sewer system (MS4), which includes streets, alleys and drains. Building and Safety is primarily responsible for on-site or private property conditions, while Code Enforcement responds to resident complaints and provides more aggressive enforcement capabilities to supplement other staff efforts. Projects are required to comply with Best Management Projects which aim to prevent pollutants from construction from contaminating storm water runoff.

Tree Preservation

- ◆ **Promote the installation of new trees when damaged or dying trees are removed (Program 4.4.1.3.).** The Public Works Department continued to work with property owners to ensure that the removal of damaged trees and the placement of new trees comply with City's Tree Ordinance. Public Works Department is responsible for reviewing and approving all proposed landscaping plans within the public right-of-ways and street medians. Section 7605 of the Downey Municipal Code specifies that, "Any public street tree removed shall be replaced if a replacement is deemed appropriate and if it is mutually agreed to by both the City and the property owner."

Air Quality

- ◆ **Promote the use of alternative fuel vehicles, including clean diesel, compressed natural gas, hydrogen, that result in reduced emissions, including in instances involving City operations (Program 4.5.1.5.).** With the growing number of electric and hybrid vehicles, additional charging stations have been installed in private facilities (Stonewood Mall, and The Apollo Center) to promote the use of natural gas and pure electric vehicles. The City also complies with state regulations for permit streamlining of these types of projects.

Energy Resources

- ◆ **Ensure the installation of energy efficient street lights and traffic signals (Program 4.6.2.1.).** The City utilizes light-emitting diode (LED) vehicle and pedestrian indications at all signalized intersections owned and maintained by the City. In addition, the City utilizes LED technology at all City-owned and maintained street and pedestrian lights.



Chapter 5 Safety Element

Natural and non-natural hazards present a variety of risks to persons who live, work, and visit the City. The aim of the City is to reduce the potential risk of death, injuries, property damage, and the economic and social dislocation resulting from hazards.

Disaster Response

- ◆ **Coordinate emergency preparedness with the federal, state, school district and other local agencies (Program 5.1.2.3.).** The Office of Emergency Management throughout the year, has continued to coordinate with the federal, state, and neighboring local agencies' in preparing for response and recovery efforts in the event of disasters. This was done through planning, training and exercising; the goal is to minimize the loss of lives and property.
- ◆ **Monitor the location, type of facility, and amount of hazardous materials kept at properties (Program 5.2.1.2.).** The Fire Department continues to monitor and inspect all facilities that handle hazardous materials at or above the reportable quantities as set forth in the California Health & Safety Code (§25503.5). Inspections are conducted every other year to ensure compliance with both the Fire and Health & Safety Codes. The frequency of these inspections exceed the State's minimum requirement that hazardous materials inspections occur once every three years.
- ◆ **Promote public information regarding the types of hazardous materials, which may include common household items, and the proper method of disposal (Program 5.2.1.3.).** The Downey Fire Department continued to update its website to provide up-to-date information on the safe handling and disposal of hazardous materials. The website's Emergency Preparedness section contains information on hazardous material awareness and safety, in addition to educational information on fire safety.

Hazardous Materials

- ◆ **Ensure proper disclosure of amounts of hazardous materials by existing uses and proposed uses, during the business review process (Program 5.2.1.4.).** The Downey Fire Prevention Bureau continued to conduct inspections during the business license application process. Once identified as a handler of hazardous materials, these businesses receive an inspection from Downey Fire Department's Hazardous Material Section to ensure accurate disclosure of the hazardous substances, and the safe handling and storage of the materials. The facilities are then entered into the Fire Department's database, issued an operational permit, and placed on a routine inspection frequency.

Chapter 5 Safety Element continued

- ◆ **Ensure that properties involving hazardous materials dispose of waste properly (Program 5.2.2.1).** The Public Works Integrated Waste Coordinator continued to monitor and manage hazardous waste disposal from residential properties. Businesses handling hazardous waste are permitted and inspected by the County of Los Angeles Fire Department Health-Hazardous Materials Division.
- ◆ **Promote the convenient “drop-off” collection for the disposal of hazardous waste generated by residential households and other land uses (Program 5.2.2.2).** The City continued to offer programs that encourages residents to dispose hazardous waste materials (i.e. electronic devices) to both the Sanitation Districts of Los Angeles County Household Hazardous Waste Collection Program and the Los Angeles County Sheriff’s Safe Drug Drop-off Program, which accepts expired prescription medications and sharps (i.e., needles). The Downey Police Department and Downey C.E.R.T members participated in the annual National Prescription Drug-Take Back Initiative. In 2021, Downey residents again had an opportunity to drop off expired, unused and unwanted prescription drugs. All of the collected items were turned over to the D.E.A for disposal.

Fire Protection

- ◆ **Promote adequate widths on travel lanes along street and alleys to accommodate emergency vehicles (Program 5.3.1.2).** The Fire Prevention Bureau personnel continued to review plans diligently to ensure emergency vehicle access through private driveways, public streets, and alleys will be accommodated. This review is completed early in the Planning application process to ensure proper site layout is achieved.
- ◆ **Ensure that development projects install fire hydrants, water mains, or otherwise contribute its fair share towards mitigating impacts on the fire flow system (Program 5.3.2.3).** The Fire and Public Works Departments continued to enforce the requirements for additional fire hydrants for development projects through the plan check process. The Community Development Department continued to distribute projects to the departments that participate in Development Review Committee (DRC) meetings and received comments and conditions virtually from various City Departments since meetings were not being conducted for most of 2021.
- ◆ **Promote the use of fire sprinklers for new, expanded, and remodeled developments (Program 5.3.2.4).** The Fire Prevention Bureau continued to require automatic sprinkler systems for new commercial developments in accordance with California Fire Code and NFPA standards and tenant improvements of commercial properties, whose permit valuations exceed 50 percent of the value of the building.



Chapter 5 Safety Element continued

- ◆ **Ensure access for emergency vehicles through security pedestrian and vehicular gates (Program 5.3.2.6.).** The Fire Prevention Bureau continued to require emergency lighting, exit signs, Knox box, and 2A-10BC fire extinguishers for all commercial and industrial projects.

Police Protection

- ◆ **Keep crime rates and property loss rates at the lowest levels feasible (Program 5.4.1.1.).** In an effort to keep crime and property loss rates low, the Police Department continued to work closely with the community by providing crime prevention tips and education through the 267 Neighborhood Watch Groups, along with various social media platforms. To continue the high level of service to the community, the Department staffs 121 Sworn Police Officers 5 Parking Enforcement Officers 3 Community Service Officers 31 Patrol Vehicles 1 Armored Rescue Vehicle 1 Citizens' Academy 1 Citizens on Patrol/ Volunteer Program 267 Neighborhood Watch Groups 1 Police Explorer Program 1 Business Watch Program 1 Mental Health/ Homeless Outreach Team (2 dedicated Officers and 2 LA County Mental Health Professionals in partnership) 1 Tactical Medical Team 1 Internet Crimes Against Children Task Force Team 1 Park Ranger Program (4 Part Time Park Rangers) .
- ◆ **Maintain an acceptable response time for police emergency service calls (Program 5.4.1.2.).** The Police Department continued to maintain a swift response time to high priority emergency calls that require immediate assistance to ensure the public's safety.
- ◆ **Promote the use of technology as tools to improve staff productivity (Program 5.4.1.5.).** The Police Department continued to expand its use of technology through the growth of its social media presence and the creation of the Online Citizen Reporting System to report incidents such as bicycle theft, custody order violations, lost property and supplemental reports for property crimes. The Department went through upgrades in their Computer Automated Dispatch (CAD) and Records Management System (RMS).
- ◆ **Coordinate with Federal, State, and County agencies to address illegal activities (Program 5.4.1.7.).** The Department continued to receive both state and federal funding (grants) to provide directed enforcement and education to residents pertaining to traffic safety, neighborhood preservation, and alcohol and tobacco related criminal behavior. The Special Enforcement Team conducted several operations funded by the State's Alcohol Beverage Control and Tobacco grants. Funding from the State of California Office of Traffic Safety, allowed

the Department to conduct several checkpoints and specialized patrols, targeting those found operating motor vehicles under the influence of alcohol and/or drugs. The Neighborhood Preservation Team was able to target specific crime trends in neighborhoods through the Edward Byrne Memorial Justice Assistance Grant (JAG).

Chapter 5 Safety Element continued

- ◆ **Support community organizations and neighborhood awareness programs that promote crime prevention, including preventing gang activity (Program 5.4.2.2).** The Department continued to participate in awareness programs such as Gangs Out of Downey (GOOD) and promoted crime prevention through its Neighborhood Watch Program. The Department continued to work closely with Clinicians from the Los Angeles County Mental Health through the Mental Evaluation Team, which includes two dedicated Police Officers. The team members receive specialized training to better assist those with challenges caused by various types of mental illness.
- ◆ **Promote coordination between schools and the City to address juvenile crime in a proactive and preventive manner (Program 5.4.2.5).** The Department did not have much interaction with the School District this past year due to the school closures. We did maintain communication with district administrators and we continue to have a great working relationship.

Earthquake Safety

- ◆ **Monitor groundwater table levels as they relate to liquefaction hazards (Program 5.5.1.3).** Public Works continued to regularly observe ground water levels at well sites around the City. The ground water table is typically greater than 50' below the soil surface, which limits the risk of liquefaction to residential and typical commercial structures. Larger structures and those with significant subterranean components may be requested to provide additional seismic evaluations during the development process or as a condition of approval.
- ◆ **Ensure the placement of utility lines underground (Program 5.5.1.6).** The Public Works Department continued to implement Underground Utility Districts for all development projects. In addition, Southern California Edison Company continued to prohibit the use of vaults installed above ground to protect the equipment and electrical lines from the intrusion of moisture.



Chapter 5 Safety Element continued

Floods

- ◆ **Educate the public that the City is located in an “X” flood zone where flood insurance is no longer mandatory (Program 5.6.1.2).** The Public Works Department continued to provide handouts at the public counter regarding the current FIRM (Flood Insurance Rate Map) and flood zoning . FIRM information can be found at www.fema.gov website.
- ◆ **Minimize increases in the amount of stormwater generated by existing and proposed land uses (Program 5.6.2.1).** The Public Works Department continued to enforce National Pollutant Discharge Elimination System (NPDES) requirements, during plan check review for new and redevelopment projects with 5,000 square feet or more of new or replacement impervious surfaces, which are generally required to provide infiltration volume commensurate with an 85th percentile within 24-hour runoff event (whichever is greater) on the new or replacement impervious surface. Larger developments are required to prepare a Standard Urban Stormwater Mitigation Plan and demonstrate that no increase in peak runoff rate will be observed as a result of the development and that at least 85th percentile or 0.75 inch in a 24-hour event (whichever is greater) of projected runoff can be infiltrated.

Vehicular Traffic

- ◆ **Require street lights for new developments (Program 5.7.1.2).** New development projects are subject to section 9520.06 of the zoning code to comply with outdoor lighting requirements. As a condition of approval through the Site Plan Review process, properties are annexed into the City of Downey Lighting Maintenance District in accordance with Division 15 of the Streets and Highways Code.
- ◆ **Encourage the installation of sidewalks in new developments and major remodeling consistent with the Sidewalk Master Plan (Program 5.7.2.2).** The City requires land developers and property owners to construct new sidewalk where it doesn't exist through the entitlement process in conjunction with new on-site construction involving the adjacent property. The City is currently undertaking the development of a Citywide Pedestrian Plan which will serve as a blueprint for the gradual development of the City's circulation system over time. The city currently has 170 miles of sidewalk.

Chapter 5 Safety Element continued

- ◆ **Promote street intersection design and signalization that are safe and convenient to pedestrians and bicyclists (Program 5.7.2.3).** The safety and convenience of pedestrians and bicyclists are taken into consideration in the designs of intersections as well as signalization. Intersections are designed to be accessible to pedestrians in compliance with the Americans with Disabilities Act (ADA). In addition, the Citywide Pedestrian Plan will recommend a series of projects featuring innovative pedestrian treatments and amenities to be deployed at intersections such as curb extensions. Furthermore, the City completed a citywide safety lighting retrofit in 2018 which involved the conversion of all city-owned safety lights at intersections to LED luminaires. Traffic signal installations and upgrades also take pedestrian and bicycle safety and convenience into consideration through the use of pedestrian countdown indications and pedestrian accessible pushbuttons (a few of which are audible for the blind). The City's traffic signals are also timed to provide sufficient time for pedestrians to cross the street in accordance with state guidelines. Detection systems at signalized intersections are also required to detect the presence of bicycles. Lastly, the City initiated a project involving the installation of Class II bike lanes on eight of the City's minor arterial streets as recommended by the City's Bicycle Master Plan. This project is was completed in June 2021.



Chapter 6 Noise Element

Noise can be defined as unwanted sound and is known to have several adverse effects on people. The most critical impact of noise exposure is hearing loss. Other effects are speech interference, sleep interference and annoyance.

- ◆ **Ensure that existing land uses that are generating noise beyond the acceptable levels reduce noise levels to acceptable levels (Program 6.3.1.2.).** The City continued to enforce its noise ordinance (Section 4600 of the Downey Municipal Code). This involves the permitted hours for construction. For projects that involved amplified music, the City continued to strictly enforce businesses to mitigate noise impacts by imposing conditions of approval through a conditional use permit application process. Also, the Downey Police Department Special Enforcement Team conducted IMPACT inspections to ensure businesses are operating at an acceptable noise level.

In addition, the City continued to require projects that involve live entertainment activities and projects that have the potential to generate noise from machinery equipment or amplified music to comply with City's noise ordinance. This can be regulated by imposing conditions of approval through the entitlement process.

- ◆ **Discourage the placement of air conditioning equipment, electric generators, or other noise-generating equipment in close proximity to adjacent properties (Program 6.3.1.6.).** The City's Planning Division continued to enforce code section 9504 of the Downey Municipal Code requiring all mechanical equipment to be screened and appropriately setback from neighboring properties. This applied to all new developments and applicable remodels undertaken in 2020.

Chapter 7 Open Space Element

Typical of most communities located within mature urbanized settings, Downey has a limited amount of open space areas. Open space areas are important not only to provide recreational activities for residents but also as a visual break from the built environment.

Updates:

- ◆ **Maintain an adequate level of recreational staffing at park facilities (Program 7.2.2.1.).** In 2021 The Parks & Recreation Department continued evaluating the staffing need based on the response to the COVID-19 pandemic. Staffing for essential programs and park site facilities was modified to meet CDC recommended COVID-19 safety guidelines. Part Time & Full Time employees were appropriately assigned to adequately meet recreational staffing needs. Additional services were provided, such as food distribution events, senior meal distribution, and wellness checks.
- ◆ **Secure alternative means of funding, such as grants, donations, user fees and public/private partnerships, for park upgrades (Program 7.2.2.5.).** Projects that were funded by The California Department of Parks & Recreation and Measure S in 2019 continued be monitored by The Parks & Recreation Department in 2021 Upgrades to Apollo Park, Dennis the Menace Park, Discovery Sports Complex, Independence Park, Golden Park and Furman Park were completed in 2020. Lastly, a grant in the amount of \$1.14 million dollars was provided by the River's & Mountains Conservancy in November of 2020 for upgrades to Wilderness Park's natural features (North & South Lakes). Project was completed in January 2021.
- ◆ **Promote the creation of new parks, especially in areas of the city in the greatest need of additional parks (Program 7.3.1.1.).** The Parks & Recreation Department is working with the County of Los Angeles in the construction stage on the south side of the Rancho Los Amigos sports complex project. The project has begun with demolition of existing buildings at the site and continued through 2021. We are continuing to monitor California Prop 68 funds. Furthermore, Measure A funds were used to supplement Measure S projects.
- ◆ **Actively work with private, non-profit and public community services organizations to provide educational and community services including child care, English translation, after school programs and recreational activities (Program 7.4.1.5.)** Parks and Recreation staff and the Downey Unified School District (DUSD) continued to administer a State grant to provide the "After School Program Information Recreation Education" (ASPIRE) at Alameda, Carpenter, Gauldin, Griffiths, Lewis, Old River, Stauffer, Sussman, Price, Unsworth, Ward and Williams Schools. The goal of the program is to provide a fun, positive, and safe learning environment especially during the COVID-19 pandemic students are at increased need of the additional educational and recreational support.

Chapter 7 Open Space Element continued

The program operates on school days from school dismissal until 6:00 p.m. In addition, the department continues to offer recreational classes and programs offered by contract instructors which have also been modified in order to meet CDC recommended COVID-19 safety guidelines. In 2021 Parks & Recreation staff continued operating a food meal service for seniors 65+ which includes a Grab n' Go program and a home delivered meals component. Over 77,523 meals were distributed. In addition, the Parks & Recreation Department continues to collaborate with TLC (True Lasting Connections) organization, a branch of DUSD that supports children and their families including access to child care, and essential services to families in need.

Chapter 8 Design Element

Most residents, visitors, and businesses in Downey recognize the City as the premiere city in the southeast area of Los Angeles County. However, others less familiar with the City's history may not share this perception and judge Downey solely on the physical appearance of the area. For this reason, it is important that the visual appearance of the community portray a positive image and that the community image display the distinct and numerous resources it has to offer.

- ◆ **Promote quality design for new, expanded, and remodeled construction (Goal 8.1).** The City continued to contract Architectural Peer Review Services to provide technical review and a comprehensive range of integrated design services for a variety of buildings. In addition, the City continued to implement the Site Plan Review process that requires Planning Commission review and approval of site plans, landscaping, lighting (except single family homes) for new construction and major alterations.
- ◆ **Lack of property maintenance may exhibit a negative image of the City (Issue 8.2).** The Code Enforcement Division continued monitoring and working with a significant number of property owners, including residential properties, commercial and industrial businesses, in an effort to keep these properties maintained. In addition, the Housing Division regularly awards grant money to conduct remodels which includes landscaping, roofing, painting, and new windows. The program will be recontinued in 2022.
- ◆ **Support the Keep Downey Beautiful programs (Program 8.2.2.3).** City staff, business owners, and volunteers participated in the "Keep Downey Beautiful" clean-ups that help improve community environments. The program focus is not only to keep Downey beautiful but also to have a safe and clean environment. A new social media campaign launched in 2020 remains active to reinforce pride in the community and encourage everyone to "do their part".



Chapter 9 Economic Development Element

A strong community owes much to the spirit and involvement of its residents. However, community pride and civic-mindedness are not enough for a city to provide all necessary and desired services to maintain the local quality of life. A city needs a variety of employment and shopping opportunities to create balance, make it a desirable place to live, and enhance its image.

- ◆ **Develop economic strategies for business attraction and retention (Program 9.1.1.1).** Efforts were made in establishing place identification within the downtown and other areas within the City by the installation of multiple art installments throughout the city. The installments serve to contribute to the city's already attractive downtown area. The goal is that the investment in improving and beautifying public spaces will indirectly attract patrons to nearby commercial.
- ◆ **Continue the revitalization of commercial and industrial corridors (Program 9.1.1.5).** The City continued to revitalize commercial areas with the addition of art in the form of murals and sculptures throughout the Downtown Areas as well as at the Downey Theater. In 2021, a few commercial projects were also approved by the Planning Commission for new construction which will revitalize the areas in which they are being constructed with improved design, material, and architectural styles.
- ◆ **Promote through public information the benefits of businesses locating in Downey (Program 9.1.1.7).** Staff continues to maintain and update the Economic Development web pages to assist in the attraction and retention of quality businesses. The pages contain information and materials for businesses coming to the City and include information on the various business start-up steps and even links to a site locator and opportunity sites. Additionally, the city has included a business tool-kit, to further help businesses locate regional, state and federal resources.
- ◆ **Maintain the high level of standards for quality of staff and work produced (Program 9.4.1.3).** Feedback is gathered from the public via the City designed and implemented customer service check-in kiosk system. The system helps better expedite service at the public counters. The system also allows the public to provide comments and review of their experience inside City Hall. This allows staff to provide, add, and build upon an effective and efficient service to customers.

Chapter 9 Economic Development Element continued

- ◆ **Expand the use of the city Internet web site for public information (Program 9.4.2.5).** City Departments continue to work toward improved customer service by maintaining the on-line business license application process, which enables customers to submit business license renewals or applications for a new license and to allow Downey residents to pay their water bills on-line. In addition, the City continues to update its website regularly and provide more information to the public via the Internet. The Planning Department uses social media platforms and the city website to inform the community of Planning Commission meetings, community meetings, and to provide a space to obtain community input through surveys and postings.

Jurisdiction	Downey	
Reporting Year	2021	(Jan. 1 - Dec. 31)
Planning Period	5th Cycle	

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation

Table A
Housing Development Applications Submitted

Project Identifier				Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes							Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Density Bonus Applications		Application Status	Notes		
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20			
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA, SFD, 2 to 4, 5+, ADU, MH)	Tenure R=Renter O=Owner	Date Application Submitted+ (see instructions)	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project	Was APPLICATION SUBMITTED Pursuant to GC 65913.4(b)? (SB 35 Streamlining)	Was a Density Bonus requested for this housing development?	Was a Density Bonus approved for this housing development?	Please indicate the status of the application.	Notes*
							0	0	0	0	0	0	0	196	196	196	0					
	6261013006	8713 MEADOW RD #A		BLD-21-00004	ADU	R	1/4/2021							1	1	1		No	No	No	Approved	
	6256011024	12733 COWLEY AV		BLD-21-00008	ADU	R	1/5/2021							1	1	1		No	No	No	Approved	
	6245007028	12243 RIVES AV		BLD-21-00012	ADU	R	1/5/2021							1	1	1		No	No	No	Approved	
	8020006011	11012 LE FLOSS AV		BLD-21-00017	ADU	R	1/6/2021							1	1	1		No	No	No	Approved	
	6263005020	8734 RUPP RD		BLD-21-00037	ADU	R	1/11/2021							1	1	1		No	No	No	Approved	
	6259017031	8209 QUOIT ST		BLD-21-00065	ADU	R	1/13/2021							1	1	1		No	No	No	Approved	
	6359029027	10035 SUSAN AV		BLD-21-00066	ADU	R	1/13/2021							1	1	1		No	No	No	Approved	
	6359014008	9743 RICHEON AV		BLD-21-00074	ADU	R	1/15/2021							1	1	1		No	No	No	Approved	
	6253010031	8449 SIXTH ST		BLD-21-00076	ADU	R	1/15/2021							1	1	1		No	No	No	Approved	
	6286014002	9315 CECILIA ST		BLD-21-00087	ADU	R	1/19/2021							1	1	1		No	No	No	Approved	
	6359006016	9748 NORLAIN AV		BLD-21-00101	ADU	R	1/21/2021							1	1	1		No	No	No	Approved	
	6229018015	11010 RYERSON AV		BLD-21-00111	ADU	R	1/22/2021							1	1	1		No	No	No	Approved	
	6390006002	9071 SUVA ST		BLD-21-00119	ADU	R	1/25/2021							1	1	1		No	No	No	Approved	
	6247009027	7829 BROOKMILL RD APT A		BLD-21-00156	ADU	R	2/1/2021							1	1	1		No	No	No	Approved	
	6286002036	10200 CORD AV		BLD-21-00177	ADU	R	2/3/2021							1	1	1		No	No	No	Approved	
	6283008055	12834 ADENMOOR AV		BLD-21-00200	ADU	R	2/8/2021							1	1	1		No	No	No	Approved	
	6260006055	8024 DEVENIR AV		BLD-21-00205	ADU	R	2/9/2021							1	1	1		No	No	No	Approved	
	6252007007	10363 BELLDER DR		BLD-21-00217	ADU	R	2/10/2021							1	1	1		No	No	No	Approved	
	6261017021	8718 ALAMEDA ST		BLD-21-00244	ADU	R	2/12/2021							1	1	1		No	No	No	Approved	
	6249008008	10330 POMERING RD #A		BLD-21-00289	ADU	R	2/19/2021							1	1	1		No	No	No	Approved	
	6263014008	8940 PRISCILLA ST		BLD-21-00294	ADU	R	2/19/2021							1	1	1		No	No	No	Approved	
	6229003009	7320 IRWINGROVE DR		BLD-21-00298	ADU	R	2/19/2021							1	1	1		No	No	No	Approved	
	6248023027	11701 RIVES AV		BLD-21-00304	ADU	R	2/22/2021							1	1	1		No	No	No	Approved	
	6248023028	11701 RIVES AV		BLD-21-00304	ADU	R	2/22/2021							1	1	1		No	No	No	Approved	
	6247017019	7810 LUXOR ST		BLD-21-00306	ADU	R	2/22/2021							1	1	1		No	No	No	Approved	
	6359017003	9807 WILEY BURKE AV		BLD-21-00317	ADU	R	2/23/2021							1	1	1		No	No	No	Approved	
	6389001001	9049 GALLATIN RD		BLD-21-00318	ADU	R	2/23/2021							1	1	1		No	No	No	Approved	
	6361005001	9206 BROCK AV		BLD-21-00322	ADU	R	2/24/2021							1	1	1		No	No	No	Approved	
	6364016001	9144 STOAKES AV		BLD-21-00346	ADU	R	2/26/2021							1	1	1		No	No	No	Approved	
	6366009022	7343 GLENCLIFF DR		BLD-21-00353	ADU	R	3/1/2021							1	1	1		No	No	No	Approved	
	6262013046	9020 PRISCILLA ST		BLD-21-00367	ADU	R	3/4/2021							1	1	1		No	No	No	Approved	
	6286012011	10605 PANGBORN AV		BLD-21-00370	ADU	R	3/4/2021							1	1	1		No	No	No	Approved	
	6287017001	10508 MATTOCK AV		BLD-21-00379	ADU	R	3/8/2021							1	1	1		No	No	No	Approved	
	6251033015	8035 SEVENTH ST		BLD-21-00446	ADU	R	3/17/2021							1	1	1		No	No	No	Approved	
	6266012022	13336 BIXLER AV		BLD-21-00455	ADU	R	3/18/2021							1	1	1		No	No	No	Approved	
	8019027017	11227 CECILIA ST		BLD-21-00488	ADU	R	3/24/2021							1	1	1		No	No	No	Approved	
	6260004048	8215 PURITAN ST		BLD-21-00501	ADU	R	3/25/2021							1	1	1		No	No	No	Approved	
	6259020029	12271 DOWNEY AV		BLD-21-00515	ADU	R	3/26/2021							1	1	1		No	No	No	Approved	
	8019006006	11003 DALWOOD AV		BLD-21-00517	ADU	R	3/26/2021							1	1	1		No	No	No	Approved	
	6359011011	9609 WILEY BURKE AV		BLD-21-00524	ADU	R	3/29/2021							1	1	1		No	No	No	Approved	
	6388008019	9028 LEMORAN AV		BLD-21-00536	ADU	R	3/30/2021							1	1	1		No	No	No	Approved	
	6255025042	8502 LUXOR ST		BLD-21-00547	ADU	R	3/31/2021							1	1	1		No	No	No	Approved	
	6229020015	7314 DINWIDDIE ST		BLD-21-00567	ADU	R	4/2/2021							1	1	1		No	No	No	Approved	

6388021026	9242 SONGFEST DR	BLD-21-00572	ADU	R	4/5/2021							1	1	1	No	No	No	Approved
6259019045	8106 LEEDS ST	BLD-21-00585	ADU	R	4/6/2021							1	1	1	No	No	No	Approved
6258009062	8337 COLE ST	BLD-21-00610	ADU	R	4/9/2021							1	1	1	No	No	No	Approved
8020017016	10808 LITTLE LAKE RD	BLD-21-00615	ADU	R	4/9/2021							1	1	1	No	No	No	Approved
6388022002	9624 TELEGRAPH RD	BLD-21-00616	ADU	R	4/9/2021							1	1	1	No	No	No	Approved
6251019044	7965 SECOND ST	BLD-21-00640	ADU	R	4/13/2021							1	1	1	No	No	No	Approved
6231024005	7340 LUXOR ST	BLD-21-00642	ADU	R	4/13/2021							1	1	1	No	No	No	Approved
6266017021	13440 KLONDIKE AV	BLD-21-00661	ADU	R	4/15/2021							1	1	1	No	No	No	Approved
6391001012	9375 LUBEC ST	BLD-21-00663	ADU	R	4/15/2021							1	1	1	No	No	No	Approved
6286013002	9309 BUELL ST	BLD-21-00673	ADU	R	4/16/2021							1	1	1	No	No	No	Approved
6249012005	7431 MULLER ST #A	BLD-21-00688	ADU	R	4/19/2021							1	1	1	No	No	No	Approved
6245004022	7803 HONDO ST	BLD-21-00691	ADU	R	4/20/2021							1	1	1	No	No	No	Approved
6258010046	8532 STEWART AND GRAY RD	BLD-21-00693	ADU	R	4/20/2021							1	1	1	No	No	No	Approved
6255019008	8140 DE PALMA ST #A	BLD-21-00702	ADU	R	4/20/2021							1	1	1	No	No	No	Approved
6231012027	7258 ADWEN ST #A	BLD-21-00723	ADU	R	4/22/2021							1	1	1	No	No	No	Approved
6285024028	10729 CLANCEY AV	BLD-21-00728	ADU	R	4/22/2021							1	1	1	No	No	No	Approved
6362008019	9623 STAMPS AV	BLD-21-00785	ADU	R	4/27/2021							1	1	1	No	No	No	Approved
6287007065	10436 GAYBROOK AV	BLD-21-00790	ADU	R	4/27/2021							1	1	1	No	No	No	Approved
6245029005	7922 PURITAN ST	BLD-21-00805	ADU	R	4/29/2021							1	1	1	No	No	No	Approved
6391019015	10002 NEWVILLE AV	BLD-21-00820	ADU	R	4/30/2021							1	1	1	No	No	No	Approved
6281006014	13047 LEAHY AV	BLD-21-00834	ADU	R	5/4/2021							1	1	1	No	No	No	Approved
6255019007	8146 DE PALMA ST	BLD-21-00858	ADU	R	5/7/2021							1	1	1	No	No	No	Approved
6253006006	8338 SIXTH ST	BLD-21-00884	ADU	R	5/13/2021							1	1	1	No	No	No	Approved
6231012022	7232 ADWEN ST	BLD-21-00914	ADU	R	5/18/2021							1	1	1	No	No	No	Approved
6281005008	9841 PRISCILLA ST	BLD-21-00929	ADU	R	5/19/2021							1	1	1	No	No	No	Approved
6367013018	8038 BLANDWOOD RD #A	BLD-21-00937	ADU	R	5/20/2021							1	1	1	No	No	No	Approved
6255024052	8631 STEWART AND GRAY RD	BLD-21-00968	ADU	R	5/26/2021							1	1	1	No	No	No	Approved
6259017028	12346 ORIZABA AV	BLD-21-00971	ADU	R	5/26/2021							1	1	1	No	No	No	Approved
6249015017	7427 CECILIA ST	BLD-21-00989	ADU	R	5/28/2021							1	1	1	No	No	No	Approved
6280011009	13018 WOODRUFF AV	BLD-21-00994	ADU	R	6/1/2021							1	1	1	No	No	No	Approved
6284011013	9112 MARGARET ST	BLD-21-00995	ADU	R	6/1/2021							1	1	1	No	No	No	Approved
6248023002	7737 LUXOR ST	BLD-21-01024	ADU	R	6/3/2021							1	1	1	No	No	No	Approved
6367012007	8013 BLANDWOOD RD	BLD-21-01025	ADU	R	6/4/2021							1	1	1	No	No	No	Approved
6246025019	7617 COREY ST	BLD-21-01033	ADU	R	6/4/2021							1	1	1	No	No	No	Approved
6366001002	7205 COOLGROVE DR #A	BLD-21-01046	ADU	R	6/8/2021							1	1	1	No	No	No	Approved
6389010020	9134 LEMORAN AV	BLD-21-01065	ADU	R	6/10/2021							1	1	1	No	No	No	Approved
6283005018	12225 IZETTA AV	BLD-21-01081	ADU	R	6/14/2021							1	1	1	No	No	No	Approved
6248019016	7441 LUXOR ST	BLD-21-01128	ADU	R	6/22/2021							1	1	1	No	No	No	Approved
6263035015	8309 PURITAN ST	BLD-21-01144	ADU	R	6/24/2021							1	1	1	No	No	No	Approved
6362012009	8346 GAINFORD ST	BLD-21-01149	ADU	R	6/24/2021							1	1	1	No	No	No	Approved
6251014003	7827 THIRD ST	BLD-21-01152	ADU	R	6/25/2021							1	1	1	No	No	No	Approved
6246009008	12044 SMALLWOOD AV	BLD-21-01161	ADU	R	6/28/2021							1	1	1	No	No	No	Approved
6259001055	11935 GURLEY AV	BLD-21-01177	ADU	R	6/30/2021							1	1	1	No	No	No	Approved
6286006028	10331 PANGBORN AV	BLD-21-01186	ADU	R	6/30/2021							1	1	1	No	No	No	Approved
6260007019	12651 DOWNEY AV	BLD-21-01190	ADU	R	7/1/2021							1	1	1	No	No	No	Approved
6247005008	7922 PHLOX ST	BLD-21-01191	ADU	R	7/2/2021							1	1	1	No	No	No	Approved
6259012002	12055 DOWNEY AV	BLD-21-01192	ADU	R	7/2/2021							1	1	1	No	No	No	Approved
8019030011	11303 BUELL ST	BLD-21-01202	ADU	R	7/6/2021							1	1	1	No	No	No	Approved
6231022026	7220 FONTANA ST	BLD-21-01239	ADU	R	7/13/2021							1	1	1	No	No	No	Approved
6252008017	10316 BROOKSHIRE AV	BLD-21-01244	ADU	R	7/13/2021							1	1	1	No	No	No	Approved
6232025007	11919 SUSAN AV	BLD-21-01264	ADU	R	7/15/2021							1	1	1	No	No	No	Approved
6259019041	8040 LEEDS ST	BLD-21-01275	ADU	R	7/16/2021							1	1	1	No	No	No	Approved
6259002022	8040 STEWART AND GRAY RD	BLD-21-01284	ADU	R	7/19/2021							1	1	1	No	No	No	Approved
6246010019	12040 MORNING AV	BLD-21-01324	ADU	R	7/26/2021							1	1	1	No	No	No	Approved
6245030012	7950 DEVENIR AV	BLD-21-01328	ADU	R	7/27/2021							1	1	1	No	No	No	Approved
6266004024	13258 BLODGETT AV	BLD-21-01377	ADU	R	8/4/2021							1	1	1	No	No	No	Approved
6367018003	8726 PARROT AV	BLD-21-01379	ADU	R	8/4/2021							1	1	1	No	No	No	Approved
6260011051	8027 COMOLETTE ST	BLD-21-01407	ADU	R	8/9/2021							1	1	1	No	No	No	Approved
6388008019	9028 LEMORAN AV	BLD-21-01410	ADU	R	8/9/2021							1	1	1	No	No	No	Approved
6266022043	13414 EARNSHAW AV	BLD-21-01412	ADU	R	8/9/2021							1	1	1	No	No	No	Approved
6259003050	8117 BERGMAN LN	BLD-21-01424	ADU	R	8/11/2021							1	1	1	No	No	No	Approved
6259012030	12052 GURLEY AV	BLD-21-01443	ADU	R	8/13/2021							1	1	1	No	No	No	Approved
6360015014	7768 GAINFORD ST	BLD-21-01457	ADU	R	8/16/2021							1	1	1	No	No	No	Approved
6282003060	13045 ARDIS AV	BLD-21-01462	ADU	R	8/17/2021							1	1	1	No	No	No	Approved
6255027042	8421 FONTANA ST	BLD-21-01465	ADU	R	8/17/2021							1	1	1	No	No	No	Approved
6263023020	8513 ADOREE ST	BLD-21-01480	ADU	R	8/19/2021							1	1	1	No	No	No	Approved
6283005015	12209 IZETTA AV	BLD-21-01495	ADU	R	8/20/2021							1	1	1	No	No	No	Approved
6231015006	7340 BENARES ST	BLD-21-01507	ADU	R	8/23/2021							1	1	1	No	No	No	Approved
6232022011	7308 STEWART AND GRAY RD	BLD-21-01509	ADU	R	8/23/2021							1	1	1	No	No	No	Approved
6263042008	8346 IMPERIAL HWY	BLD-21-01510	ADU	R	8/23/2021							1	1	1	No	No	No	Approved

6259019047	8116 LEEDS ST	BLD-21-01526	ADU	R	8/26/2021							1	1	1	No	No	No	Approved
6260014054	12739 BROCK AV	BLD-21-01531	ADU	R	8/27/2021							1	1	1	No	No	No	Approved
6284010011	9049 HALL RD	BLD-21-01539	ADU	R	8/30/2021							1	1	1	No	No	No	Approved
6287001013	10203 MATTOCK AV	BLD-21-01541	ADU	R	8/31/2021							1	1	1	No	No	No	Approved
6360020003	9941 RIVES AV	BLD-21-01584	ADU	R	9/7/2021							1	1	1	No	No	No	Approved
6261003028	12364 DOWNEY AV	BLD-21-01589	ADU	R	9/7/2021							1	1	1	No	No	No	Approved
6263039010	12820 DOWNEY AV	BLD-21-01592	ADU	R	9/8/2021							1	1	1	No	No	No	Approved
6284011001	9101 MARGARET ST	BLD-21-01597	ADU	R	9/8/2021							1	1	1	No	No	No	Approved
6246002029	7805 COLE ST	BLD-21-01598	ADU	R	9/8/2021							1	1	1	No	No	No	Approved
6246022014	12043 POMERING RD	BLD-21-01636	ADU	R	9/15/2021							1	1	1	No	No	No	Approved
6259013016	8107 QUOIT ST	BLD-21-01637	ADU	R	9/15/2021							1	1	1	No	No	No	Approved
6256010011	12718 GLENSHIRE RD	BLD-21-01650	ADU	R	9/17/2021							1	1	1	No	No	No	Approved
6365018002	9046 GAYMONT AV	BLD-21-01672	ADU	R	9/21/2021							1	1	1	No	No	No	Approved
6266032034	8760 PARKCLIFF ST	BLD-21-01673	ADU	R	9/21/2021							1	1	1	No	No	No	Approved
6256010042	9033 ADOREE ST	BLD-21-01687	ADU	R	9/23/2021							1	1	1	No	No	No	Approved
6248016001	7403 ADWEN ST	BLD-21-01699	ADU	R	9/24/2021							1	1	1	No	No	No	Approved
6263027003	8414 IMPERIAL HWY	BLD-21-01700	ADU	R	9/24/2021							1	1	1	No	No	No	Approved
6259012033	12003 DOWNEY AV	BLD-21-01707	ADU	R	9/27/2021							1	1	1	No	No	No	Approved
6246006019	12115 SAMOLINE AV	BLD-21-01709	ADU	R	9/28/2021							1	1	1	No	No	No	Approved
6266004044	13347 CASTANA AV	BLD-21-01730	ADU	R	10/1/2021							1	1	1	No	No	No	Approved
6245007042	12206 HORLEY AV	BLD-21-01735	ADU	R	10/1/2021							1	1	1	No	No	No	Approved
6231015015	7315 LUXOR ST	BLD-21-01736	ADU	R	10/1/2021							1	1	1	No	No	No	Approved
6388021026	9242 SONGFEST DR	BLD-21-01738	ADU	R	10/4/2021							1	1	1	No	No	No	Approved
6259009041	8234 COLE ST	BLD-21-01744	ADU	R	10/4/2021							1	1	1	No	No	No	Approved
6251019044	7965 SECOND ST	BLD-21-01746	ADU	R	10/5/2021							1	1	1	No	No	No	Approved
6248024007	7636 LUXOR ST	BLD-21-01756	ADU	R	10/7/2021							1	1	1	No	No	No	Approved
6229006004	7244 VIA AMORITA	BLD-21-01757	ADU	R	10/7/2021							1	1	1	No	No	No	Approved
6361024019	8064 DACOSTA ST	BLD-21-01769	ADU	R	10/8/2021							1	1	1	No	No	No	Approved
6248027009	11802 POMERING RD	BLD-21-01772	ADU	R	10/8/2021							1	1	1	No	No	No	Approved
6259007053	8116 ALAMEDA ST	BLD-21-01777	ADU	R	10/12/2021							1	1	1	No	No	No	Approved
6231007021	7137 ADWEN ST	BLD-21-01780	ADU	R	10/12/2021							1	1	1	No	No	No	Approved
6256006019	12436 ROSE AV	BLD-21-01784	ADU	R	10/12/2021							1	1	1	No	No	No	Approved
6255012001	11618 MCGOVERN AV	BLD-21-01792	ADU	R	10/13/2021							1	1	1	No	No	No	Approved
6282004033	13247 RTUGERS AV	BLD-21-01793	ADU	R	10/13/2021							1	1	1	No	No	No	Approved
6365018021	9003 TWEEDY LN	BLD-21-01800	ADU	R	10/14/2021							1	1	1	No	No	No	Approved
6258013023	8721 BYERS ST	BLD-21-01804	ADU	R	10/14/2021							1	1	1	No	No	No	Approved
6388018022	9229 SONGFEST DR	BLD-21-01809	ADU	R	10/15/2021							1	1	1	No	No	No	Approved
6252018030	10446 STAMPS RD	BLD-21-01823	ADU	R	10/19/2021							1	1	1	No	No	No	Approved
6281006013	13109 ADENMOOR AV	BLD-21-01844	ADU	R	10/21/2021							1	1	1	No	No	No	Approved
6283005013	12163 IZETTA AV	BLD-21-01845	ADU	R	10/21/2021							1	1	1	No	No	No	Approved
6246011006	7955 BRUNACHE ST	BLD-21-01846	ADU	R	10/21/2021							1	1	1	No	No	No	Approved
6259007032	8205 ORANGE ST	BLD-21-01852	ADU	R	10/22/2021							1	1	1	No	No	No	Approved
6266020054	13417 VERDURA AV	BLD-21-01854	ADU	R	10/22/2021							1	1	1	No	No	No	Approved
6367021020	8218 VISTA DEL ROSA ST	BLD-21-01904	ADU	R	10/28/2021							1	1	1	No	No	No	Approved
8019008007	11009 FAIRFORD AV	BLD-21-01909	ADU	R	10/28/2021							1	1	1	No	No	No	Approved
6246010017	12028 MORNING AV	BLD-21-01916	ADU	R	10/29/2021							1	1	1	No	No	No	Approved
6245010006	12323 CHAVERS AV	BLD-21-01958	ADU	R	11/5/2021							1	1	1	No	No	No	Approved
6364020014	9235 BROOKSHIRE AV	BLD-21-01963	ADU	R	11/5/2021							1	1	1	No	No	No	Approved
6364001019	8718 TWEEDY LN	BLD-21-01971	ADU	R	11/8/2021							1	1	1	No	No	No	Approved
6284003021	9415 NANCE AV	BLD-21-01981	ADU	R	11/9/2021							1	1	1	No	No	No	Approved
6245003033	7903 SPRINGER ST	BLD-21-01982	ADU	R	11/9/2021							1	1	1	No	No	No	Approved
6283024009	10000 IMPERIAL HWY	BLD-21-01987	ADU	R	11/10/2021							1	1	1	No	No	No	Approved
6362013004	8318 DACOSTA ST	BLD-21-02001	ADU	R	11/10/2021							1	1	1	No	No	No	Approved
6360021004	9824 RICHEON AV	BLD-21-02015	ADU	R	11/12/2021							1	1	1	No	No	No	Approved
6251019016	7933 SECOND ST	BLD-21-02022	ADU	R	11/15/2021							1	1	1	No	No	No	Approved
6263018048	12913 SANDY LN	BLD-21-02033	ADU	R	11/17/2021							1	1	1	No	No	No	Approved
6366010014	7331 CLEARGROVE DR	BLD-21-02044	ADU	R	11/18/2021							1	1	1	No	No	No	Approved
6259008061	8218 DUESLER ST	BLD-21-02074	ADU	R	11/23/2021							1	1	1	No	No	No	Approved
6248007018	11416 HORTON AV	BLD-21-02077	ADU	R	11/24/2021							1	1	1	No	No	No	Approved
6364015021	8360 VISTA DEL RIO AV	BLD-21-02085	ADU	R	11/29/2021							1	1	1	No	No	No	Approved
6287008010	10258 PICO VISTA RD	BLD-21-02086	ADU	R	11/29/2021							1	1	1	No	No	No	Approved
8019032012	10815 OFFLEY AV	BLD-21-02089	ADU	R	11/29/2021							1	1	1	No	No	No	Approved
6284014012	11627 ADENMOOR AV	BLD-21-02122	ADU	R	12/3/2021							1	1	1	No	No	No	Approved
6389017012	9593 GALLATIN RD	BLD-21-02127	ADU	R	12/6/2021							1	1	1	No	No	No	Approved
6229006011	10404 SHERRY AV	BLD-21-02128	ADU	R	12/6/2021							1	1	1	No	No	No	Approved
6281001031	13028 IBBETSON AV	BLD-21-02144	ADU	R	12/8/2021							1	1	1	No	No	No	Approved
6261006015	8351 IMPERIAL HWY	BLD-21-02148	ADU	R	12/9/2021							1	1	1	No	No	No	Approved
6283017033	12609 EASTBROOK AV	BLD-21-02161	ADU	R	12/13/2021							1	1	1	No	No	No	Approved
6287021031	9555 LA VILLA ST	BLD-21-02167	ADU	R	12/13/2021							1	1	1	No	No	No	Approved
6258001045	12059 PATTON RD	BLD-21-02187	ADU	R	12/15/2021							1	1	1	No	No	No	Approved

6246003022	7810 COLE ST	BLD-21-02195	ADU	R	12/16/2021								1	1	1	No	No	No	Approved
6388009024	9062 PASSONS BL	BLD-21-02196	ADU	R	12/16/2021								1	1	1	No	No	No	Approved
6266012022	13336 BIXLER AV	BLD-21-02197	ADU	R	12/16/2021								1	1	1	No	No	No	Approved
6231008038	11613 MITLA AV	BLD-21-02213	ADU	R	12/21/2021								1	1	1	No	No	No	Approved
6252022008	10332 WESTERN AV	BLD-21-02240	ADU	R	12/28/2021								1	1	1	No	No	No	Approved
6283022043	12629 IBBETSON AV	BLD-21-02246	ADU	R	12/29/2021								1	1	1	No	No	No	Approved
6252021011	10222 LA REINA AV	BLD-21-01118	2 to 4	R	6/18/2021								2	2	2	No	No	No	Approved
6251024026	7938 SEVENTH ST	BLD-21-00662	SFD	O	4/15/2021								1	1	1	No	No	No	Approved
6229013005	7217 RIO FLORA PL	BLD-21-01350	SFD	O	7/30/2021								1	1	1	No	No	No	Approved
6229013003	7235 RIO FLORA PL	BLD-21-01482	SFD	O	8/19/2021								1	1	1	No	No	No	Approved
6252021007	10225 LA REINA AV	PLN-21-00111	2 to 4	R	8/12/2021								2	2	2	No	No	No	Approved

Jurisdiction	Downey	
Reporting Year	2021	(Jan. 1 - Dec. 31)
Planning Period	5th Cycle	

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Table B													
Regional Housing Needs Allocation Progress													
Permitted Units Issued by Affordability													
		1	2									3	4
Income Level		RHNA Allocation by Income Level	2013	2014	2015	2016	2017	2018	2019	2020	2021	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	210	-	-	-	-	-	-	-	-	-	-	210
	Non-Deed Restricted		-	-	-	-	-	-	-	-	-		
Low	Deed Restricted	123	-	-	-	6	-	-	-	-	-	6	117
	Non-Deed Restricted		-	-	-	-	-	-	-	-	-		
Moderate	Deed Restricted	135	-	-	-	-	-	-	-	-	-	70	-
	Non-Deed Restricted		-	20	50	-	-	-	-	-	-		
Above Moderate		346	-	12	13	44	135	87	41	58	97	487	-
Total RHNA		814											
Total Units			-	32	63	50	135	87	41	58	97	563	327

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Downey
Reporting Year	2021 (Jan. 1 - Dec. 31)

Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
Code Enforcement	Conduct inspections for compliance and maintenance.	2014-2021	4,928 code enforcement cases were filed in 2021, related to building regulations and health/safety. These cases typically involve required maintenance of a property or illegal construction within the City's residential zoning districts. Applicants are encouraged to apply for rehabilitation assistance when the case is applicable.
The Housing Rebate and Grant Program	Address property improvement for low income homeowners.	2014-2021	No rehabilitation grants were awarded for the year of 2021. The city did however update standards and policies to comply with regulation provided by the State.

<p>Monitor and Preserve Affordable Housing</p>	<p>Maintain list of affordable units, ensure compliance with deed restrictions, and pursue partnerships for new affordable housing opportunities.</p>	<p>2014-2021</p>	<p>An inventory of the City's affordable housing units is kept and maintained by the City's Community Development Department. Currently, 200 affordable units exist in the city. Continued education is provided to property owners in an effort to maintain compliance with deed restrictions. Standards, benefits, and incentives related to affordable housing are also shared with any persons interested in the construction of a residential development.</p>
<p>Energy Efficient Design</p>	<p>Encourage homeowners and landlords to incorporate energy efficiency features into construction and remodeling projects.</p>	<p>Ongoing 2014-2021</p>	<p>Activity remains ongoing. All applications related to development within the City's Single Family Residential Zones are offered the incentive of increasing their allowed Floor-Area Ratio (by an additional .5) when energy efficient elements are incorporated into their project.</p>
<p>Housing Opportunity Sites</p>	<p>Facilitate the development of underutilized sites.</p>	<p>Ongoing 2014-2021</p>	<p>The City continues to encourage and advocate for the construction/redevelopment of underutilized parcels as an ongoing effort. The highest number of new residential development came in the form of accessory dwelling units (ADU). 117 ADUs were issued in 2021. A total of 189 applications were submitted, many of which will be approved in 2022.</p>
<p>Second Unit Zoning</p>	<p>Inform eligible property owners of the potential to construct second dwelling units.</p>	<p>2014-2021</p>	<p>A total of 117 ADUs were approved and 189 applications were submitted. The ones that have not been approved are anticipated to be issued sometime in 2022. Information regarding city standards is continuously provided to property owners.</p>

Senior Housing Zoning	Offer incentives to facilitate the development housing favorable to senior residents.	Ongoing 2014-2021	The City continues to encourage and advocate for senior housing development. The city offers incentives in the form of reduced parking, lower minimum unit sizes, increase heights and allowed stories, and increased lot coverage. The allowed density is also greater than traditional multifamily developments, and a density bonus is also available.
Mortgage Credit Certificate	Continue participation and advertise program availability.	2014-2021	The program is operated by the Los Angeles County Housing Authority, and remains a resource for residents who may benefit. The City of Downey's involvement remains the same as previous years. Staff continues to provide information to residents and members of the public that may be interested in the program, and assists individuals in locating Los Angeles County Housing Authority's offices and website.
Section 8 Rental Assistance	Continue participation in program and encourage property owners to register their units.	2014-2021	Current records indicate there are 555 total units within the City participating in the Section 8 program. The County Housing Authority operates the program and is responsible for issuing vouchers.
Los Angeles County Partnership	Increase resident awareness about various county housing programs	2014-2021	The City continues to provide members of the public with information regarding county sponsored housing programs/assistance.

<p>Remove Development Constraints</p>	<p>Annually review development standards to ensure that the development of lower income housing can occur. Promote maximum density development.</p>	<p>2014-2021</p>	<p>The City continues to comply with state legislation such as permit streamlining and ADUs. The City's Downtown Specific Plan has helped facilitate large residential development in the past and preliminary proposals have been discussed for the near future. Unfortunately, no applications were submitted for the year 2021. Zone overlays such as the city's recently implemented biomedical overlay zone and future Imperial Hwy overlay zone may incentivize residential development.</p>
<p>Density Bonus</p>	<p>Inform and encourage utilization of density program.</p>	<p>2014-2021</p>	<p>The City continues to provide density bonus as a resource for new developments. The program was not utilized in 2021.</p>
<p>Planned Unit Developments</p>	<p>Encourage Planned Unit Developments as a means to provide affordable housing.</p>	<p>2014-2021</p>	<p>None proposed during 2021. The opportunity remains a tool within the Downey Municipal Code that may be utilized when appropriate to create large (potentially affordable) creative residential development projects.</p>
<p>Streamline Processing</p>	<p>Monitor permit processing times and investigate ways to further streamline.</p>	<p>2014-2021</p>	<p>The City diligently complies with all applicable streamlining policies and practices. In 2021, the city began reviewing and accepting proposals for digital plan check processing. This, along with efforts undertaken in 2018, aim to cut down review/processing times. Further progress to implement this was taken in 2020.</p>

<p>Prioritize Housing Program Activities</p>	<p>Identify housing needs and prioritize housing program activities.</p>	<p>2014-2021</p>	<p>The Community Development Department has continued to identify the Housing Rehabilitation Assistance Program as a priority. In 2021, guidelines were updated to be able to restart award fund to residents in the year of 2022. The City also identified rental assistance as a main priority and issued \$560,664 in funds to residents.</p>
<p>Planning and Development Fees</p>	<p>Conduct annual reviews of planning and development fees</p>	<p>2014-2021</p>	<p>In 2021, fees were adjusted and raised 2.5% for the majority of development applications. Changes were made in an effort to recover cost for services, yet total cost for service still remains higher than the applicable fee. Change in fees remains appropriate and consistent with surrounding communities.</p>
<p>Water and Sewer Service Providers</p>	<p>Submit the adopted Housing Element to local water and sewer providers for their review and input.</p>	<p>2014-2021</p>	<p>Activity was not required in 2021. No changes, updates, or amendments were made to the Housing Element.</p>
<p>Flood Management</p>	<p>Ensure flood risks are considered when making land use decisions.</p>	<p>Following Housing Element certification.</p>	<p>This activity remains on going. City staff professionals with the appropriate knowledge are relied upon and review every development application.</p>
<p>Lot Consolidation</p>	<p>Encourage lot consolidation of smaller parcels to accommodate project of a minimum of 16 units at a density of at least 30 units per acre.</p>	<p>Following Housing Element certification.</p>	<p>No lots were consolidated within the City or its downtown. However, staff continues to encourage and present the activity as an option.</p>

<p>Reasonable Accommodation for Persons with Disabilities</p>	<p>Administer the Housing Rebate and Grant Program to assist disabled households with architectural modifications to their homes and continue to implement the provisions of the American with Disabilities Act (ADA).</p>	<p>2014-2021</p>	<p>No applications were submitted in 2021. However, it remains a tool available to those that require it and may benefit. Staff informs and educates all individuals who express interest. In addition, reasonable accommodations can be funded through the use of the City's "Housing Rehabilitation Assistance Program."</p>
<p>Fair Housing</p>	<p>Assist households through the Fair Housing Foundation.</p>	<p>2014-2021</p>	<p>Activity remains ongoing. On average a total of 250 Downey residents are assisted by the FHF. (Data source: Fair Housing Foundation) The City continues to educate residents on the resources available to them provided by the FHF. In addition, informational handouts are found at the Housing Division public counter. Information and documents are provided in both english and spanish. Staff is trained on the purpose of the foundation and their services.</p>

Jurisdiction	Downey	
Reporting Period	2021	(Jan. 1 - Dec. 31)
Planning Period	5th Cycle	

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Table E									
Commercial Development Bonus Approved pursuant to GC Section 65915.7									
Project Identifier				Units Constructed as Part of Agreement				Description of Commercial Development Bonus	Commercial Development Bonus Date Approved
1				2				3	4
APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Very Low Income	Low Income	Moderate Income	Above Moderate Income	Description of Commercial Development Bonus	Commercial Development Bonus Date Approved
				0	0	0	0		

Jurisdiction	Downey	
Reporting Period	2021	(Jan. 1 - Dec. 31)
Planning Period	5th Cycle	

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Table F									
Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government									
<p>Please note this table is optional: The jurisdiction can use this table to report units that have been substantially rehabilitated, converted from non-affordable to affordable by acquisition, and preserved, including mobilehome park preservation, consistent with the standards set forth in Government Code section 65583.1, subdivision (c). Please note, motel, hotel, hostel rooms or other structures that are converted from non-residential to residential units pursuant to Government Code section 65583.1(c)(1)(D) are considered net-new housing units and must be reported in Table A2 and not reported in Table F.</p>									
Activity Type	Units that Do Not Count Towards RHNA ⁺				Units that Count Towards RHNA ⁺				The description should adequately document how each unit complies with subsection (c) of Government Code Section 65583.1 ⁺
	Extremely Low-Income ⁺	Very Low-Income ⁺	Low-Income ⁺	TOTAL UNITS ⁺	Extremely Low-Income ⁺	Very Low-Income ⁺	Low-Income ⁺	TOTAL UNITS ⁺	
Rehabilitation Activity				0				0	
Preservation of Units At-Risk				0				0	
Acquisition of Units				0				0	
Mobilehome Park Preservation				0				0	
Total Units by Income	0	0	0	0	0	0	0	0	

Jurisdiction	Downey	
Reporting Period	2021	(Jan. 1 - Dec. 31)
Planning Period	5th Cycle	

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

Table G						
Locally Owned Lands Included in the Housing Element Sites Inventory that have been sold, leased, or otherwise disposed of						
Project Identifier						
1				2	3	4
APN	Street Address	Project Name⁺	Local Jurisdiction Tracking ID⁺	Realistic Capacity Identified in the Housing Element	Entity to whom the site transferred	Intended Use for Site

Building Permits Issued by Affordability Summary		
Income Level		Current Year
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	0
Above Moderate		120
Total Units		120

Note: Units serving extremely low-income households are included in the very low-income permitted units totals

Units by Structure Type	Entitled	Permitted	Completed
SFA	0	0	0
SFD	0	3	0
2 to 4	2	0	0
5+	12	0	0
ADU	0	117	0
MH	0	0	0
Total	14	120	0

Housing Applications Summary	
Total Housing Applications Submitted:	194
Number of Proposed Units in All Applications Received:	196
Total Housing Units Approved:	196
Total Housing Units Disapproved:	0

Use of SB 35 Streamlining Provisions	
Number of Applications for Streamlining	0
Number of Streamlining Applications Approved	0
Total Developments Approved with Streamlining	0
Total Units Constructed with Streamlining	0

Units Constructed - SB 35 Streamlining Permits			
Income	Rental	Ownership	Total
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

**DRAFT MINUTES
DOWNEY CITY PLANNING COMMISSION
WEDNESDAY, NOVEMBER 3, 2021
CITY COUNCIL CHAMBERS, 11111 BROOKSHIRE AVENUE
DOWNEY, CALIFORNIA
6:30 P.M.**

Chair Duarte called the November 3, 2021, Regular Meeting of the Planning Commission to order at 6:30 p.m., at Downey City Hall, 11111 Brookshire Avenue, Downey, CA. After the flag salute, Secretary Cavanagh called roll.

COMMISSIONERS PRESENT: Miguel Duarte, District 1, Chair
Arturo Montoya, District 3
Horacio Ortiz, Jr., District 5
Carmela Uva, District 4

COMMISSIONERS ABSENT: Patrick Owens, District 2, Vice Chair

OTHERS PRESENT: Aldo E. Schindler, Deputy City Manager
Yvette Abich Garcia, City Attorney
Crystal Landavazo, City Planner
Irving Anaya, Associate Planner
Alicia Duarte, City Clerk

PLANNING COMMISSIONER ANNOUNCEMENTS; REQUEST FOR FUTURE AGENDA ITEMS; AND CONFERENCE/MEETING REPORTS: Chair Duarte attended the Harvest Festival and Día de los Muertos events and found them to be enjoyable and looks forward to other city events.

PRESENTATIONS:

1. The Planning Commission presented Nolveris Frometa with a Certificate of Appreciation for the time and efforts he put into the Commission, and his care and consideration in representing his District and community.

REPORT ON CITY COUNCIL ACTION: Deputy City Manager Aldo Schindler reported the City Council approved a Specific Plan Amendment for the electronic freeway sign for Giant RV, and the Rancho South Campus Transit Oriented Development Specific Plan and Environmental Impact Report (EIR), both of which were previously presented to the Planning Commission with a recommendation of approval of the City Council.

A comprehensive downtown parking study that was completed approximately 8 years ago with a recommendation to have smaller follow-up annual reviews of the parking in the downtown. Follow up studies were completed two years in a row, however, the 2020 study was not completed due to the pandemic. A private consulting firm, who is a subject matter expert in parking and surveying is continuing the study this week. The data collected will reference our current parking inventory in our public lots and what's happening on the street(s). This year, the City requested that they review the City's parking structure to see how it can be better utilized, the City's parking permit program and parking waivers for businesses. After the data is collected, it will be presented to the Planning Commission and to the City Council at a later date.

Lastly, the City Council requested a presentation on the status of the citywide temporary outdoor dining parklets, specifically to the parklets located in the Downtown. Staff consulted with the Downtown Property Owners Association, "The District at Downey"; the Council's direction was to allow the continuation of the temporary parklets until December 2022, with a follow up in June 2022. Based on the District at Downey recommendation, where there are no parklets, K-rails are to be removed. Parklets that consume more than

the restaurant's tenant frontage are to be reduced to no greater than the width of their storefront; and remove 2 of the 3 parklets located on 2nd street, one of which has been removed and the other will be removed shortly.

PUBLIC HEARINGS:

2. **PLN-21-00124 (Conditional Use Permit)**: Chair Duarte opened the public hearing for PLN-21-00124 and City Clerk Alicia Duarte affirmed proof of publication.

Associate Planner Irving Anaya presented a request for a Conditional Use Permit (CUP), to allow an existing restaurant (Le Coco) to operate under an Alcohol Beverage Control (ABC) Type 41 license (on-site consumption of beer & wine). The restaurant is located at 11901-11903 Lakewood Boulevard, within a commercial center zoned (C-1) Neighborhood Commercial and (P-B) Parking Buffer. The business currently operates as an ice cream bar and café offering both meals and desserts. The proposed request will allow the applicants to serve alcoholic beverages such as Mimosas and wine with the purchase of food to complement the existing establishment's menu. The alcoholic beverages will be served and consumed within the dining areas of the tenant space. The establishment contains two (2) dining areas, providing a total of 9 tables and 35 chairs for customers wishing to dine in the space. Staff has included conditions that restrict alcohol beyond the interior tenant space and require the sale of alcohol to be supplemented with food. The hours of operation for Le Coco are Monday through Sunday 9:00 a.m. to 8:00 p.m.

Disclosures: None.

Applicant, Marlon Ramos explained that the ice cream bar was their original intent; however, they later changed the business plan to an ice cream bar /restaurant when they found that the site included a full kitchen. The restaurant has been a success and he agreed to the conditions of approval.

Correspondence: None

Chair Duarte closed the public hearing.

Public Comment: A local resident spoke in opposition of the CUP due to existing issues with patrons of the commercial center parking in the alley and blocking the residents' access, and also expressed concerns regarding intoxicated patrons from the existing liquor store causing a nuisance and thought the problem would worsen if another establishment in the center offers alcohol.

Applicant's Rebuttal: Marlon Ramos stated he was not aware of any issues with intoxicated patrons and the alleyway being blocked and suggested the problems may occur during the late hours (after 8:00 pm) when the restaurant is closed.

Deputy City Manager Aldo Schindler stated, Staff will forward the concerns presented regarding the blocked alleyway to the Police Department.

It was moved by Commissioner Ortiz, seconded by Commissioner Montoya, and passed by a vote of 4-1 in favor with Vice Chair Owens absent, to adopt Resolution 21-3155, thereby approving the request for a Conditional Use Permit (PLN-21-00124).

NON-AGENDA PUBLIC COMMENTS: None.

CONSENT CALENDAR ITEMS: None.

OTHER BUSINESS: The Commissioners wished everyone a Happy Thanksgiving Holiday.

STAFF MEMBER COMMENTS: None

ADJOURNMENT: Chair Duarte adjourned the meeting at 7:06 p.m., to Wednesday, November 17, 2021, at Downey City Hall, 11111 Brookshire Ave.

APPROVED AND ADOPTED this this 2nd day of March, 2022.

Patrick Owens, Chairman
City Planning Commission

I HEREBY CERTIFY that the foregoing Minutes were duly approved at a Regular meeting of the Planning Commission held on this 2nd day of March, 2022, by the following vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSENT: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:

Mary Cavanagh, Secretary
City Planning Commission