



- I. **CALL TO ORDER: A REGULAR PLANNING COMMISSION MEETING - 6:30 P.M.**
- II. **FLAG SALUTE**
- III. **ROLL CALL:** Commissioners Uva, Duarte, Guerra, and Vice Chair Ortiz
- IV. **PLANNING COMMISSIONER ANNOUNCEMENTS; REQUEST FOR FUTURE AGENDA ITEMS; AND CONFERENCE/MEETING REPORTS:**
- V. **PRESENTATIONS:**
- VI. **REPORT ON CITY COUNCIL ACTIONS:**
- VII. **PUBLIC HEARINGS:**

**RECOMMENDED ACTION**

1. **PLN-20-00052 (Conditional Use Permit)**

Approve

Location: 8630 Florence Avenue

Request: A request to modify an existing building mounted wireless telecommunications facility.

CEQA: Categorical Exemption – Section 15301 (Class 1, Existing Facilities)

Staff: Senior Planner Alfonso Hernandez

Contact: [ashernandez@downeyca.org](mailto:ashernandez@downeyca.org)  
562-904-7154

VIII. **NON-AGENDA/CONSENT CALENDAR/OTHER BUSINESS PUBLIC COMMENTS:** This portion of the agenda provides an opportunity for the public to address the Planning Commission on non-agenda, consent and other business items within the jurisdiction of the Planning Commission and not listed on the agenda. It is requested, but not required, that you state your name, address and subject matter upon which you wish to speak. Please limit your comments for non-agenda items to no more than four (4) minutes. Pursuant to the Brown Act, no discussion or action, other than a brief response, referral to the City Planning staff or schedule for a subsequent agenda, shall be taken by the Planning Commission on any issue brought forth under this section.

IX. **CONSENT CALENDAR ITEMS:** Items in this section will be voted on in one motion unless a Commissioner requests separate actions. Further, any Consent Calendar items removed from the agenda will be considered by the Commission following the public hearing items.

X. **OTHER BUSINESS:** Election of Officers  
1. Chair  
2. Vice Chair



XI. STAFF MEMBER COMMENTS:

XII. ADJOURNMENT: To Wednesday, February 1, 2023 at 6:30 pm, at Downey City Hall, 11111 Brookshire Avenue, Downey, CA. 90241.

**NOTICE: SECTION 9806 – APPEALS**

*Any person aggrieved or affected by any final determinations of the Commission concerning an application for action of an administrative nature, including a variance or a permit, or any condition or requirement thereon, or upon the failure of the Commission to make its findings and determinations within thirty (30) days after the closure of the hearing thereon, no later than fifteen (15) calendar days, (Exception: subdivisions, no later than ten (10) calendar days) after the date of the decision or of the Commission's failure to make a determination, may file with the City Planner a written notice of appeal therefrom to the Council. Such appeal shall set forth specifically wherein it is claimed the Commission's findings were in error, and wherein the decision of the Commission is not supported by the evidence in the matter, and wherein the public necessity, convenience, and welfare require the Commission's decision to be reversed or modified*

Supporting documents are available at: [www.downeyca.org](http://www.downeyca.org); City Hall-City Clerk's Department, 11111 Brookshire Avenue, Monday – Friday, 7:30 a.m. – 5:30 p.m. Video streaming of the meeting is available on the City's website. In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in this meeting, complete the City's Title II ADA Reasonable Accommodation Form located on the City's website and at City Hall - City Clerk's Department, 11111 Brookshire Avenue, Monday – Friday, 7:30 a.m. – 5:30 p.m., and submit to the City Clerk's Department or contact **(562) 904-7280** or TTY 7-1-1, **48 business hours prior to the Planning Commission meeting.**

The City of Downey prohibits discrimination on the basis of disability in any of its program and services. For questions, concerns, complaints, or for additional information regarding the ADA, contact the City's ADA/Section 504 Coordinator at [ADACoordinator@downeyca.org](mailto:ADACoordinator@downeyca.org); Phone: (562) 299-6619; or TTY at 7-1-1.

In compliance with Title VI of the Civil Rights Act, the City of Downey prohibits discrimination of any person in any of its program and services. If written language translation of City agendas or minutes, or for oral language interpretation at a City meeting is needed, contact (562) 299-6619, **48 business hours prior to the meeting.**

En cumplimiento con el Título VI de la Ley de Derechos Civiles, la Ciudad de Downey prohíbe la discriminación de cualquier persona en todos sus programas y servicios. En caso de necesitar una traducción escrita de los órdenes del día o las actas de las reuniones de la ciudad, o para solicitar un intérprete oral para una reunion de la ciudad, comuníquese con el (562) 299-6619 en el horario de atención comercial, **48 horas antes de la reunión.**

I Art Bashmakian, Interim City Planner, City of Downey, do hereby certify, under penalty of perjury under the laws of the State of California that the foregoing notice was posted pursuant to Government Code Section 54950 Et. Seq. and City of Downey Ordinance at the following locations: Downey City Hall, Downey City Library, and Barbara J. Riley Senior Center.

Dated this 12<sup>th</sup> day of January, 2023

Art Bashmakian

Art Bashmakian  
Interim City Planner

**DATE:** JANUARY 18, 2023

**TO:** PLANNING COMMISSION

**SUBMITTED BY:** CRYSTAL LANDAVAZO, INTERIM COMMUNITY DEVELOPMENT DIRECTOR

**REVIEWED BY:** ART BASHMAKIAN, INTERIM CITY PLANNER

**PREPARED BY:** ALFONSO HERNANDEZ, SENIOR PLANNER

**SUBJECT:** **PLN-20-00052 (CONDITIONAL USE PERMIT) – A REQUEST TO MODIFY AN EXISTING BUILDING MOUNTED WIRELESS TELECOMMUNICATION FACILITY**

**LOCATION:** 8630 FLORENCE AVENUE

**ZONING:** C-P (PROFESSIONAL OFFICE)

### **REPORT SUMMARY**

AT&T has requested approval to modify an existing Conditional Use Permit to install and operate a building mounted wireless communication facility consisting of the following:

- Remove nine (9) remote radio units (RRUS) and replace with six (6) upgraded RRUS;
- Relocate Nine (9) four foot (4') building mounted antennas into three separate enclosures;
- Construct one new rooftop enclosure, relocate an additional enclosure, and maintain in place a third enclosure;
- Remove one (1) equipment cabinet and one (1) power plant, and replace with upgraded battery cabinet and power plant.

Based on the analysis contained in this report, staff is recommending the Planning Commission adopt the following titled resolution:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A CONDITIONAL USE PERMIT (PLN-20-00052), THEREBY ALLOWING THE MODIFICATION OF AN EXISTING BUILDING MOUNTED WIRELESS COMMUNICATION FACILITY CONSISTING OF NINE (9) ANTENNAS AND SIX (6) REMOTE RADIO UNITS TO BE LOCATED ON TOP OF AN EXISTING 27' TALL BUILDING, AND THREE (3) EQUIPMENT CABINETS AND ONE (1) POWER PLANT CABINET TO BE GROUND**

**MOUNTED WITHIN AN EXISTING BLOCK WALL ENCLOSURE OF 9'4" X 18'8", 175 SQUARE FEET IN AREA ON PROPERTY LOCATED AT 8630 FLORENCE AVENUE, ZONED C-P (PROFESSIONAL OFFICE).**

**BACKGROUND**

The subject site is a 26,457 square foot parcel located on the south side of Florence Avenue, at the southwest corner of Florence Avenue and Bellman Avenue. The site is improved with an existing 11,201 square foot office building. The Planning Commission has approved the existing building mounted wireless communication facility and modifications to the facility in 2004, 2010, and 2014. The site is zoned C-P (Professional Office) with a General Plan Land Use Designation of Office.

On June 10, 2020, a representative for AT&T, Chase Dariso, submitted a Land Use Permit Application for a Conditional Use Permit, permit number PLN-20-00052. Staff completed a review of the application on July 9, 2020, and deemed the application incomplete. After submitting all required documents On September 29, 2020, the applicant submitted new documents, and the application was deemed incomplete once again on October 28, 2020. After submitting all required documents once again on November 20, 2022, the application was deemed complete on December 2, 2022. As a matter of clarification, it should be noted that the subject property was sold and the applicant took time to seek new property owner approval before resubmitting to move forward with project. On January 5, 2023, notice of the pending public hearing was sent to all property owners within 500-feet of the subject site and the notice was published in the *Downey Patriot*.

The image below is an aerial view of the site depicting the existing wireless facility in a red outline. The photo on the following page shows the existing building mounted enclosures from a street view also depicted in a red outline.



***Aerial view of the site***



***View of building***

## **DISCUSSION**

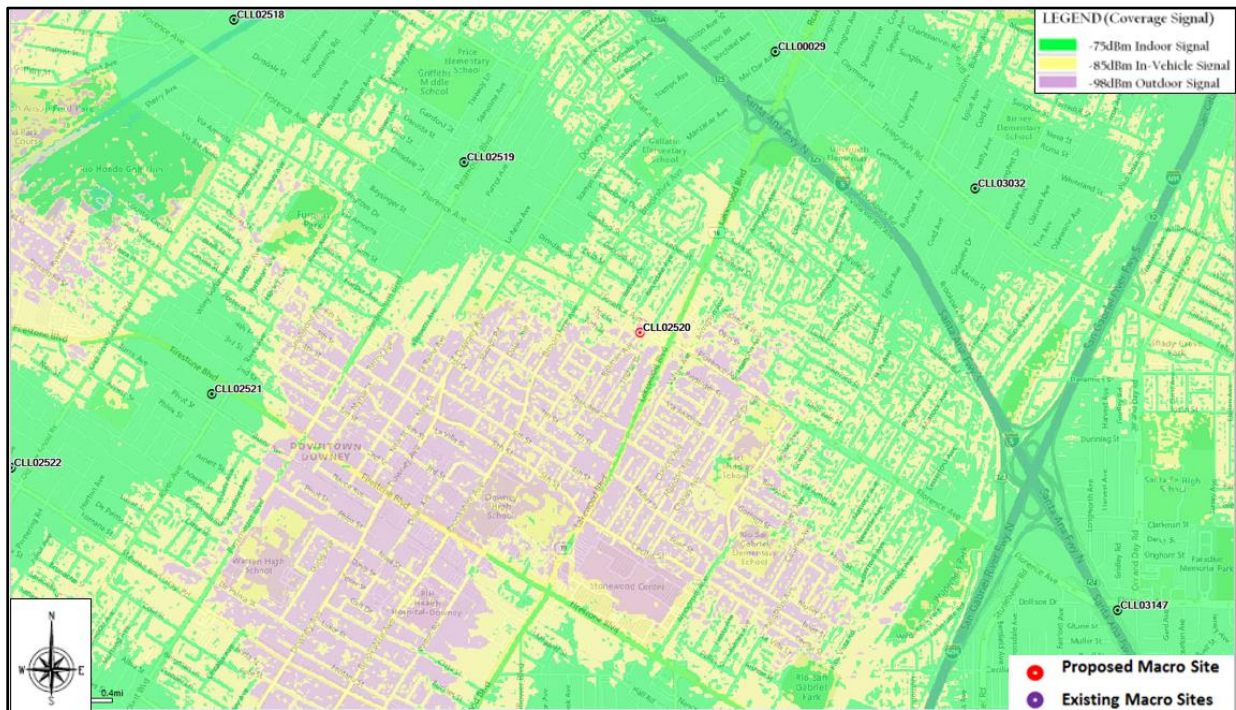
The existing wireless facility is comprised of two enclosures, described as Sector “A” and Sector “B” on the submitted set of plans (Exhibit C.) The applicants are now proposing an additional enclosure, titled Sector “C”. The facility overall currently operates with nine antennas, and the proposed modifications will still result in the same number of antennas. Specifically, the site currently operates with three antennas located within Sector B closest to the south side of the building, and another six antennas located within Sector A closest to the north side of the building. Sector B will be removed and relocated approximately 20’ to the east and closer to the edge of the buildings south elevation. Sector A will remain in place but only house three antennas. The other three antennas previously located within Sector A will now be relocated to the new Sector C. Sector C will be the largest enclosure and built closest to the edge of the east building elevation. Placement was purposefully selected by the applicant in an effort to achieve the best service coverage. Attempts to stepback the enclosures, at the request of Staff, were not possible due to the potential drop in coverage. Information related to the intent of the facility and increase in service coverage can be found in the following section. Below are the additional components of the project:

- Remove nine (9) remote radio units (RRUS) and replace with six (6) upgraded RRUS;
- Relocate Nine (9) four foot (4’) building mounted antennas into three separate enclosures;
- Construct one new rooftop enclosure, relocate an additional enclosure, and maintain in place a third enclosure;

- Remove one (1) equipment cabinet and one (1) power plant, and replace with upgraded battery cabinet and power plant.

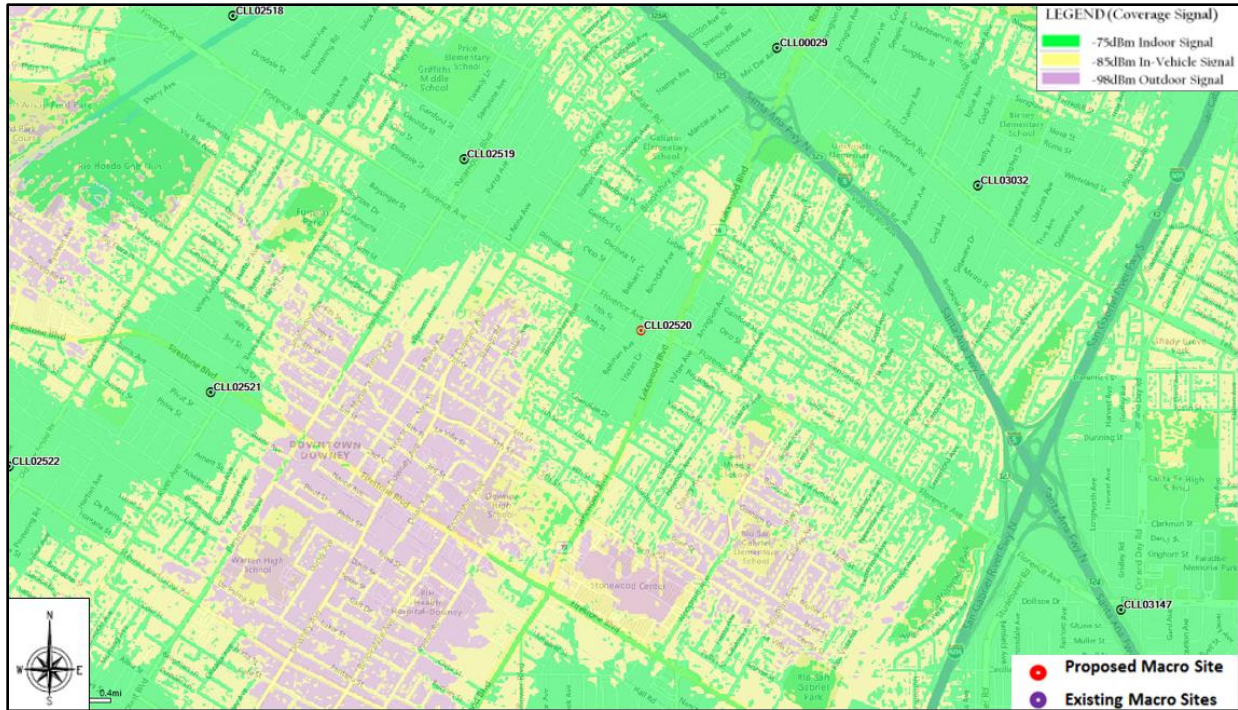
Coverage

Pursuant to the Downey Municipal Code, a Wireless Communication Facility is “an antenna structure and any appurtenant facilities or equipment located within City limits that provide commercial wireless service”. Wireless Communication Facilities owned by individual wireless carriers, e.g. Verizon Wireless, AT&T, Sprint, etc., are necessary to provide cellular service to its customers. As cellular technology advances the demand for bandwidth increases. As such, existing wireless facilities experience dips in service and speed due to a high user amount and demand. Therefore, when there is a lack of bandwidth capacity in an area these carriers will, among various options, potentially choose to modify existing facilities. Due to the advancement in cellular technology, the need for more communications facilities has increased. Specifically, in this instance, ATT&T has identified a need for additional coverage and a lack of capacity in this area, as can be seen by the propagation map on the following page.



*Propagation Map without proposed modifications*

The center of the map shows the location of the proposed wireless communications facility. As can be seen, the service provided by the center cell site is less potent than others located throughout the city prompting a gap in coverage. The construction of the proposed wireless communications facility is necessary to bridge the need for additional coverage. Below is the new coverage area with the proposed modification.



*Propagation Map with proposed modifications*

**Concealment**

The proposed roof mounted equipment is to be concealed from the public’s view as required by the Downey Municipal Code. The concealment consists of three enclosures surround the antennas and RRUS and all other associated materials. The enclosure is six and a half feet (6.5’) tall above the parapet of the 27’ tall existing building. The four foot (4’) tall antennas fit completely within the enclosure and are installed at a height lower than the enclosure. The enclosure materials are minimal, however it complements the design of the building and achieves the intent of absolute concealment. The materials are stucco to be painted with a green band surrounding the top. Lastly, the ground mounted equipment will be entirely screened within the existing block wall enclosure.

**DEVELOPMENT REVIEW COMMITTEE**

On July 2, 2020, the City’s Development Review Committee reviewed the requested application. No division or department articulated any concerns regarding the project. Standard comments were provided, and can be reviewed in the attached resolution.

**ENVIRONMENTAL ANALYSIS**

Staff has reviewed the proposed wireless communication facility for compliance with the California Environmental Quality Act (CEQA). Upon completion of this review, it has been determined that this request is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1 – Existing Facilities). Categorical Exemptions are projects, which have been determined not to have a significant effect on the environment and have been exempted from the requirements of the California Environmental Quality Act. Class 1, consists of minor alteration of existing structures involving negligible expansion of existing or former use. Staff

believes that the proposed wireless facilities meets all of the requirements needed to qualify for a Class 1 exemption.

## **FINDINGS**

Pursuant to Municipal Code Section 9824.06, there are four (4) findings that must be adopted prior to the Planning Commission approving the Conditional Use Permit. A discussion of the findings follows:

**A. The requested Conditional Use Permit will not adversely affect the purpose and intent of the Zoning Code or the City's General Plan or the public convenience or general welfare of persons residing or working in the neighborhood thereof.**

A purpose of the Zoning Code is to regulate the use of land in order to promote the public's health, safety, and the general welfare. The Conditional Use Permit allows wireless communication facilities subject to specific standards listed in Subsection 9426.04(b) of the Downey Municipal Code. As the project conforms to the development standards applicable to wireless communication facilities, it is determined that the Conditional Use Permit will therefore not adversely affect the purpose and intent of the Zoning Code.

General Plan Policy 2.7.1 states: "Provide adequate utility and communications infrastructure". Furthermore, General Plan Program 2.7.1.2 states: "Promote the expansion of communication networks to meet the needs of city residents, business and other land uses". This project will expand and improve the communication network and fulfill the aforementioned program. Therefore, the Conditional Use Permit will not adversely affect the City's General Plan.

The Zoning Code and the General Plan function to promote the public convenience and general welfare of persons residing or working throughout the City. As the Conditional Use Permit is consistent with the Zoning Code and the General Plan, it is therefore determined that it will not adversely affect the public convenience or the general welfare of persons residing or working in the surrounding neighborhood.

**B. The requested use will not adversely affect the adjoining land uses and the growth and development of the area in which it is proposed to be located.**

The uses and structures on the site as well as those on nearby sites will remain the same, and uninterrupted by the proposed wireless facility. Staff does not anticipate adverse impacts as a result of the proposal specifically because the wireless site will be roof mounted and ground equipment will be located within an existing enclosure. In addition, building mounted wireless facilities are common within commercial corridors and designed to be compatible with other structures on site. The wireless facility will not negatively affect the current or future use of the building.



- C. The size and shape of the site proposed for the use is adequate to allow the full development of the proposed use in a manner not detrimental to the particular area.**

The site is approximately 26,457 square feet and improved with an existing 11,201 square foot building. Installation of the antennas and various related equipment will occur on top of the existing building with equipment cabinets placed on the ground within an existing enclosure. The proposed equipment and enclosure will conform to all required and/or legally nonconforming setbacks and all other applicable development standards. Therefore, the size and shape of the site is adequate to allow the proposed use without being detrimental to the area.

- D. The traffic generated by the proposed use will not impose an undue burden upon the streets and highways in the area.**

The proposed wireless communication facility will generate limited visits to the site for maintenance purposes only. The facility operates automatically without the presence of a working crew. The limited visits will not impose an undue burden upon the streets and highways in the area as the capacity of the surrounding streets and highways can accommodate the trips generated by the maintenance of the facility.

### **CORRESPONDENCE**

As of the date that this report was printed, staff has not received any correspondence regarding this application.

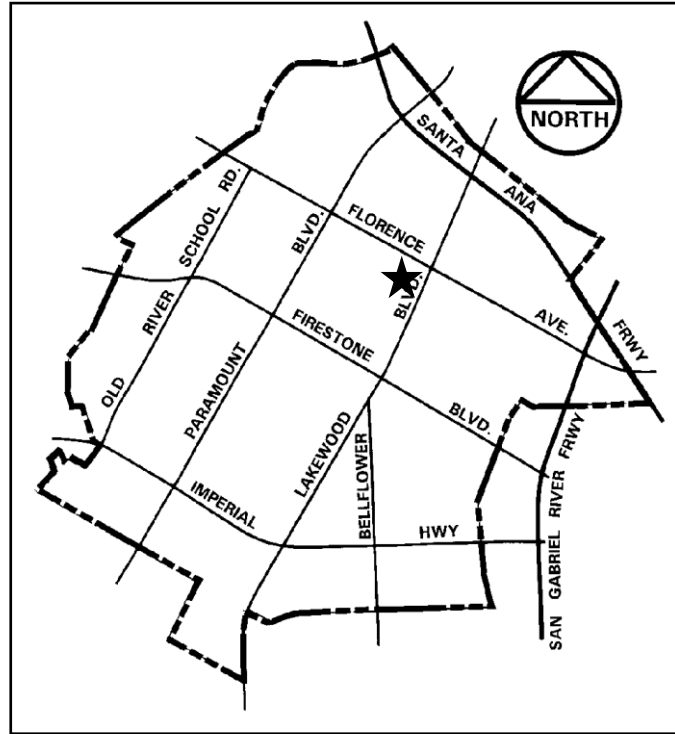
### **CONCLUSION**

Based on the analysis contained within this report, staff is recommending that the Planning Commission adopt a resolution to approve PLN-20-00052 (Conditional Use Permit), thereby allowing the modifications to the installation and operation of an existing Wireless Telecommunications Facility, subject to the conditions of approval listed in the draft resolution.

### **EXHIBITS**

- A. Maps
- B. Draft Resolution
- C. Project Plans
- D. Propagation Maps
- E. Photo Simulations

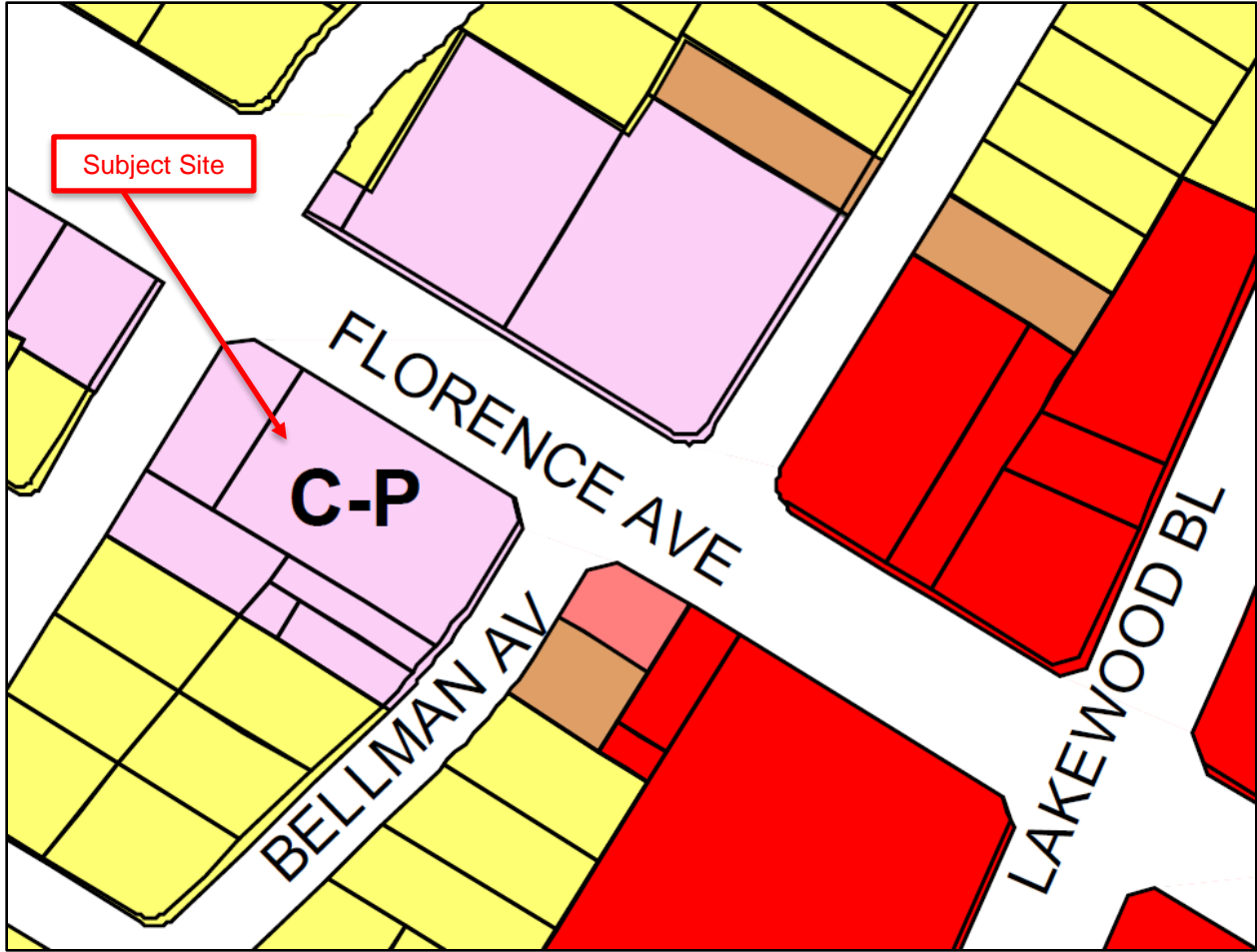
MAPS



Location



Aerial View



Zoning

**RESOLUTION NO.**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A CONDITIONAL USE PERMIT (PLN-20-00052), THEREBY ALLOWING THE MODIFICATION OF AN EXISTING BUILDING MOUNTED WIRELESS COMMUNICATION FACILITY CONSISTING OF NINE (9) ANTENNAS AND SIX (6) REMOTE RADIO UNITS TO BE LOCATED ON TOP OF AN EXISTING 27' TALL BUILDING, AND THREE (3) EQUIPMENT CABINETS AND ONE (1) POWER PLANT CABINET TO BE GROUND MOUNTED WITHIN AN EXISTING BLOCK WALL ENCLOSURE OF 9'4" X 18'8", 175 SQUARE FEET IN AREA ON PROPERTY LOCATED AT 8630 FLORENCE AVENUE, ZONED C-P (PROFESSIONAL OFFICE).**

THE PLANNING COMMISSION OF THE CITY OF DOWNEY DOES RESOLVE AS FOLLOWS:

**SECTION 1.** The Planning Commission of the City of Downey does hereby find, determine and declare that:

- A. On June 10, 2020, the applicant submitted a request for a Conditional Use Permit to allow the modification of an existing wireless communication facility; and,
- B. On July 9, 2020, after a careful review of the submitted information, staff deemed the application incomplete; and,
- C. On September 29, 2020, the applicant resubmitted required documents for review; and,
- D. On October 28, 2020, after careful review of the resubmitted documents, staff deemed the application incomplete; and
- E. On November 20, 2022, the applicant resubmitted required submittal documents for review; and,
- F. On December 2, 2022, staff deemed the application complete; and,
- G. On January 5, 2023, notice of the pending application published in the *Downey Patriot* and mailed to all property owners within 500-feet of the subject site; and,
- H. The Planning Commission held a duly noticed public hearing on January 18, 2023, and after fully considering all oral and written testimony and facts and opinions offered at the aforesaid public hearing adopted this resolution.

**SECTION 2.** The Planning Commission further finds, determines and declares the request is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1 – Existing Facilities).

**SECTION 3.** Having considered all of the oral and written evidence presented to it at said public hearings regarding the Conditional Use Permit, the Planning Commission further finds, determines and declares that:

1. *The requested Conditional Use Permit will not adversely affect the purpose and intent of the Zoning Code or the City's General Plan or the public convenience or general welfare of persons residing or working in the neighborhood thereof.*

A purpose of the Zoning Code is to regulate the use of land in order to promote the public's health, safety, and the general welfare. The Conditional Use Permit allows wireless communication facilities subject to specific standards listed in Subsection 9426.04(b) of the Downey Municipal Code. As the project conforms to the development standards applicable to wireless communication facilities, it is determined that the Conditional Use Permit will therefore not adversely affect the purpose and intent of the Zoning Code.

General Plan Policy 2.7.1 states: "Provide adequate utility and communications infrastructure". Furthermore, General Plan Program 2.7.1.2 states: "Promote the expansion of communication networks to meet the needs of city residents, business and other land uses". This project will expand and improve the communication network and fulfill the aforementioned program. Therefore, the Conditional Use Permit will not adversely affect the City's General Plan.

The Zoning Code and the General Plan function to promote the public convenience and general welfare of persons residing or working throughout the City. As the Conditional Use Permit is consistent with the Zoning Code and the General Plan, it is therefore determined that it will not adversely affect the public convenience or the general welfare of persons residing or working in the surrounding neighborhood.

2. *The requested use will not adversely affect the adjoining land uses and the growth and development of the area in which it is proposed to be located.*

The uses and structures on the site as well as those on nearby sites will remain the same, and uninterrupted by the proposed wireless facility. Staff does not anticipate adverse impacts as a result of the proposal specifically because the wireless site will be roof mounted and ground equipment will be located within an existing enclosure. In addition, building mounted wireless facilities are common within commercial corridors and designed to be compatible with other structures on site. The wireless facility will not negatively affect the current or future use of the building.

3. *The size and shape of the site proposed for the use is adequate to allow the full development of the proposed use in a manner not detrimental to the particular area.*

The site is approximately 26,457 square feet and improved with an existing 11,201 square foot building. Installation of the antennas and various related equipment will occur on top of the existing building with equipment cabinets placed on the ground within an existing enclosure. The proposed equipment and enclosure will conform to all required and/or legally nonconforming setbacks and all other applicable development standards. Therefore, the size and shape of the site is adequate to allow the proposed use without being detrimental to the area.

4. *The traffic generated by the proposed use will not impose an undue burden upon the streets and highways in the area.*

The proposed wireless communication facility will generate limited visits to the site for maintenance purposes only. The facility operates automatically without the presence of a working crew. The limited visits will not impose an undue burden upon the streets and highways in the area as the capacity of the surrounding streets and highways can accommodate the trips generated by the maintenance of the facility.

**SECTION 4.** Based upon the findings set forth in Sections 1 through 3 of this resolution, the Planning Commission of the City of Downey hereby approves the Conditional Use Permit (PLN-20-00052) subject to conditions of approval attached hereto as Exhibit A, which are necessary to preserve the health, safety and general welfare of the community and enable the Planning Commission to make the findings set forth in the previous sections. The conditions are fair and reasonable for the accomplishment of these purposes.

**SECTION 5.** The Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 18<sup>th</sup> day of January, 2023.

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Patrick Owens, Chairman  
City Planning Commission

I HEREBY CERTIFY that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Downey at a regular meeting thereof, held on the 18<sup>th</sup> day of January, 2023, by the following vote, to wit:

AYES:            COMMISSIONERS:  
NOES:            COMMISSIONERS:  
ABSENT:        COMMISSIONERS:  
ABSTAIN:       COMMISSIONERS:

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Linda Thai,  
Deputy City Clerk

**CONDITIONAL USE PERMIT (PLN-20-00052)  
EXHIBIT A - CONDITIONS**

**PLANNING**

- 1) The approval of this Conditional Use Permit (PLN-19-00076) allows for the modification of an existing Wireless Telecommunication Facility to include the following:
  - Remove nine (9) remote radio units (RRUS) and replace with six (6) upgraded RRUS;
  - Relocate Nine (9) four foot (4') building mounted antennas into three separate enclosures;
  - Construct one new rooftop enclosure, relocate an additional enclosure, and maintain in place a third enclosure;
  - Remove one (1) equipment cabinet and one (1) power plant, and replace with upgraded battery cabinet and power plant.
- 2) This resolution shall render all previous approvals and resolutions void and no longer permissible.
- 3) Approval of the Conditional Use Permit (PLN-20-00052) shall not be construed to mean any waiver of applicable and appropriate zoning regulations, or any Federal, State, County, and City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Downey Municipal Code shall apply.
- 4) The Owner/Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the approval of this resolution, to challenge the determination made by City under the California Environmental Quality Act or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition.
- 5) The City Planner is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
- 6) The project shall be constructed and maintain in strict compliance with the approved set of plans.
- 7) The 8-foot tall block wall enclosure shall be unaltered and remain as is, unless changes to upgrade or maintain are approved by the City Planner.
- 8) The proposed screen as shown on the approved plans shall be maintained to ensure complete screening of the antennas and all other associated material is not visible from the public view.

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- 9) The walls of the equipment enclosure and roof mounted screens shall be finished with graffiti resistant materials. Prior to the issuance of building permits, the applicant shall demonstrate to the satisfaction of the City Planner, that the finished materials will comply with this requirement.
- 10) Any graffiti applied to the site shall be removed within 48 hours.
- 11) All utilities servicing the facility shall be installed underground.
- 12) The back-up generator shall not be used to power the site, except in case of emergency or power outage, and for monthly test of the system. Testing shall only occur Monday-Friday, between the hours of 8:00 a.m. and 5:00 p.m.
- 13) Testing and or maintenance of the overall facility shall adhere to the construction hours as allowed by the Downey Municipal Code.

**BUILDING**

- 14) All construction shall comply with the most recent version of the California Building Code, as adopted by the City of Downey.
- 15) Prior to the commencement of construction, the applicant shall obtain all required permits. Additionally, the applicant shall obtain all necessary inspections and permit final prior to occupancy of the units.

**FIRE**

- 14) The following comments pertain to a limited fire review of a design review plan submittal. The comments contained herein shall not be construed as complete or encompassing all fire-life safety code requirements set forth in local, State, and/or National local codes.
- 15) The establishment shall comply with all current code requirements for the occupancy use and type.
- 16) Both ground level and roof top equipment enclosures shall be properly identified with operator information, emergency phone numbers, location address, etc. Required hazardous identification and warning signage shall be provided. Should the 16 VRLA batteries contain corrosive electrolyte equal to or in excess of 55-gallons, the business shall be required to establish, implement, and submit a Hazardous Materials Business Plan (HMBP) to Statewide Environmental Reporting System (CERS) [HSC 25507; 25508].
- 17) Roof access shall be maintained. Any antenna, or other obstruction on the roof of any commercial establishment, shall not obstruct or render egress or access hazardous in the event of fire other emergency [CA Fire Code §504.4]. New antenna locations with FRP screens shall not obstruct fire department roof access.

**[End of Conditions]**



# SITE NUMBER: CLU2520/CLL02520

# SITE NAME: DOWNEY DIALYSIS CENTER

FA NUMBER: 10103652

PACE NUMBER: MRLOS069138/MRLOS068607/

MRLOS068597

PTN NUMBER: 3551A0T9A1

PROJECT: 4TXRX (1900)

SITE TYPE: ROOFTOP (OUTDOOR)

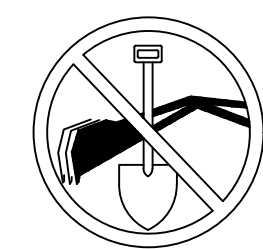
SITE ADDRESS: 8630 FLORENCE BOULEVARD,  
DOWNEY, CA 90240



3300 IRVINE AVENUE, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 861-2201  
FAX: (949) 468-0931



4430 E. MIRALOMA AVE. SUITE D  
ANAHEIM, CALIFORNIA 92807



**UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA**  
800-227-2600

48 HOURS BEFORE YOU DIG

### SITE INFORMATION

PROPERTY OWNER: IRWIN H. SHERRY & DALIA D. SHERRY TRUST  
8630 FLORENCE AVENUE,  
DOWNEY, CA 90240

CONTACT PERSON: DALIA D. SHERRY TRUST  
EMAIL: DSHERRY118@YAHOO.COM

APPLICANT ADDRESS: AT&T MOBILITY  
1452 EDINGER AVE.  
TUSTIN, CA 92780

LATITUDE (NAD 83): 33° 56' 52.0" N (33.9477778)

LONGITUDE (NAD 83): 118° 07' 08.0" W (-118.118889)

GROUND ELEVATION: TBD

OCCUPANCY: -

CONSTRUCTION TYPE: -

APN #: 6252-001-024

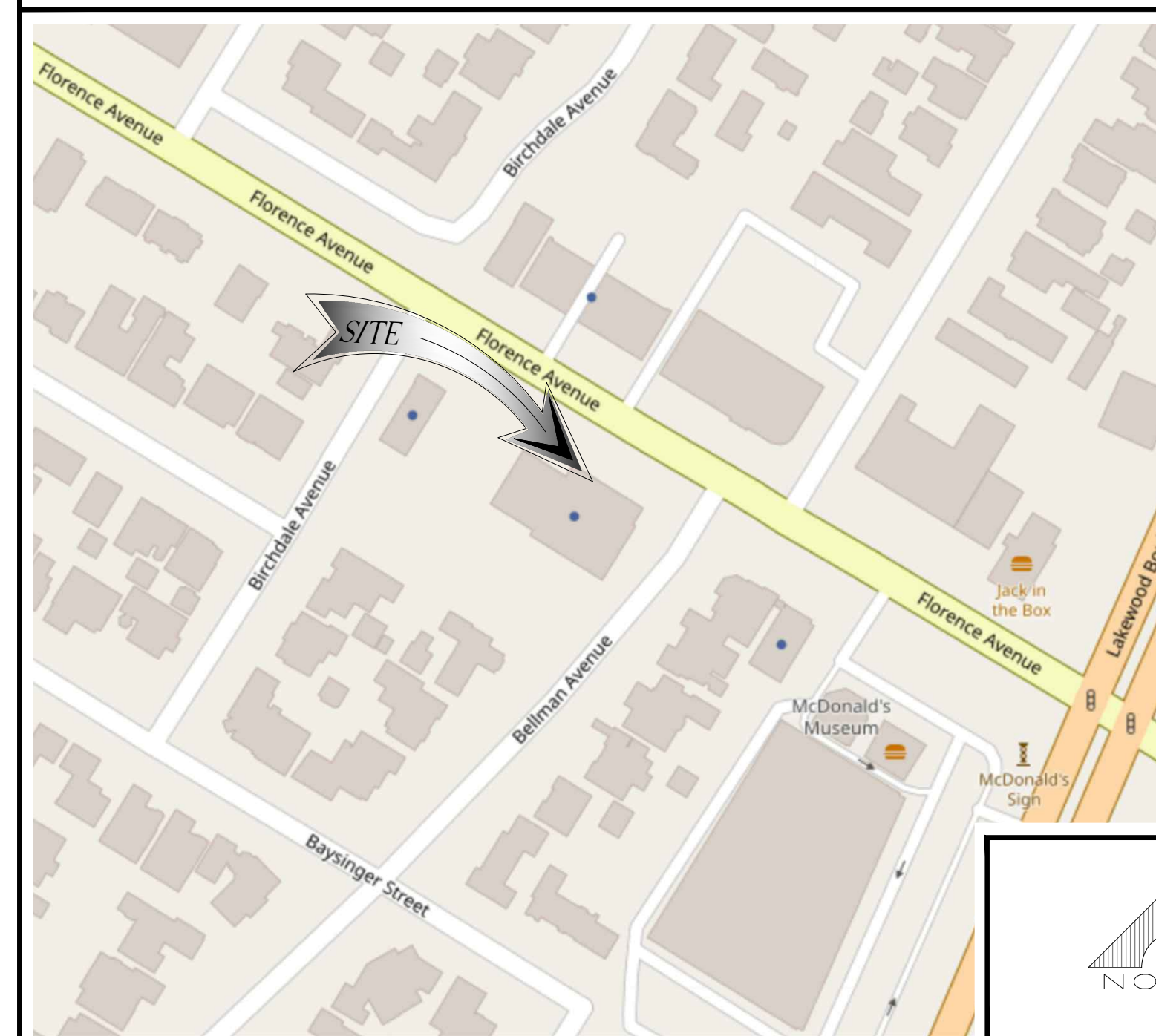
ZONING JURISDICTION: CITY OF DOWNEY

CURRENT ZONING: CP-GENERAL OFFICE

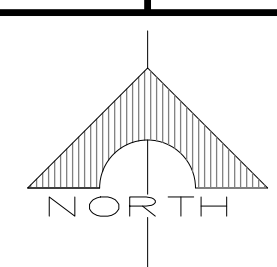
PROPOSED USE: UNMANNED TELECOM FACILITY

### LOCATION MAPS

#### VICINITY MAP



#### LOCAL MAP



### CONSTRUCTION DRAWINGS

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

### PROJECT DESCRIPTION

AT&T MOBILITY PROPOSES TO MODIFY AN EXISTING APPROVED WIRELESS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE 6 (E) LTE 3C RRUS-12 B2 (2 PER SECTOR).
- REMOVE 3 (E) LTE 1C RRUS-11 B12 (1 PER SECTOR).
- REMOVE 1 (E) GSM BTS CABINET.
- REMOVE 1 (E) DC POWER PLANT.
- REMOVE 1 (E) FRP SCREEN WALL ENCLOSURE AT SECTOR 'B'.
- INSTALL 3 (N) LTE 5G/4T4R BC RRUS-4449 B5/B12 (1 PER SECTOR).
- INSTALL 3 (N) LTE 4T4R PCS RRUS-4415 B25 (1 PER SECTOR).
- INSTALL 1 (N) DC-6 (SIB) SURGE SUPPRESSOR AT SECTOR 'A'.
- INSTALL 1 (N) NEQ.19918 DC POWER PLANT.
- INSTALL 1 (N) NEQ.15918 BATTERY CABINET WITH 4 (N) 185AH BATTERY STRINGS (16 TOTAL OF BATTERIES).
- INSTALL 10 (N) NEQ.15930 RECTIFIERS MODULES ON (N) DC POWER PLANT.
- INSTALL 2 (N) FRP SCREEN WALL FOR SECTORS 'A' AND 'B'. PAINTED TO MATCH (E) BUILDING.
- INSTALL (N) CABLE TRAY FOR SECTORS 'A' AND 'B'.
- RELOCATE (E) PANEL ANTENNAS AND RRUS FOR SECTORS 'A' AND 'B'.

### DRAWING INDEX

SHEET NO:	TITLE SHEET
T-1	TITLE SHEET
GN-1	GENERAL NOTES
GN-2	BATTERY SPECIFICATIONS
A-1	SITE PLAN
A-2	ROOF PLAN
A-3	ANTENNA PLAN
A-4	EQUIPMENT PLAN AND ANTENNA/RRU SCHEDULE
A-5	ELEVATIONS
A-6	ELEVATIONS
A-7	EQUIPMENT SPECIFICATIONS & DETAILS
S-1	STRUCTURAL NOTES
S-2	FRP SCREEN AND FRAMING PLAN
S-3	SECTION AND DETAILS
E-1	ELECTRICAL/GROUNDING PLAN AND NOTES
E-2	GROUNDING DETAILS

### PROJECT TEAM

PROJECT MANAGER: SMARTLINK, LLC  
CONTACT: SYDNEY SYKES  
PHONE: (443) 789-0010

ENGINEER: CASA INDUSTRIES, INC.  
CONTACT: LUIS H. CARDONA  
PHONE: (562) 652-5330  
EMAIL: LCardona@casaind.com

APPLICANT:  
AT&T  
1452 EDINGER AVE.  
TUSTIN, CA 92780

### DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:

TURN LEFT ONTO EDINGER AVE. TURN LEFT ONTO NEWPORT AVE. TURN RIGHT TO MERGE ONTO CA-65 N/STATE RTE 55 N. MERGE ONTO CA-65 N/STATE RTE 55 N. USE THE RIGHT 2 LANES TO TAKE EXIT 10B TO MERGE ONTO I-5 N TOWARD SANTA ANA. TAKE THE EXIT TOWARD NORWALK BLVD. KEEP RIGHT AT THE FORK AND MERGE ONTO NORWALK BLVD. MERGE ONTO NORWALK BLVD. TURN LEFT ONTO E FLORENCE AVE. DESTINATION WILL BE ON THE LEFT.

### DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

### CODE COMPLIANCE

- |   |   |
|---|---|
| 1. 2019 CALIFORNIA BUILDING CODE                    | 6. 2019 CALIFORNIA ENERGY CODE                            |
| 2. 2019 CALIFORNIA ELECTRICAL CODE ADOPTED 2014 NEC | 7. COUNTY COASTAL ZONE LAND USE ORDINANCE-TITLE 23        |
| 3. 2019 CALIFORNIA FIRE CODE                        | 8. COUNTY FIRE CODE ORDINANCE - TITLE 16                  |
| 4. 2019 CALIFORNIA MECHANICAL CODE                  | 9. COUNTY LAND USE ORDINANCE - TITLE 22                   |
| 5. 2019 CALIFORNIA PLUMBING CODE                    | 10. COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19 |

ALL WORKS AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

CLU2520  
DOWNEY DIALYSIS CENTER  
8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

SHEET TITLE  
TITLE SHEET

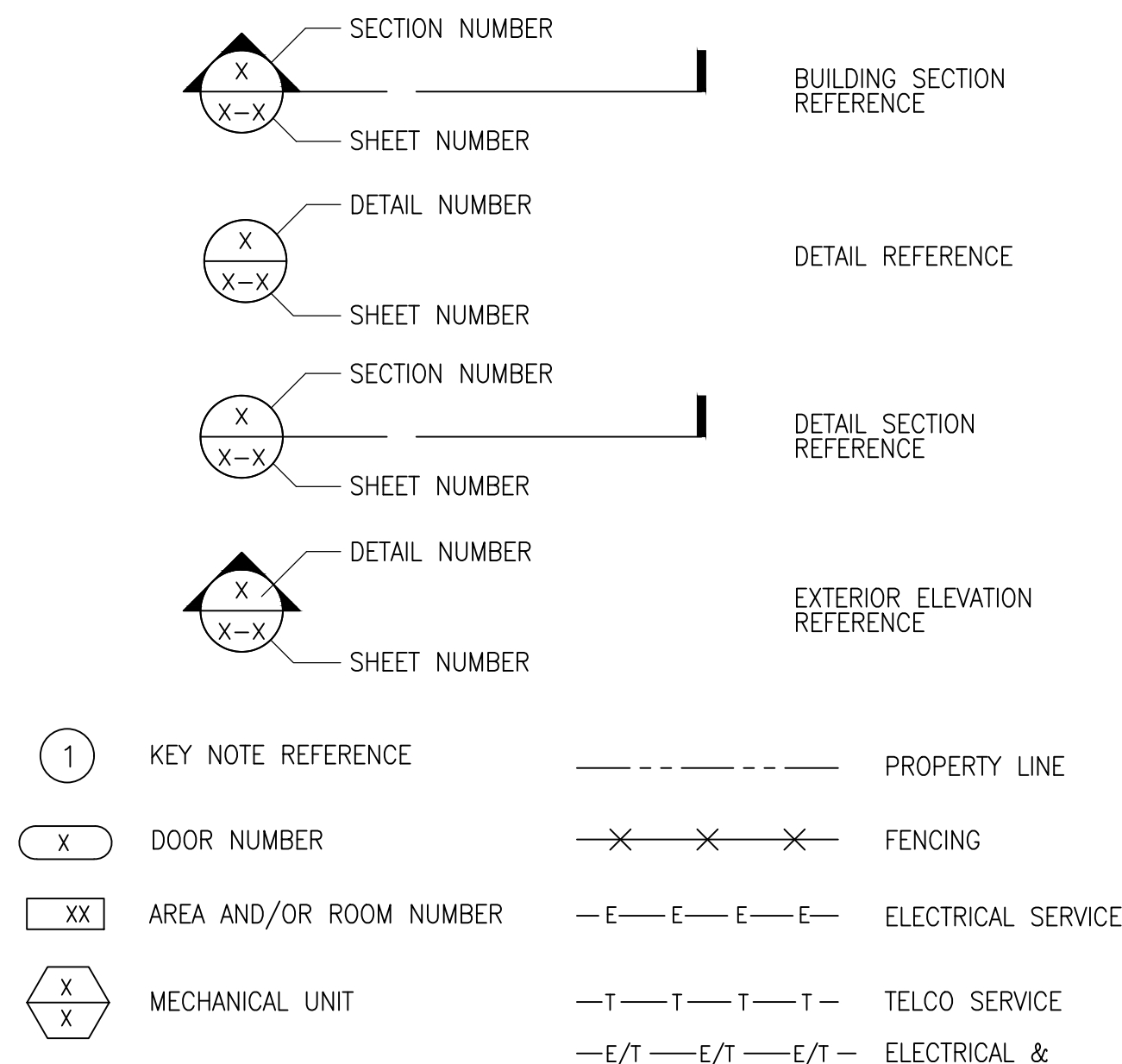
SHEET NUMBER

**T-1**

ABBREVIATIONS

Table of abbreviations and symbols including AB (Anchor Bolt), AC (Asphaltic Concrete), ADJ (Adjustable), A.F.F. (Above Finish Floor), etc.

SYMBOLS:



GENERAL:

- 1. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS, AND NOTES PRIOR TO STARTING CONSTRUCTION.

SITE PREPARATION NOTES:

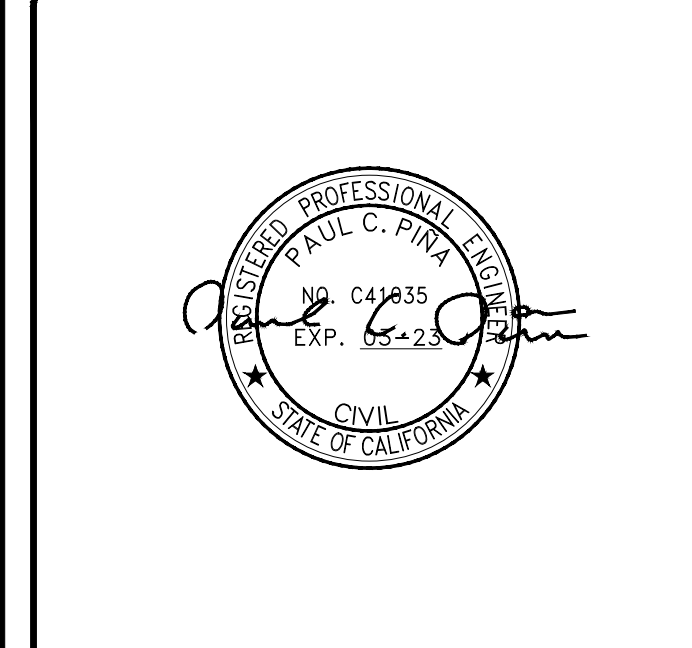
- 1. THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL BROKEN CONCRETE, TREE TRUNKS AND ANY OTHER DEBRIS THAT WOULD BE DAMAGING TO THE FOOTINGS OF THE NEW STRUCTURE.
2. BACK FILLING AT TRENCHES SHALL BE OF CLEAN, STERILE SOIL HAVING A SAND EQUIVALENT OF 30 OR GREATER.

STRUCTURAL STEEL:

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISED EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION, WHICH INCLUDES THE SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, THE CODE OF STANDARD PRACTICE AND THE AWS STRUCTURAL WELDING CODE.
2. STRUCTURAL STEEL SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER PRIOR TO FABRICATION.



Revision table with columns: REV, DATE, DESCRIPTION. Includes entries for 2, 1, 0, A, and REV.



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CLU2520
DOWNEY DIALYSIS CENTER
8630 FLORENCE BLVD
DOWNEY, CA 90240
ROOFTOP (OUTDOOR)

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1

**FIRE DEPARTMENT NOTES**

**GENERAL**

- 1.0 ADDRESS NUMBERS:
- A. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY.
- 2.0 FIRE EXTINGUISHERS, IF REQUIRED:
- A. PROVIDE A FIRE EXTINGUISHER (MINIMUM 2A-10BC) WITHIN A RECESSED OR SEMI-RECESSED CABINET WITHIN 75 FEET TRAVEL DISTANCE FROM ALL POINTS IN THE OCCUPANCY; THE EXTINGUISHER SHALL BE MOUNTED ON A HOOK WITHIN THE CABINET (ELEVATED OFF CABINET FLOOR); THE TOP OF THE EXTINGUISHER SHALL BE NO HIGHER THAN 48 INCHES (1219 mm) ABOVE THE FLOOR; EXTINGUISHER SHALL BE PLACED IN A EASILY ACCESSIBLE LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE.
- 3.0 DOOR OPERATIONS:
- A. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR EFFORT. THE UNLATCHING OF ANY EXIT DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- 4.0 ADDITIONAL PERMIT:
- A. PRIOR TO THE FINAL INSPECTION, OBTAIN A HAZARDOUS MATERIALS PERMIT FROM THE FIRE DEPARTMENT. CONTACT THE ENVIRONMENTAL MANAGEMENT CENTER OF THE CITY.
- 5.0 REQUIRED INSPECTIONS:
- A. THE FIRE DEPARTMENT INSPECTION FOR THIS PROJECT INCLUDE THE FOLLOWING:
- HAZARDOUS MATERIALS FINAL INSPECTION.
  - FIRE PREVENTION BUREAU FINAL INSPECTION – CONTRACTOR MUST REQUEST A SEPERATE INSPECTION. INSPECTION INCLUDES, BUT IS NOT LIMITED TO: FIRE EXTINGUISHERS; SIGNAGE; DOOR HARDWARE AND MEANS OF EGRESS; EMERGENCY/EXIT LIGHTING; ETC.

NOTE: TO SCHEDULE INSPECTIONS: CALL OFFICE OF STATE FIRE MARSHALL OF THE CITY AT LEAST 48 HOURS IN ADVANCE.

**FIRE DEPARTMENT**

**2**

**NOTES**

**GENERAL**

- PER CFC SECTION 2704.2.2 "THE GREGGATE QUANTITIES OF HAZARDOUS MATERIALS STORED OR USED IN A SINGLE FABRICATION AREA SHALL BE LIMITED AS SPECIFIED IN THIS SECTION" AND REFERRING TO CFC 2013 SECTION 608.1 STATIONARY STORAGE BATTERY SYSTEMS HAVING AN ELECTROLYTE CAPACITY OF MORE THAN 50 GALLONS (189 L) FOR FLOODED LEAD-ACID, NICKEL CADMIUM (NI-CD) AND VALVE REGULATED LEAD-ACID (VRLA), OR MORE THAN 1,000 POUNDS (454 KG) FOR LITHIUM-ION AND LITHIUM METAL POLYMER, USED FOR FACILITY STAND BY POWER, EMERGENCY POWER OR UNINTERRUPTIBLE POWER SUPPLIES SHALL COMPLY WITH THIS SECTION AND TABLE 608.1
- PER CFC SECTION 602.1 AND PER CBC 2013 SECTION 307.2 THE DEFINITIONS:

**VALVE-REGULATED LEAD ACID (VRLA) BATTERY (CBC 2013-CFC 2013-SECTION 202 GENERAL DEFINITIONS):**  
A LEAD-ACID BATTERY CONSISTING OF SEALED CELLS FURNISHED WITH A VALVE THAT OPENS TO VENT THE BATTERY WHENEVER THE INTERNAL PRESSURE OF THE BATTERY EXCEEDS THE AMBIENT PRESSURE BY A SET AMOUNT. IN VRLA BATTERIES, THE LIQUID ELECTROLYTES IN THE CELLS IS IMMOBILIZED IN A ADSORPTIVE GLASS MAT (AGM CELLS OR BATTERIES) OR BY THE ADDITION OF A GELLING AGENT (GEL CELL OR GELLED BATTERIES).

**CORROSIVE (CBC 2013-CFC 2013-SECTION 202 GENERAL DEFINITIONS):**  
A CHEMICAL THAT CAUSES VISIBLE DESTRUCTION OF, OR IRREVERSIBLE ALTERATIONS IN, LIVING TISSUE BY CHEMICAL ACTION AT THE POINT OF CONTACT. A CHEMICAL SHALL BE CONSIDERED CORROSIVE IF, WHEN TESTED ON THE INTACT SKIN OF ALBINO RABBITS BY THE METHOD DESCRIBED IN DOT 49 CFR, PART 17.137, SUCH A CHEMICAL DESTROYS OR CHANGES IRREVERSIBLY THE STRUCTURE OF THE TISSUE AT THE POINT OF CONTACT FOLLOWING AN EXPOSURE PERIOD OF 4 HOURS. THIS TERM DOES NOT REFER TO ACTION ON INANIMATE SURFACES.

**HAZARDOUS MATERIALS (CBC 2013-CFC 2013-SECTION 202 GENERAL DEFINITIONS):**  
THOSE CHEMICALS OR SUBSTANCES THAT ARE PHYSICAL HAZARDS OR HEALTH HAZARDS AS DEFINED AND CLASSIFIED IN THIS SECTION AND THE CALIFORNIA FIRE CODE, WHETHER THE MATERIALS ARE IN USABLE OR WASTE CONDITION.

**HEATH HAZARD (CBC 2013-CFC 2013-SECTION 202 GENERAL DEFINITIONS):**  
A CLASSIFICATION OF A CHEMICAL FOR WHICH THERE IS STATISTICALLY SIGNIFICANT EVIDENCE THAT ACUTE OR CHRONIC HEALTH EFFECTS ARE CAPABLE OF OCCURRING IN EXPOSED PERSONS. THE TERM "HEALTH HAZARD" INCLUDES CHEMICALS THAT ARE TOXIC OR HIGHLY TOXIC, AND CORROSIVE.

**PHYSICAL HAZARD (CBC 2013-CFC 2013-SECTION 202 GENERAL DEFINITIONS):**  
A CHEMICAL FOR WHICH THERE IS EVIDENCE THAT IS A COMBUSTIBLE LIQUID, CRYOGENIC FLUID, EXPLOSIVE, FLAMMABLE (SOLID, LIQUID, OR GAS), ORGANIC PEROXIDE (SOLID OR LIQUID), OXIDIZER (SOLID OR LIQUID), OXIDIZING GAS, PYROPHORIC (SOLID, LIQUID, OR GAS), UNSTABLE (REACTIVE) MATERIAL (SOLID, LIQUID, OR GAS), OR WATER REACTIVE MATERIAL (SOLID OR LIQUID).

BATTERY TYPE	AMP HOUR RATING/STRING	DIMENSIONS (WxDxH)	WEIGHT	TOTAL # OF BATTERIES
GS "PYL12V185FT"	185AH	4.9"x21.9"x12.5"	133.8 lbs	16
				16

NEW BATTERY CABINET

**PYL12V185FT 12V 185Ah-8Hr** Rev. 10-22-2012

units: mm

- Float Charge Voltage: 13.65V +/- 0.15V
- Temperature Compensation: The recommended compensation factor is -3mV/°C/cell. The standard center point for temperature compensation is 25°C.
- Internal Resistance: Approximately 3.5 mΩ measured with 1kHz AC bridge
- Terminal Torque: 90 in.lbs. (13mm, top); 43.5 in.lbs. (10mm, front)

**GS Battery (U.S.A.), Inc.**  
1150 Northmeadow Parkway, Suite 110  
Roswell, GA 30076  
800-472-2879  
www.gsbattery.com

ISO 9001  
International Certification  
(1) ISO 9001, TS16949  
(2) UL approval, Code M912970

**GS PYL12V185FT 12V 185Ah-8Hr**

Proven in the real world, the PYL Series of telecom batteries provides security and long life in extreme climates where other VRLA batteries just don't survive. The PYL technology utilizes proprietary lead alloys and active material additives. The PYL Series is the most cost effective battery solution over the total life cycle and for initial installation in your network.

- Primary lead for Long Life
- UL94 V-0 flame retardant case
- High temperature, long life design
- AGM and spill-proof construction
- Harnesses/connecting bars available
- No maintenance required
- 10+ years design life
- GR-4228 compliant
- UL recognized
- ABS plastic case for durability

**SPECIFICATIONS**

\* Maximum Charge Current is 25% of the 8 Hr. Rate

Nominal Voltage (V)	Rated Capacity Rate In Ah 8 Hr	Ambient Temperature		Outer Dimensions						Weight		Terminal		
		Charge / Discharge	Storage	L	W	H	TH	kg	lbs.					
12	185 Ah	-15 to 50°C (5 to 122°F)	-15 to 45°C (5 to 113°F)	556	219	125	4.9	317	12.5	317	12.5	60.7	133.8	Front-M8 Bolt

**Amperes to Final voltage: 1.75V per cell @ 25°C (77°F)**

DISCHARGE TIME (Hr)										
2	3	4	5	6	7	8	9	10	12	20
71.2	52.0	41.3	34.4	30.0	26.0	23.1	21.0	19.3	17.7	10.2

**Watts to Final voltage: 1.75V per cell @ 25°C (77°F)**

DISCHARGE TIME (Hr)										
2	3	4	5	6	7	8	9	10	12	20
829	609	487	407	351	315	275	250	232	215	123

**BATTERY NOTES**

**3**

**BATTERY SPECIFICATIONS**

**1**

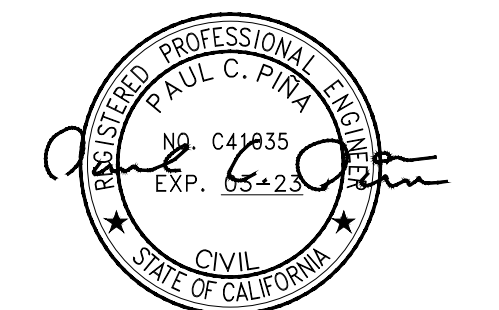


3300 IRVINE AVENUE, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 861-2201  
FAX: (949) 468-0931



4430 E. MIRALOMA AVE. SUITE D  
ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
2	11/03/2022	REVISED Cds PER PHOTOSIMULATION
1	02-05-21	REVISED Cds
-	05-28-20	REVISED Cds
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS

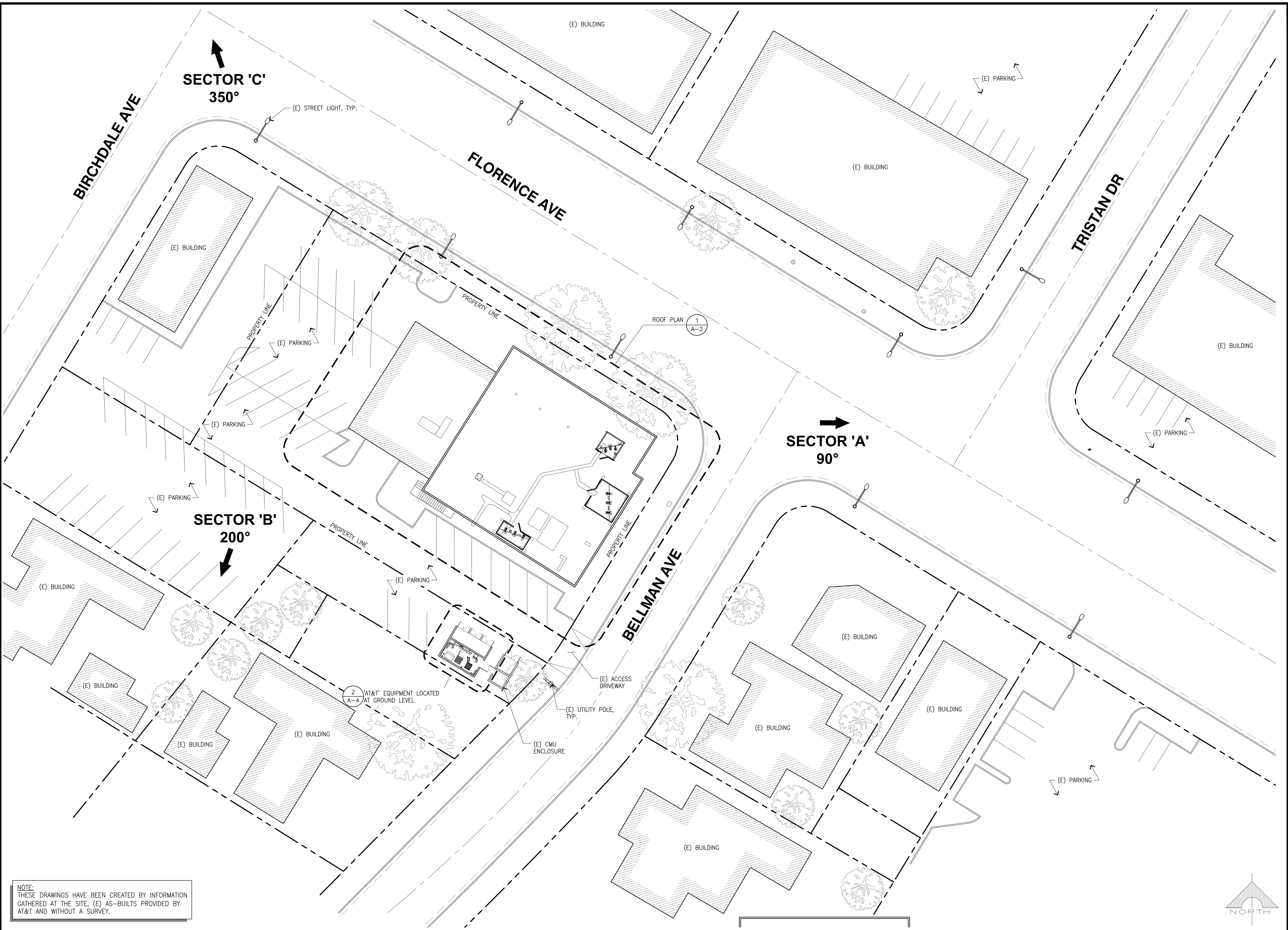


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CLU2520  
DOWNEY DIALYSIS CENTER  
8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

SHEET TITLE  
**BATTERY SPECIFICATIONS**

SHEET NUMBER  
**GN-2**



NOTE:  
 THESE DRAWINGS HAVE BEEN CREATED BY INFORMATION  
 GATHERED AT THE SITE, (E) AS-BUILTS PROVIDED BY  
 AT&T AND WITHOUT A SURVEY.

**AT&T**  
 1452 EDINGER AVE.  
 TUSTIN, CALIFORNIA 92780

**smartlink**  
 3300 IRVINE AVENUE, SUITE 300  
 NEWPORT BEACH, CA 92660  
 TEL: (949) 861-2201  
 FAX: (949) 468-0931

**CASA INDUSTRIES**  
 4430 E. MIRALOMA AVE. SUITE D  
 ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDs PER PHOTOSIMULATION
1	02-05-21	REVISED CDs
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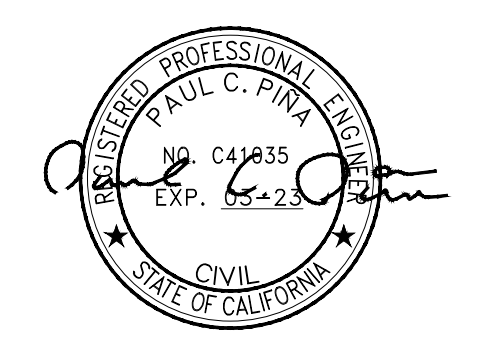
CLU2520  
 DOWNEY DIALYSIS CENTER  
 8630 FLORENCE BLVD  
 DOWNEY, CA 90240  
 ROOFTOP (OUTDOOR)

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**A-1**



REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDS PER PHOTOSIMULATION
1	02-05-21	REVISED CDS
-	05-28-20	REVISED CDS
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS

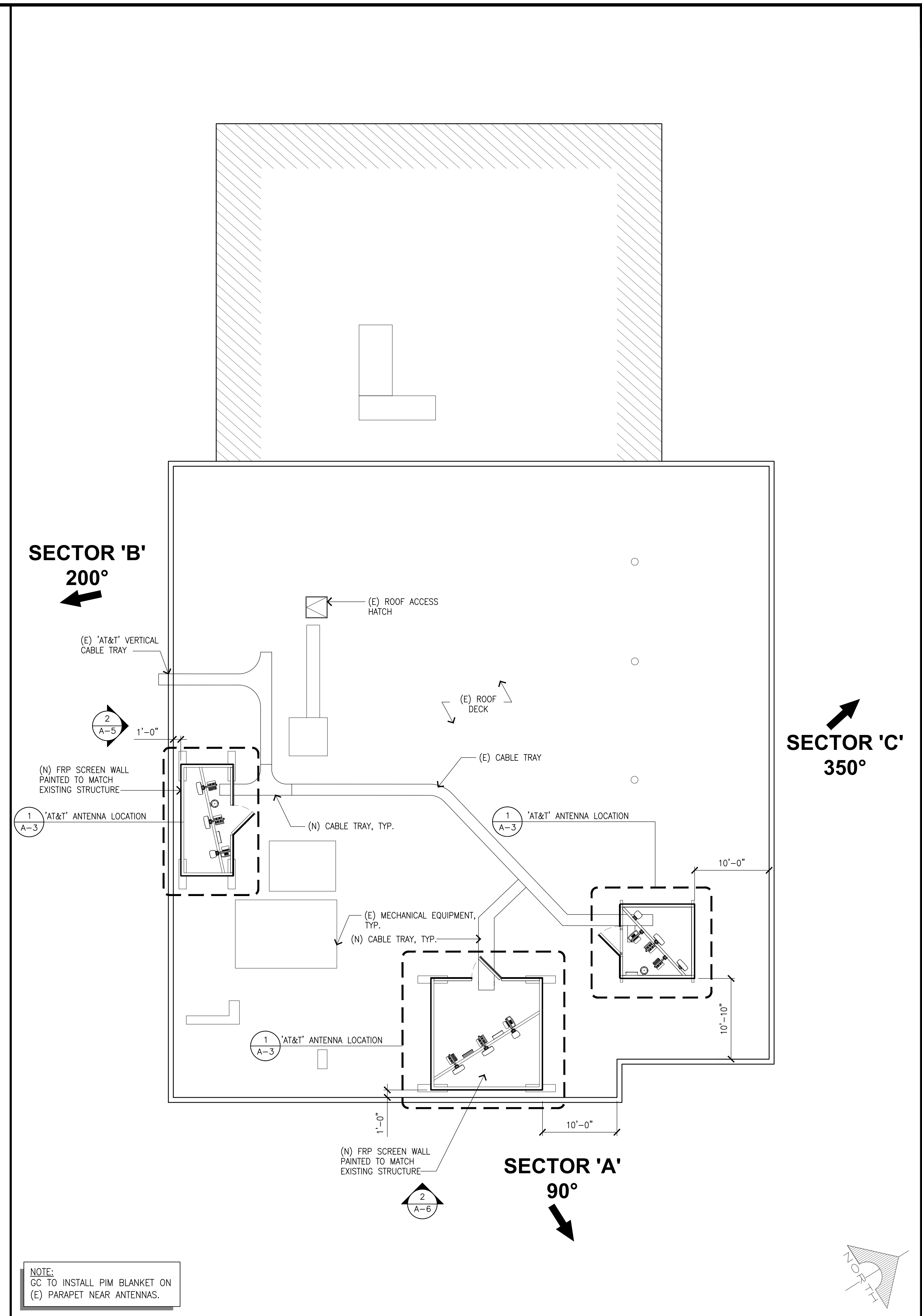
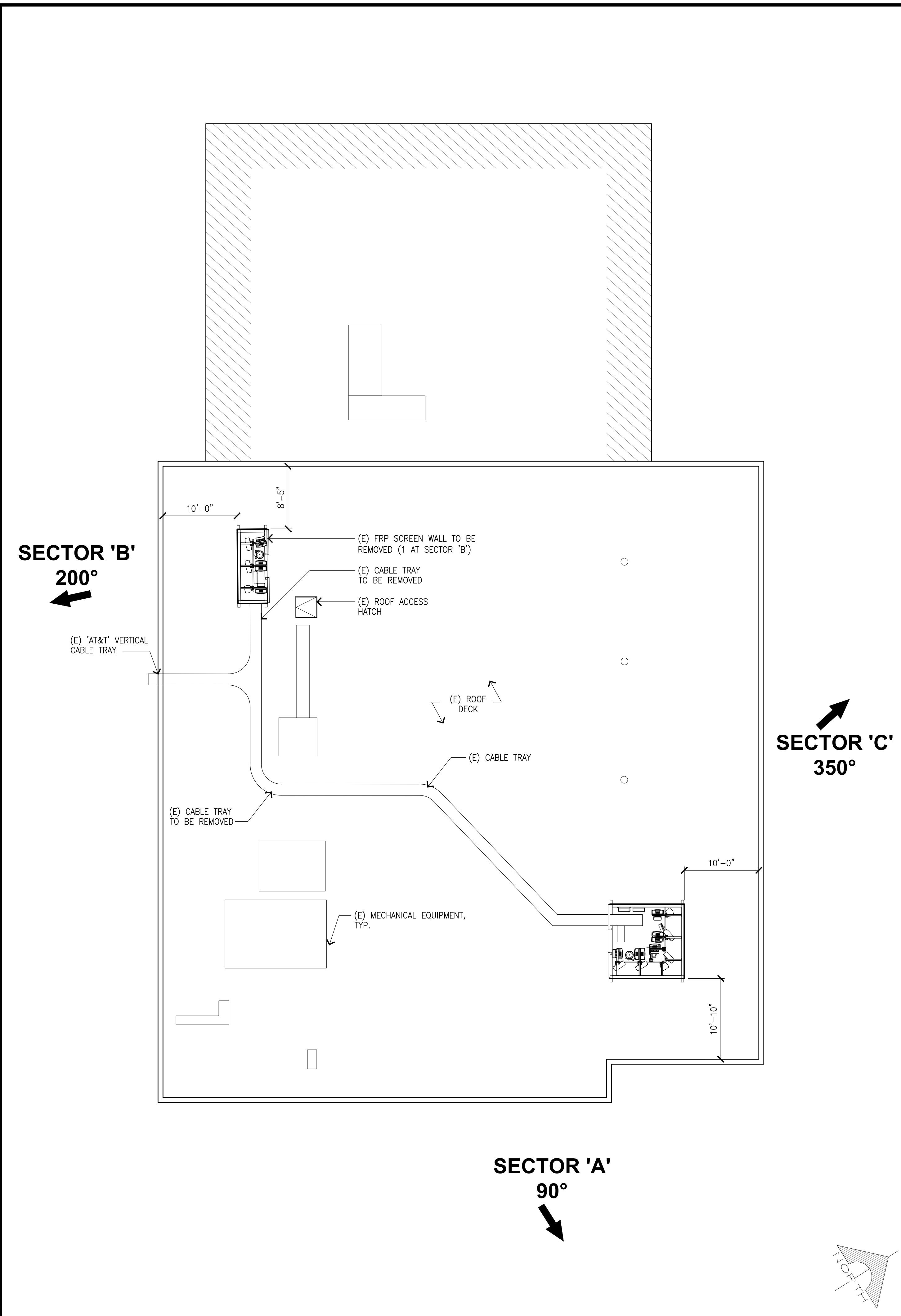


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8630 FLORENCE BLVD  
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ROOFTOP (OUTDOOR)

SHEET TITLE  
**ROOF PLAN**

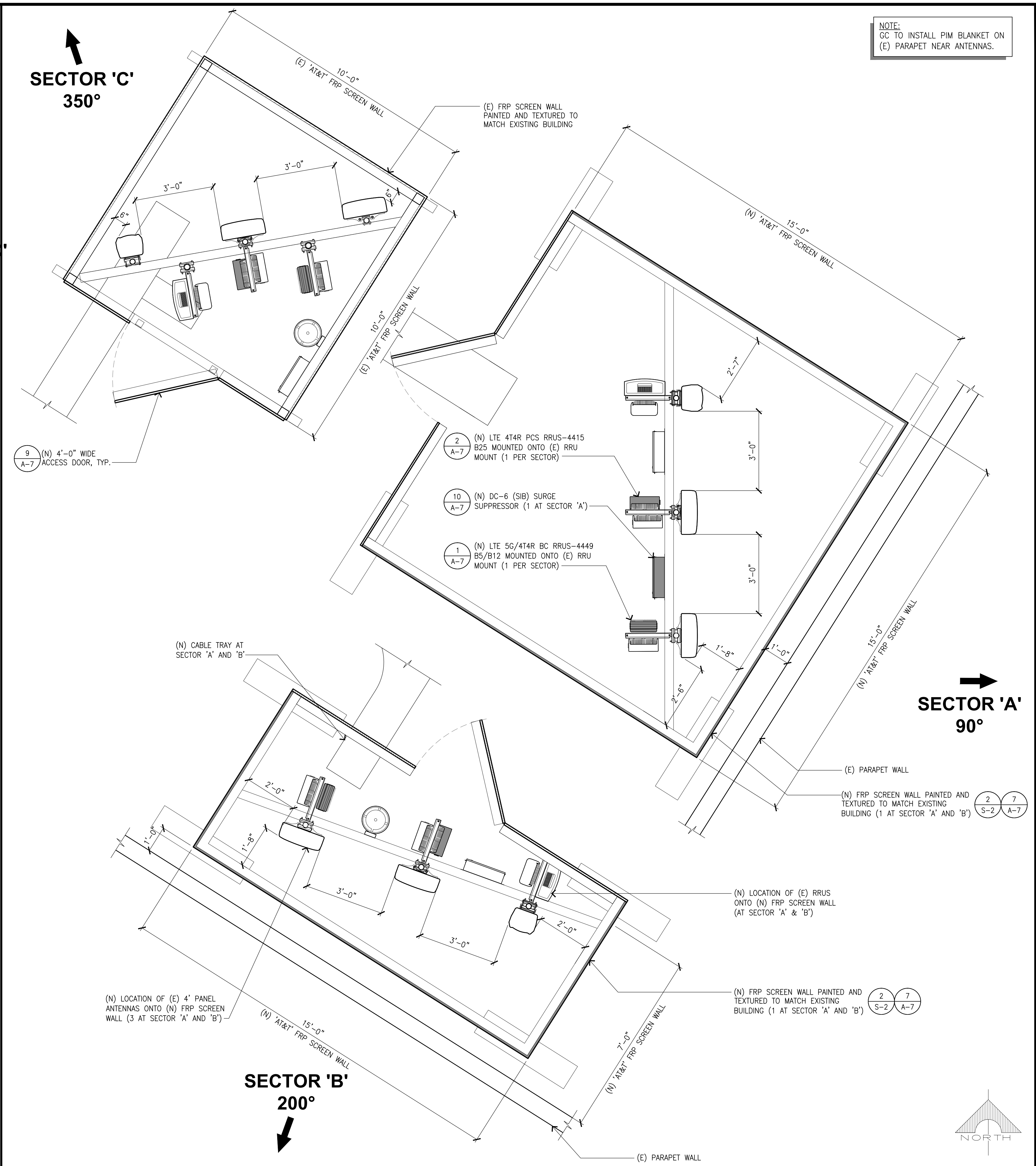
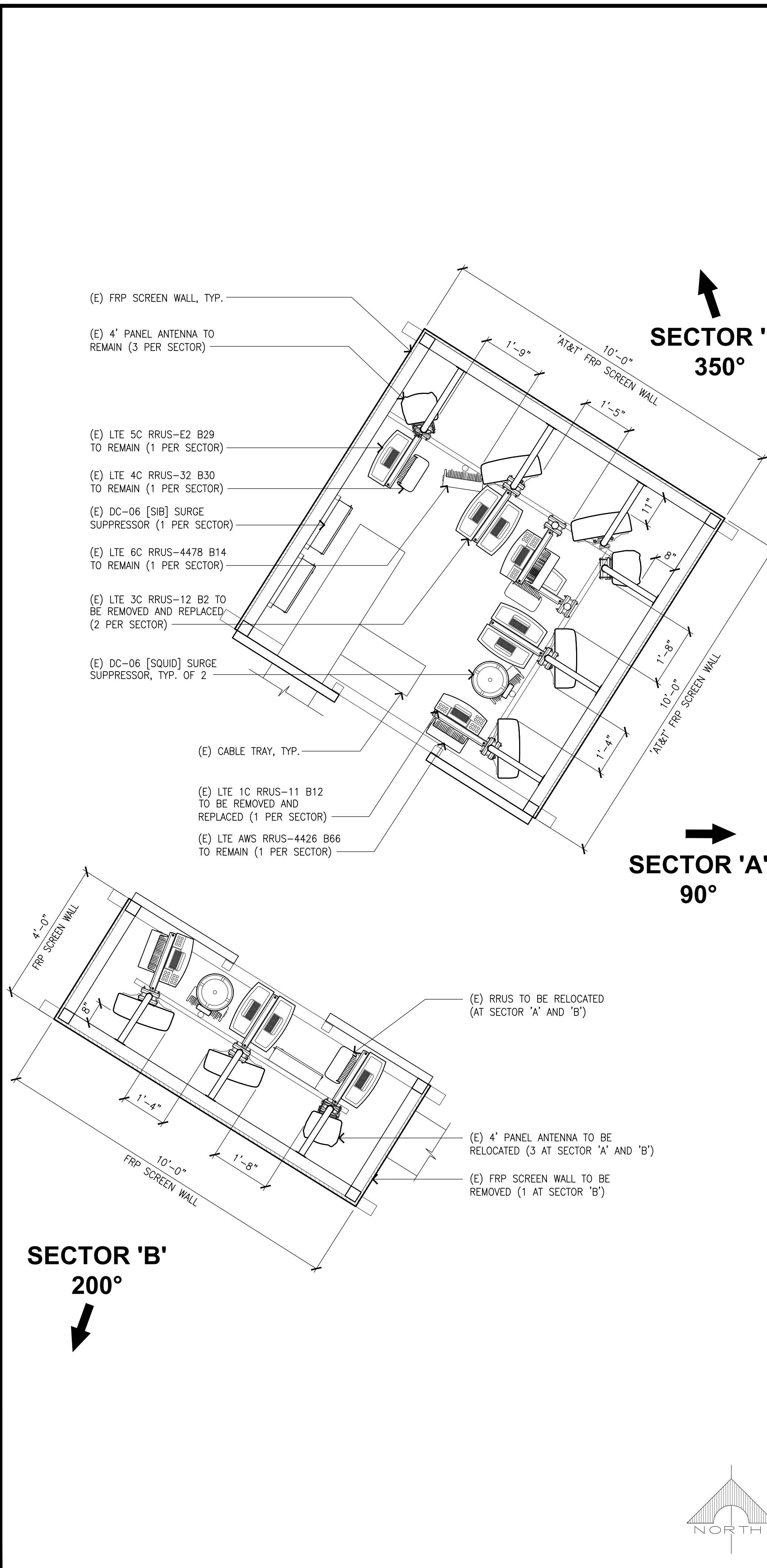
SHEET NUMBER  
**A-2**



NOTE:  
GC TO INSTALL PIM BLANKET ON  
(E) PARAPET NEAR ANTENNAS.

**(E) ROOF PLAN** SCALE: 1/8"=1'-0" 1

**(N) ROOF PLAN** SCALE: 1/8"=1'-0" 1



NOTE:  
GC TO INSTALL PIM BLANKET ON  
(E) PARAPET NEAR ANTENNAS.

**AT&T**  
1452 EDINGER AVE.  
TUSTIN, CALIFORNIA 92780

**smartlink**  
3300 IRVINE AVENUE, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 861-2201  
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ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
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PAUL C. PINA  
No. C414835  
EXP. 05-23  
CIVIL  
STATE OF CALIFORNIA

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8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

SHEET TITLE  
**ANTENNA PLAN**

SHEET NUMBER  
**A-3**

**(E) ANTENNA PLAN**

**(N) ANTENNA PLAN**

EXISTING PANEL ANTENNA SCHEDULE						
SECTOR	MANUFACTURER	MODEL NO.	SIZE	AZIMUTH	RAD CENTER	
A	A1	KATHREIN	800-10964K	4'	90°	31'-0"
	A2	KATHREIN	800-10964K	4'	90°	31'-0"
	A3	QUINTEL	QS4658-3E	4'	90°	31'-0"
B	B1	KATHREIN	800-10964K	4'	200°	31'-0"
	B2	KATHREIN	800-10964K	4'	200°	31'-0"
	B3	QUINTEL	QS4658-3E	4'	200°	31'-0"
C	C1	KATHREIN	800-10964K	4'	350°	31'-0"
	C2	KATHREIN	800-10964K	4'	350°	31'-0"
	C3	QUINTEL	QS4658-3E	4'	350°	31'-0"

PANEL ANTENNA COUNT = 9

FINAL PANEL ANTENNA SCHEDULE (NO CHANGES)						
SECTOR	MANUFACTURER	MODEL NO.	SIZE	AZIMUTH	RAD CENTER	
A	A1	KATHREIN	800-10964K	4'	90°	31'-6"
	A2	KATHREIN	800-10964K	4'	90°	31'-6"
	A3	QUINTEL	QS4658-3E	4'	90°	31'-6"
B	B1	KATHREIN	800-10964K	4'	200°	31'-6"
	B2	KATHREIN	800-10964K	4'	200°	31'-6"
	B3	QUINTEL	QS4658-3E	4'	200°	31'-6"
C	C1	KATHREIN	800-10964K	4'	350°	31'-6"
	C2	KATHREIN	800-10964K	4'	350°	31'-6"
	C3	QUINTEL	QS4658-3E	4'	350°	31'-6"

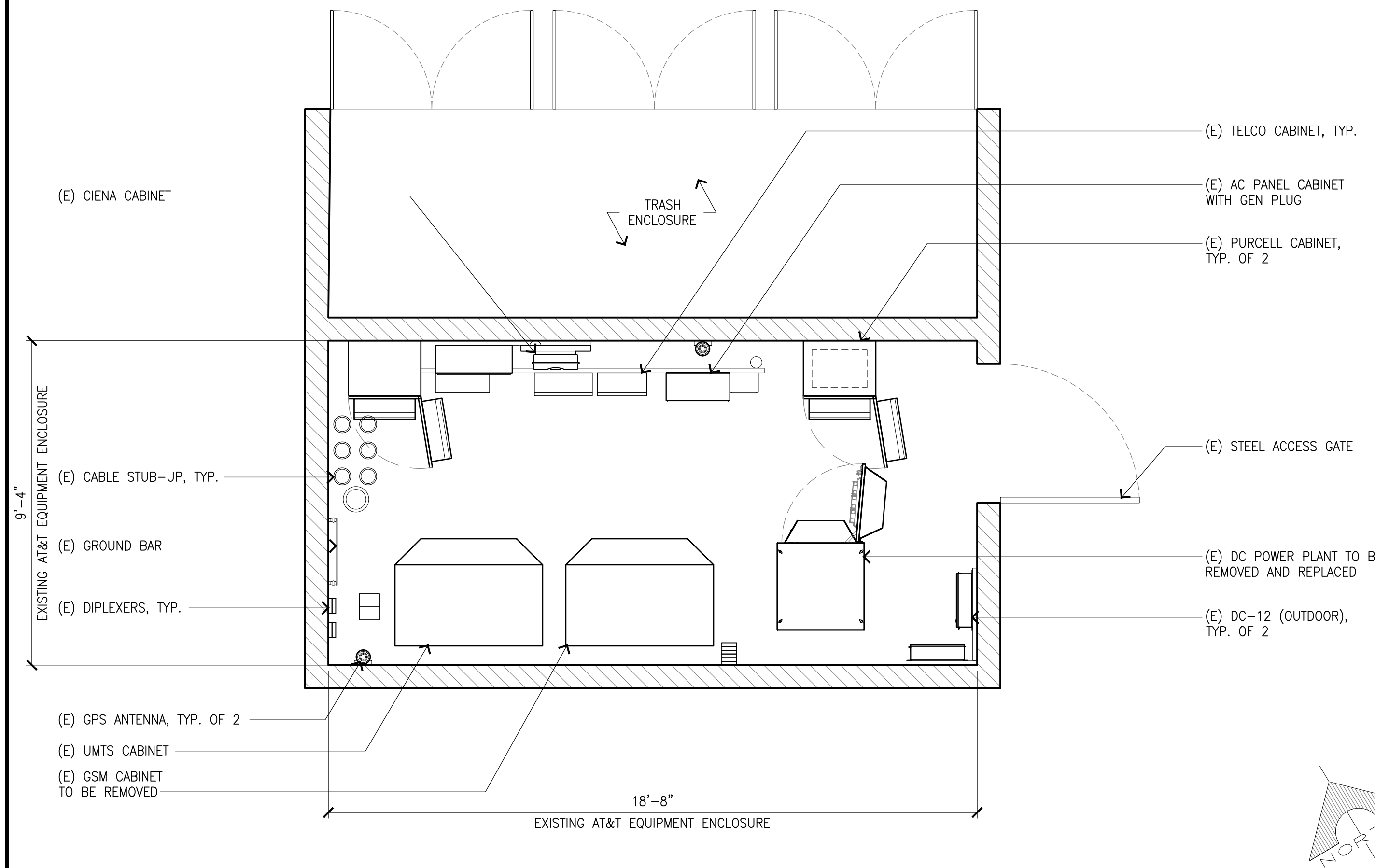
PANEL ANTENNA COUNT = 9

EXISTING REMOTE RADIO UNIT SCHEDULE																			
SECTOR	700 (BC)			2100 (AWS)			1900 (PCS)			2350 (WCS)			700 (D/E)			850 (6C)			
	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	
A	A1	1	RRUS-11 B12	UP	1	RRUS-4426 B66	UP												
	A2								2	RRUS-12 B2	UP						1	RRUS-4478 B14	UP
	A3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		
B	B1	1	RRUS-11 B12	UP	1	RRUS-4426 B66	UP												
	B2								2	RRUS-12 B2	UP						1	RRUS-4478 B14	UP
	B3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		
C	C1	1	RRUS-11 B12	UP	1	RRUS-4426 B66	UP												
	C2								2	RRUS-12 B2	UP						1	RRUS-4478 B14	UP
	C3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		

REMOTE RADIO UNIT COUNT = 21

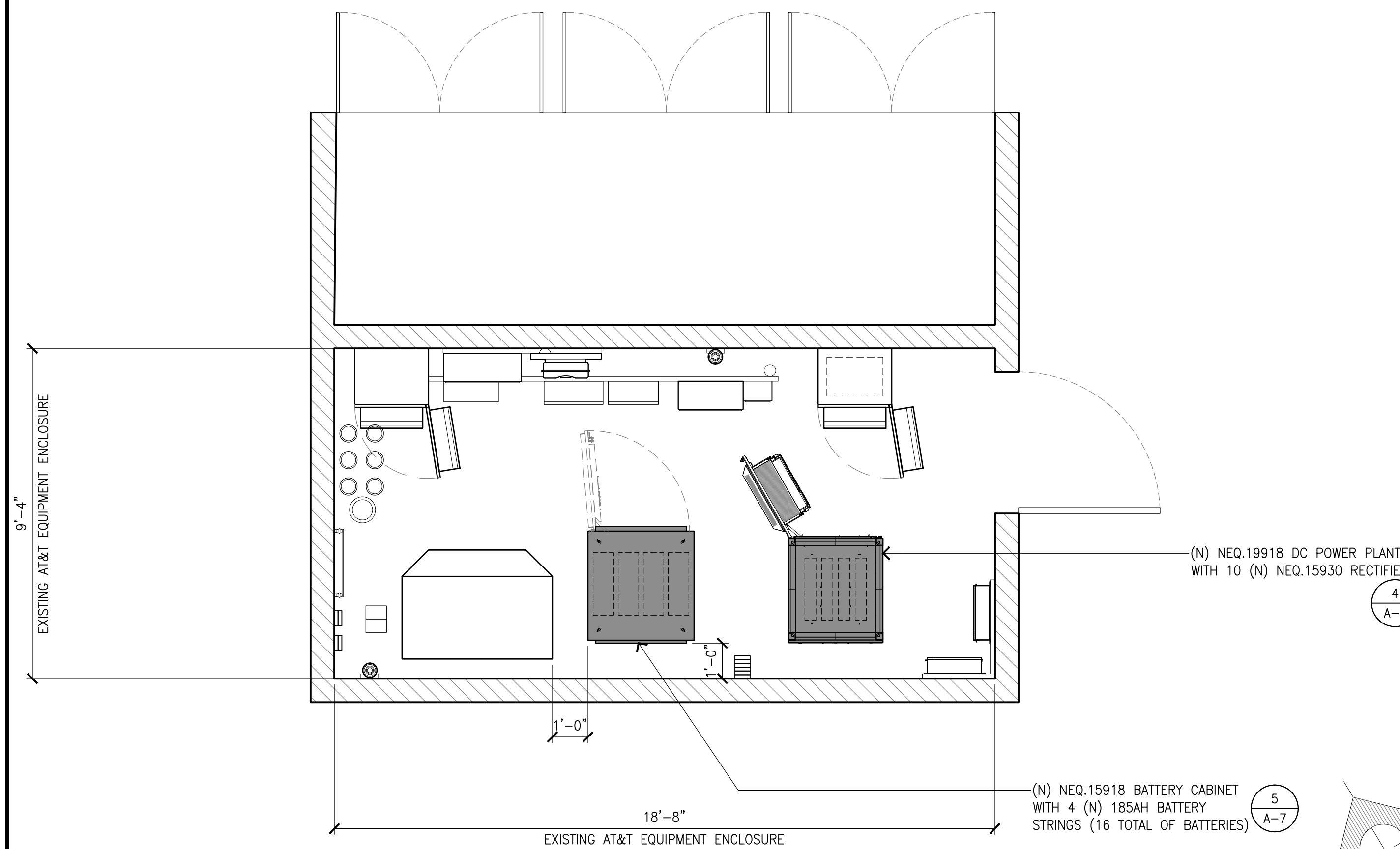
FINAL REMOTE RADIO UNIT SCHEDULE																			
SECTOR	NEW REMOTE RADIO UNITS						EXISTING REMOTE RADIO UNITS												
	700BC/850 (5G)			1900 (4T4R PCS)			2100 (AWS)			2350 (WCS)			700 (D/E)			850 (6C)			
	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	
A	A1	1	RRUS-4449 B5+B12	UP			1	RRUS-4426 B66	UP										
	A2				1	RRUS-4415 B25	UP										1	RRUS-4478 B14	UP
	A3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		
B	B1	1	RRUS-4449 B5+B12	UP			1	RRUS-4426 B66	UP										
	B2				1	RRUS-4415 B25	UP										1	RRUS-4478 B14	UP
	B3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		
C	C1	1	RRUS-4449 B5+B12	UP			1	RRUS-4426 B66	UP										
	C2				1	RRUS-4415 B25	UP										1	RRUS-4478 B14	UP
	C3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		

REMOTE RADIO UNIT COUNT = 18



**(E) EQUIPMENT PLAN**

SCALE: 3/8"=1'-0" 1



**(N) EQUIPMENT PLAN**

SCALE: 3/8"=1'-0" 2

**ANTENNA/RRUS SCHEDULE**

3



3300 IRVINE AVENUE, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 861-2201  
FAX: (949) 468-0931



4430 E. MIRALOMA AVE. SUITE D  
ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDS PER PHOTOSIMULATION
1	02-05-21	REVISED CDS
-	05-28-20	REVISED CDS
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS

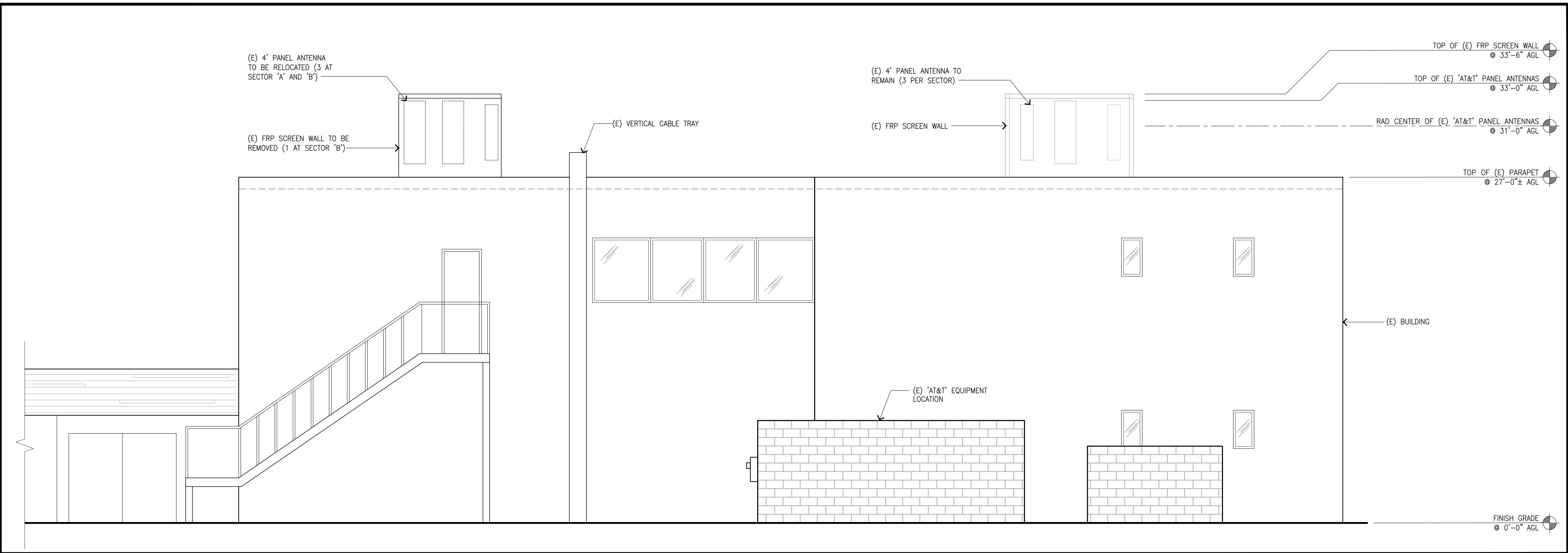


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ROOFTOP (OUTDOOR)

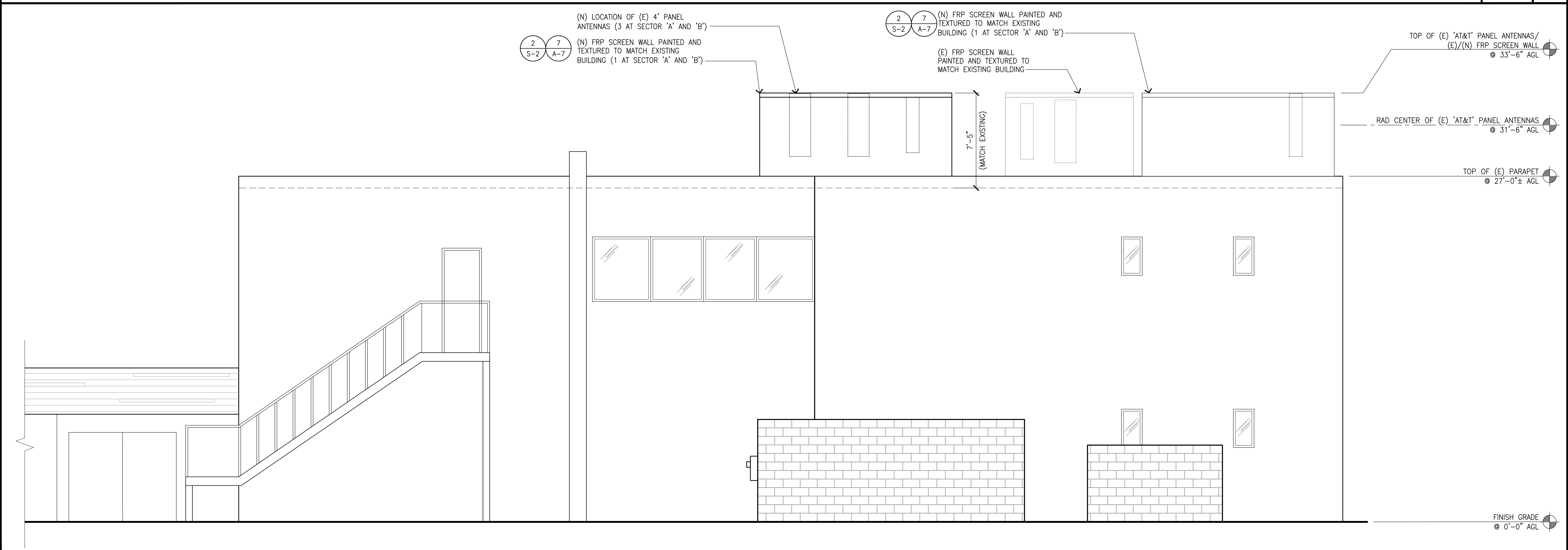
SHEET TITLE  
**EQUIPMENT PLAN AND ANTENNA/RRU SCHEDULE**

SHEET NUMBER  
**A-4**



**(E) SOUTHWEST ELEVATION**

SCALE: 1  
1/4"=1'-0"



**(N) SOUTHWEST ELEVATION**

SCALE: 2  
1/4"=1'-0"

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1452 EDINGER AVE.  
TUSTIN, CALIFORNIA 92780

**smartlink**  
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**CASA INDUSTRIES**  
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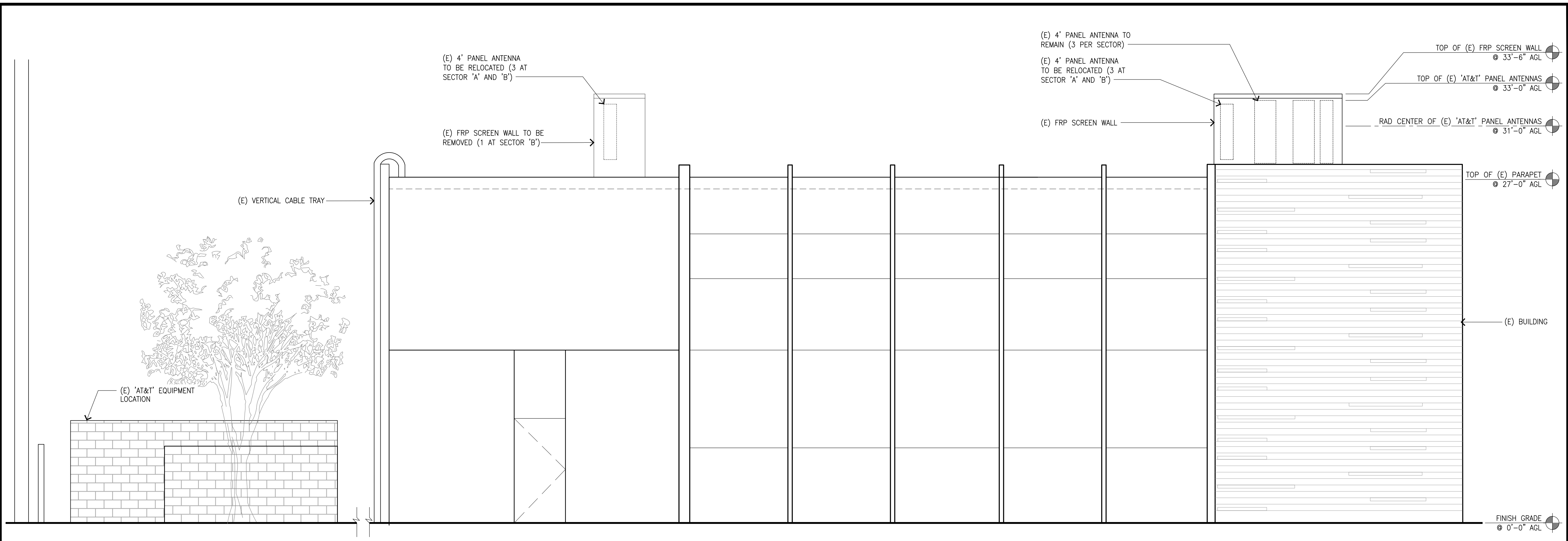
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SHEET TITLE  
**ELEVATIONS**

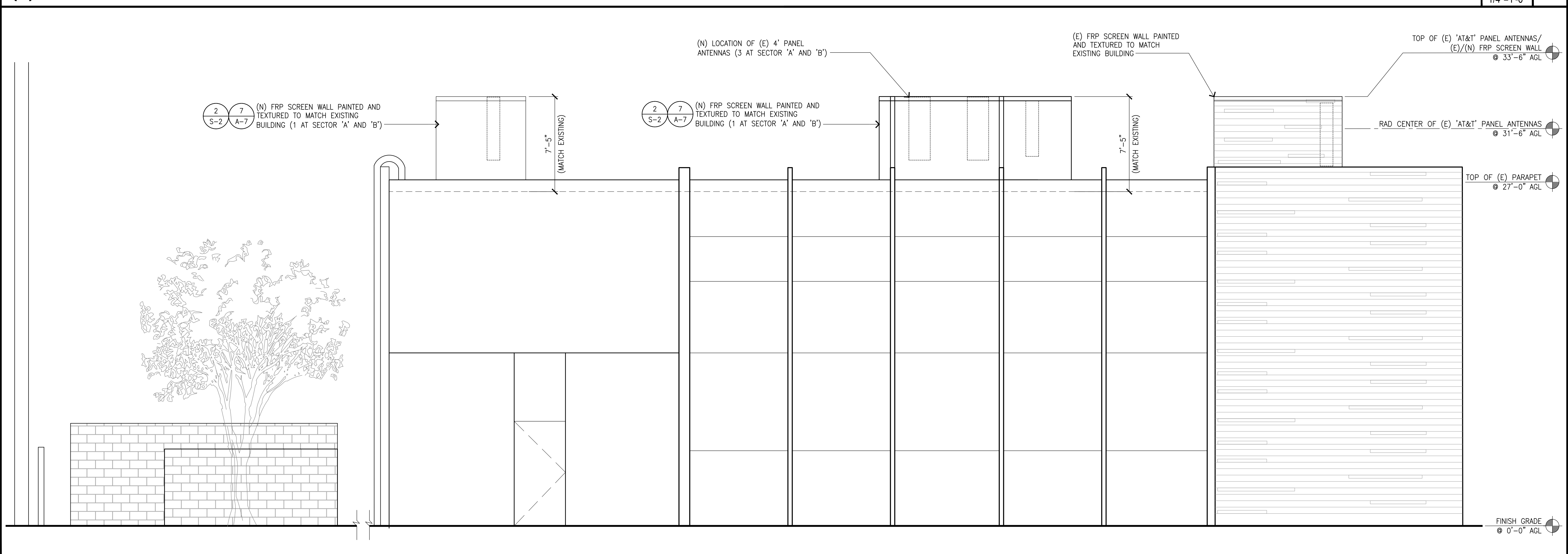
SHEET NUMBER  
**A-5**





**(E) SOUTHEAST ELEVATION**

SCALE: 1/4"=1'-0" 1



**(N) SOUTHEAST ELEVATION**

SCALE: 1/4"=1'-0" 2

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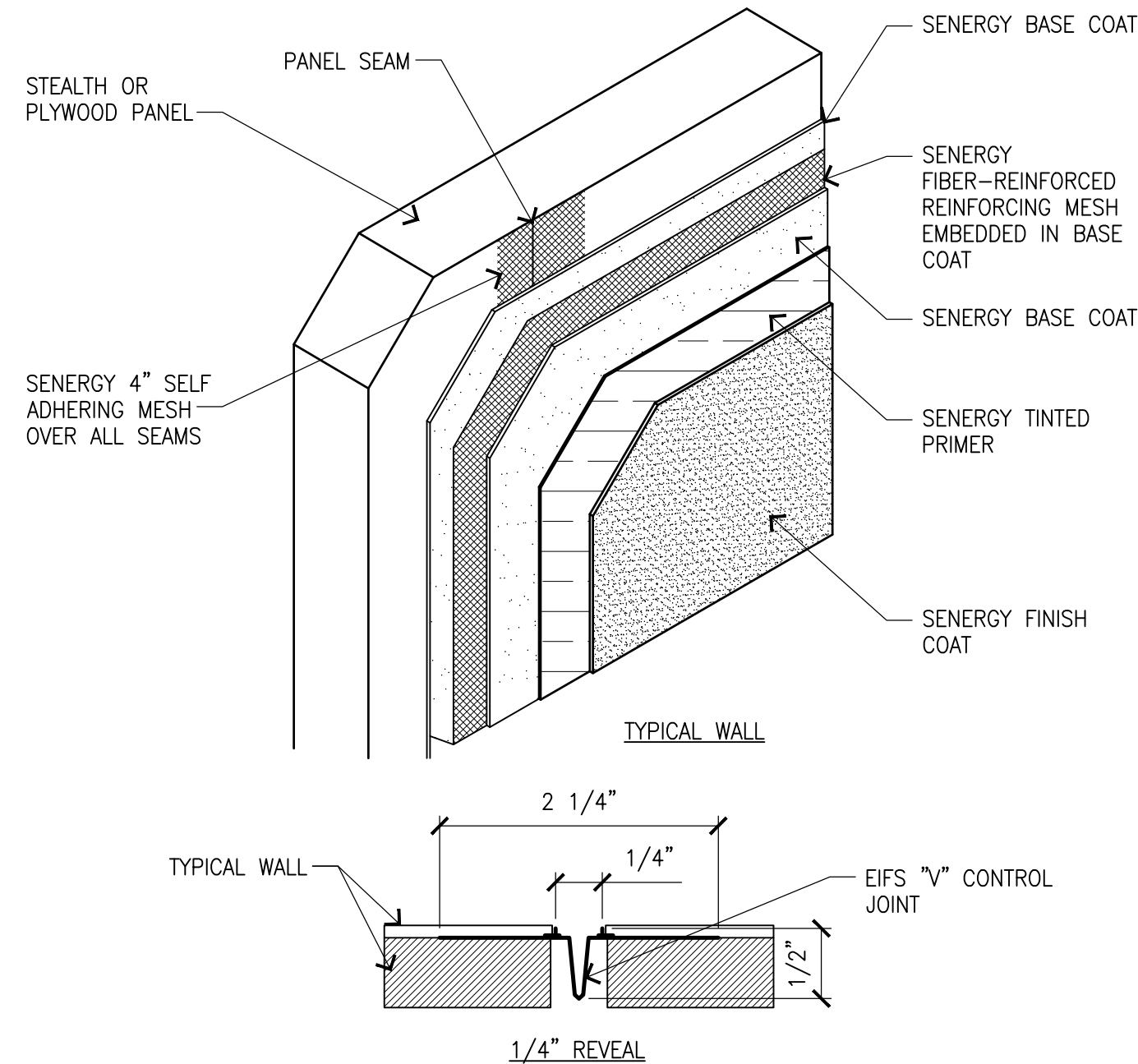
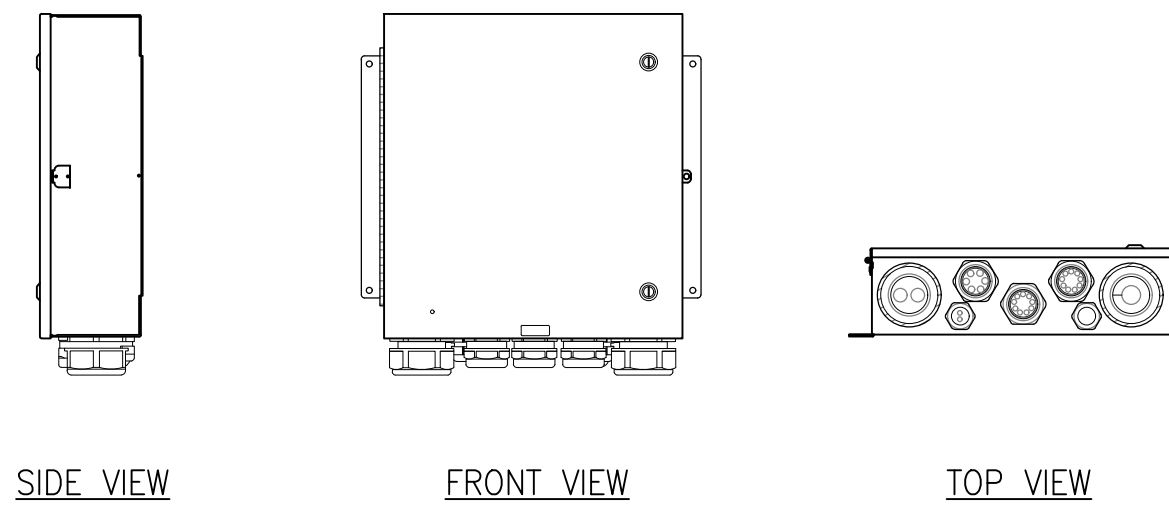
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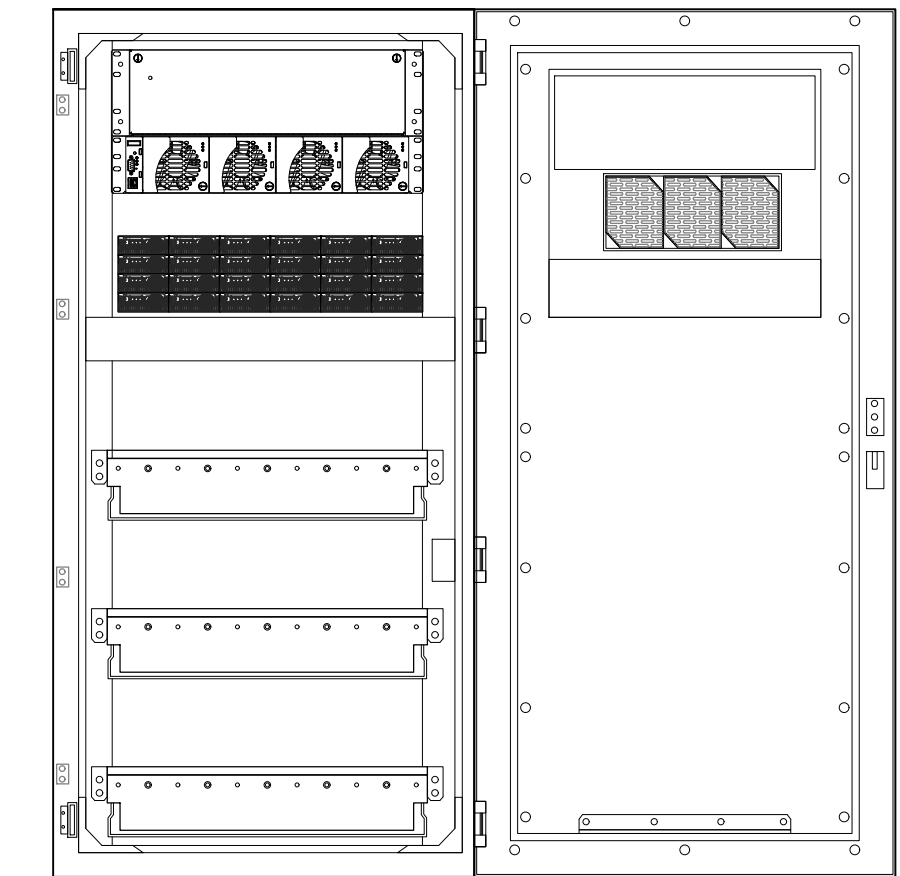
SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER  
**A-6**

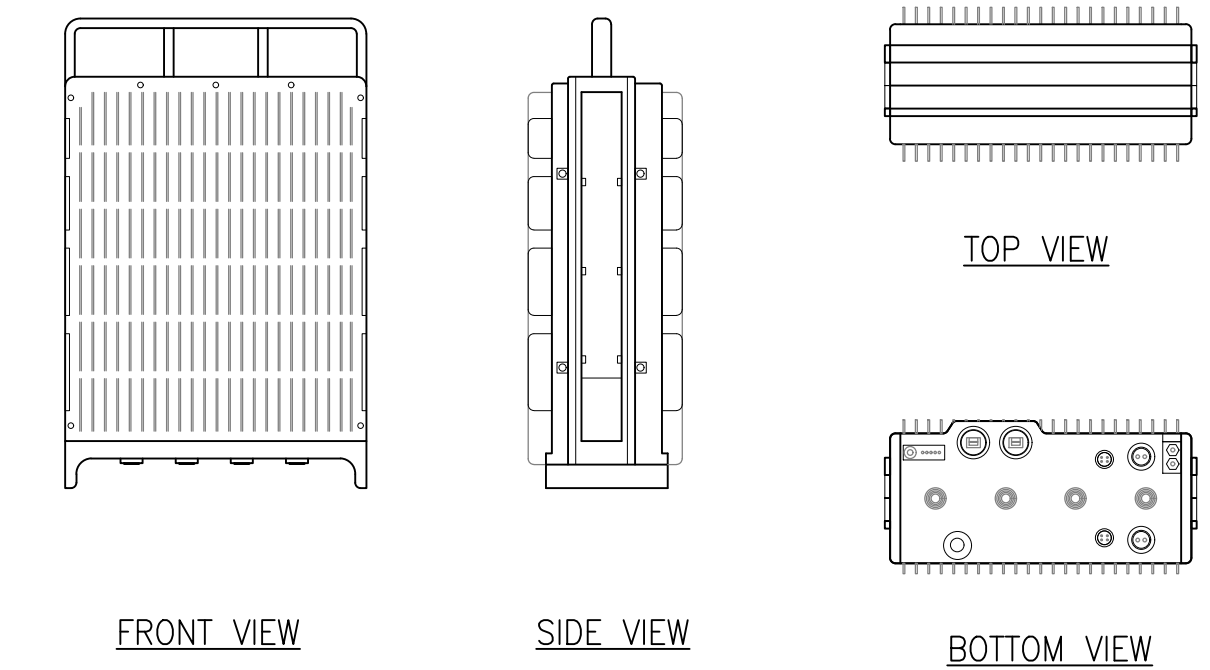
MANUFACTURER: RAYCAP  
 MODEL NUMBER: DC6-48-60-18  
 FIBER CONNECTION METHOD: LC-LC SINGLE MODE  
 DIMENSIONS, HxDxW: 6.37"x20.06"x18.17"  
 WEIGHT: 43.5 lbs



ORACLE NUMBER: NEQ.19918 (OR EQUAL)  
 EMERSON P/N: F2016064  
 WEIGHT: 752 Lbs  
 WEIGHT: 2357 (WITH FULL COMPLIMENT OF BATTERIES)  
 DIMENSIONS, HxWxD: 72" x 32" x 39"  
 RECTIFIER: (10) NEO. 15930 RECTIFIER MODULES



MANUFACTURER: ERICSSON  
 MODEL: RRU5 4449 B5+B12  
 DIMENSIONS, WxDxH: 13.1"x9.3"x14.9"  
 WEIGHT (W/O MOUNTING HARDWARE): 30 Kg/66 lbs



**DC-6 (SIB) SURGE SUPPRESSOR**

**10**

**EIFS FINISH DETAIL**

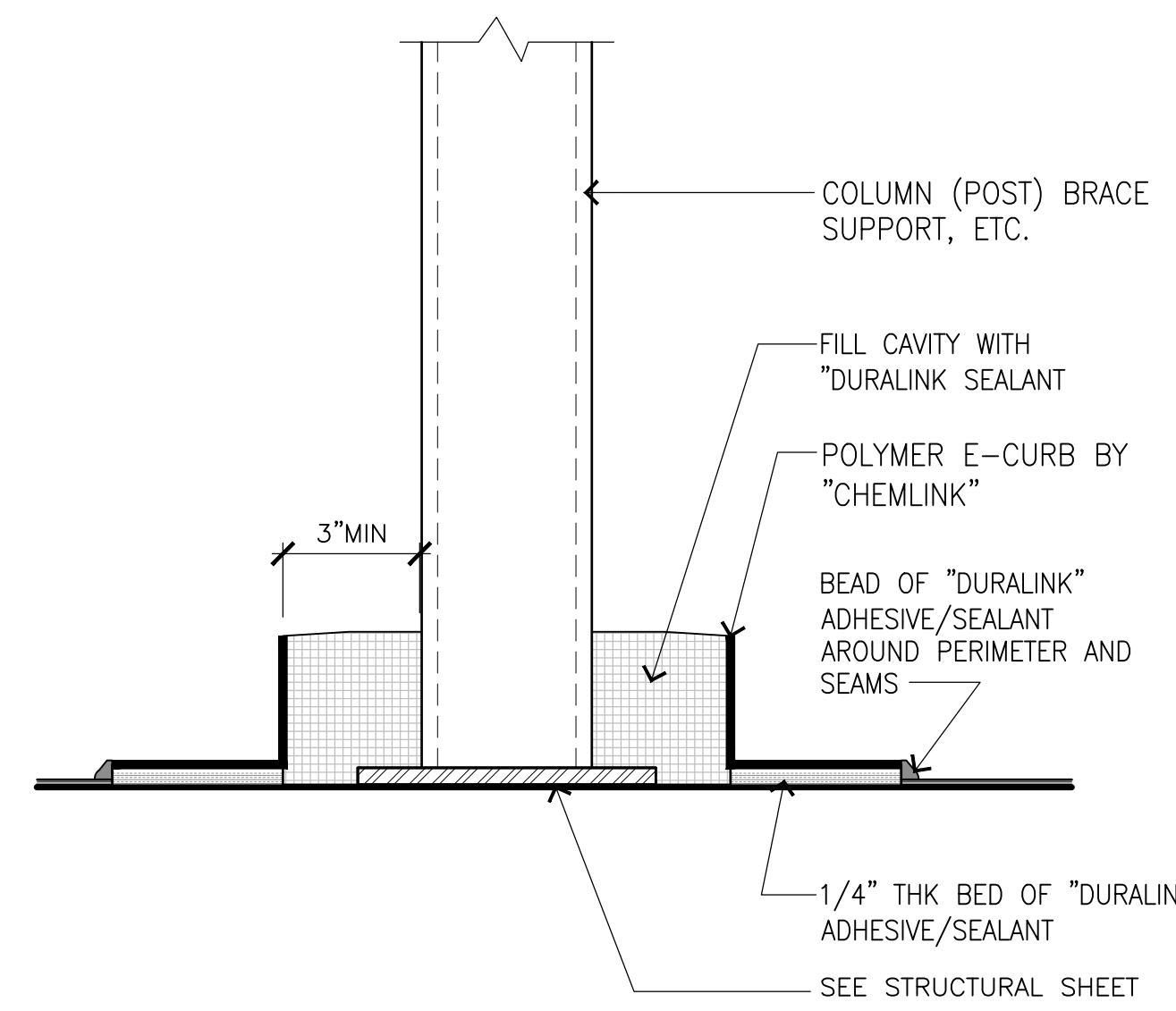
**7**

**POWER PLANT CABINET**

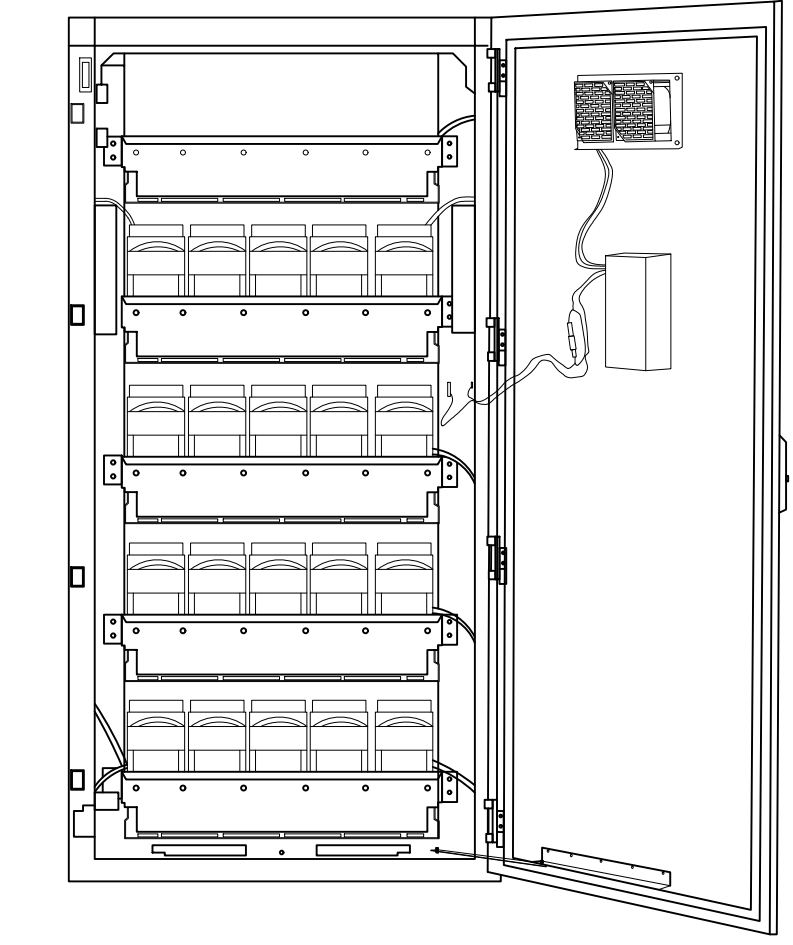
**4**

**RRUS SPECIFICATIONS**

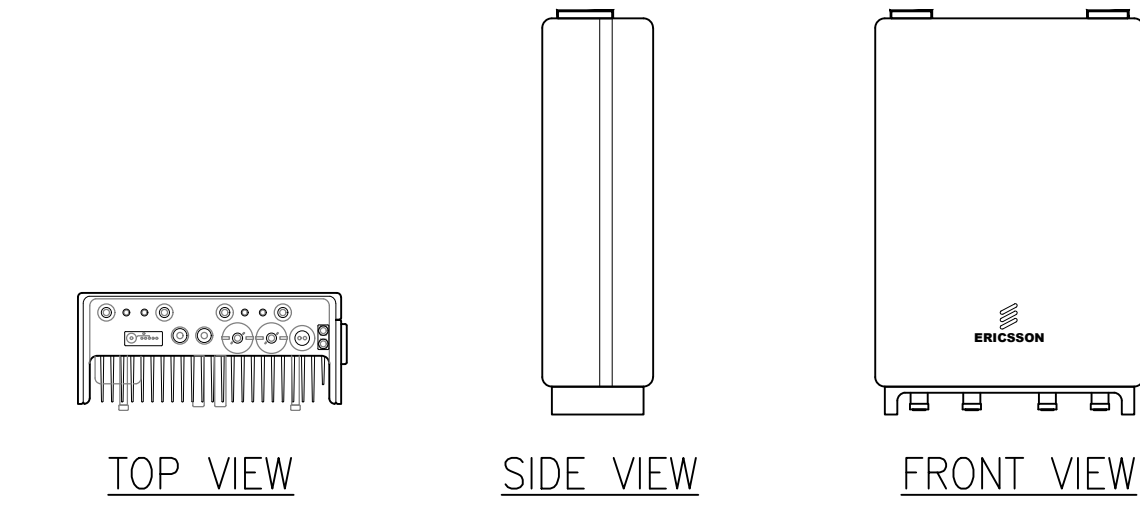
**1**



ORACLE NUMBER: NEQ.15918 (OR EQUAL)  
 EMERSON P/N: F2012496  
 WEIGHT: 980 Lbs  
 WEIGHT: 4325 (WITH FULL COMPLIMENT OF BATTERIES)  
 DIMENSIONS, HxWxD: 72" x 36" x 37"  
 BATTERY STRINGS: (16) -48V BATTERIES  
 BATTERY MODEL: MARATHON "PVL12V185FT"



MANUFACTURER: ERICSSON  
 MODEL NO.: RRU5 4415 B25  
 DIMENSIONS, HxDxW: 16.5"x13.4"x5.9"  
 WEIGHT: 46 lbs



**CHEM CURB FLASHING TYPICAL**

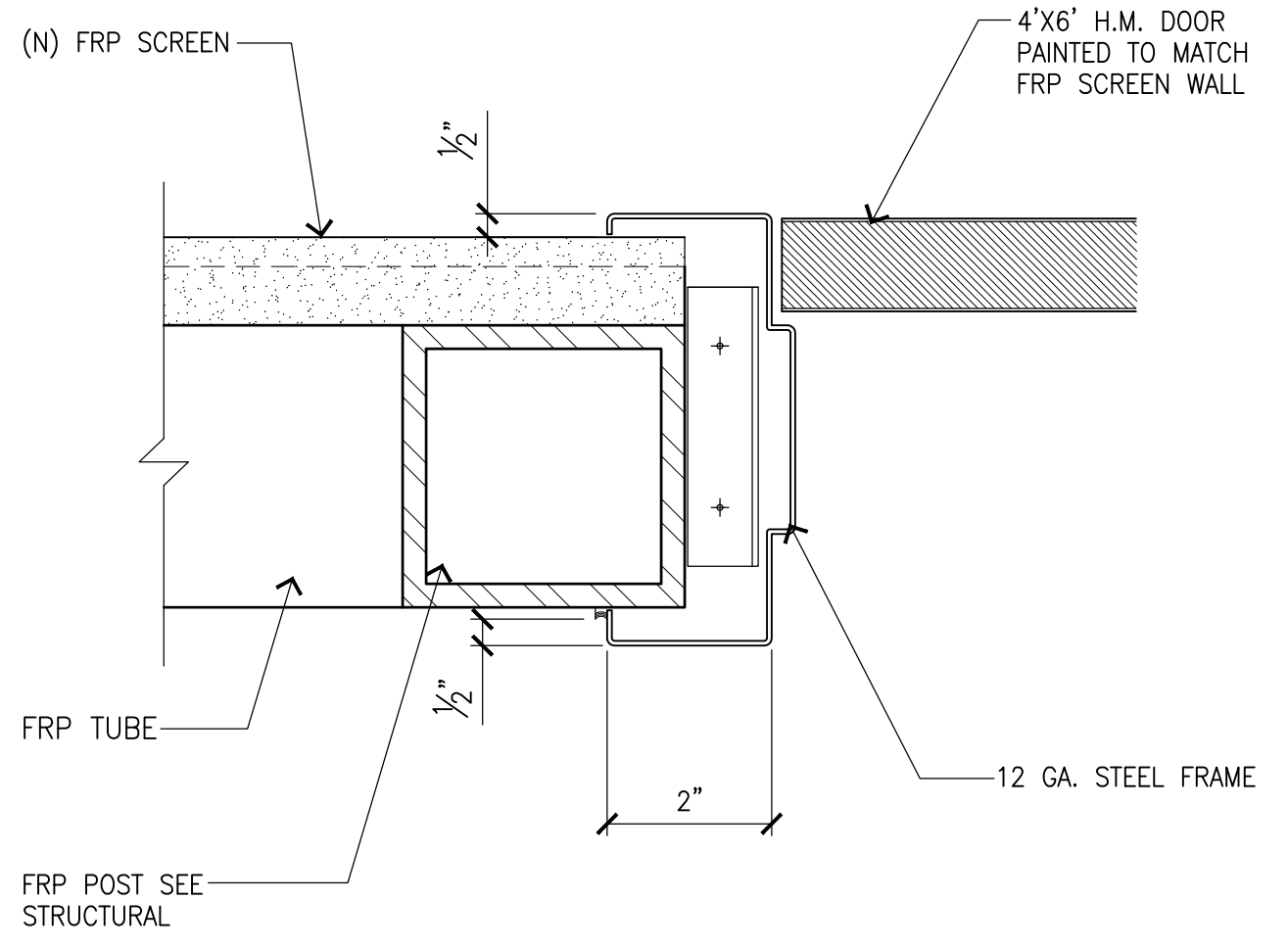
**8**

**BATTERY CABINET SPECIFICATIONS**

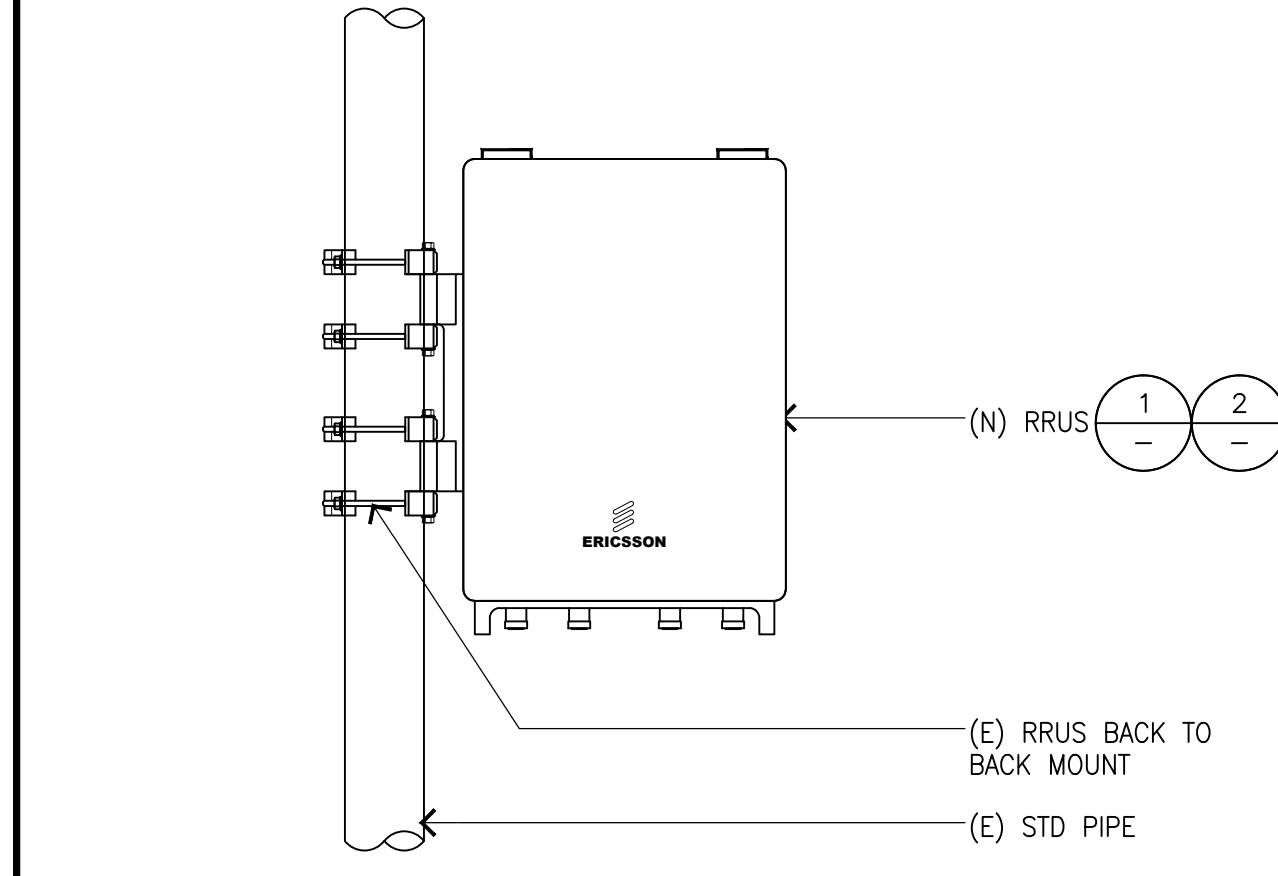
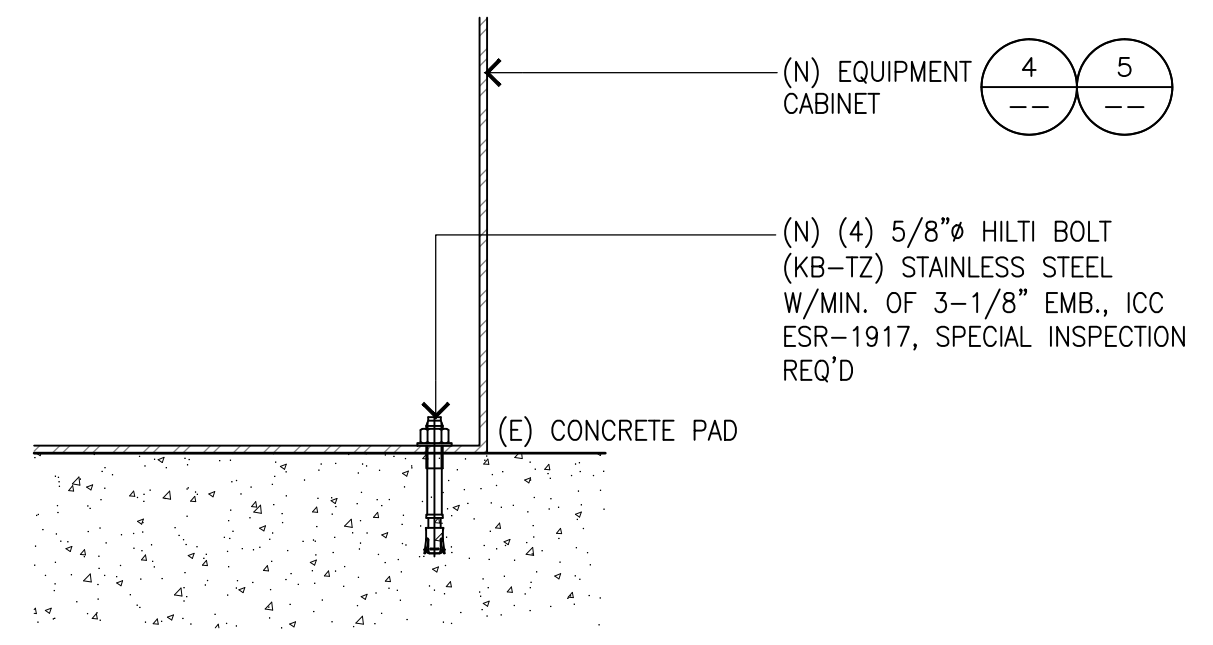
**5**

**RRUS SPECIFICATIONS**

**2**



NOTE: VERIFY MOUNTING HOLES WITH MANUFACTURE PRIOR TO INSTALLATION



**DOOR DETAIL**

**9**

**CABINET ANCHORAGE**

**6**

**RRU MOUNT**

**3**

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PAUL C. PINA  
No. C41835  
EXP. 05-23  
CIVIL  
STATE OF CALIFORNIA

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SHEET TITLE  
**EQUIPMENT SPECS & DETAILS**

SHEET NUMBER  
**A-7**

**GENERAL NOTES**

- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND CBC-19 SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND CONDITIONS OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUB-CONTRACTORS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
- STRUCTURAL DRAWINGS SHALL WORK IN CONJUNCTION WITH ARCHITECTURAL MECHANICAL, AND ELECTRICAL DRAWINGS.
- DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
- ALL CONDITIONS SHOWN OR NOTED AS EXISTING ARE BASED ON BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. NO WARRANTY IS IMPLIED TO THEIR ACCURACY. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS. SHOULD CONDITIONS BECOME APPARENT WHICH DIFFER FROM THE CONDITIONS SHOWN, THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STRUCTURAL ENGINEER. STRUCTURAL ENGINEER WILL THEN PREPARE ADDITIONAL DRAWINGS AS MAY BE NEEDED TO ACCOMMODATE THE CONDITIONS AS BROUGHT TO THEIR ATTENTION.
- MECHANICAL EQUIPMENT MUST BE FIRMLY ATTACHED TO THE STRUCTURE. ISOLATORS, FASTENERS AND ANY OTHER ELEMENT PROVIDING STABILITY FOR MECHANICAL EQUIPMENT SHALL BE CAPABLE OF TRANSMITTING CODE REQUIRED LOADS, BUT IN NO EVENT LESS THAN A SHEAR LOAD EQUIVALENT TO 0.45 TIMES THE OPERATING WEIGHT OF EQUIPMENT.
- DESIGN CODE: 2019 CBC
  - A. ROOF DESIGN LOADS:
    - DEAD LOAD : 15 PSF
    - LIVE LOAD : 20 PSF (REDUCIBLE PER CBC 2019)
  - C. WIND DESIGN:
    - BASIC WIND SPEED = 95.0 MPH
    - OCCUPANCY CATEGORY = II
    - WIND EXPOSURE = C
  - D. SEISMIC DESIGN:
    - SEISMIC IMPORTANCE FACTOR, I = 1.0
    - OCCUPANCY CATEGORY = II
    - SITE CLASS = D
- WATERPROOFING SEE ARCHITECTURAL DRAWINGS.

**FIBERGLASS REINFORCED PLASTIC (FRP)**

- FIBERGLASS REINFORCED PLASTIC IS A COMPOSITE CONSISTING OF A PLASTIC RESIN MATRIX REINFORCED BY EMBEDDED GLASS FIBERS.
- PROPERTIES OF FRP:
  - FU= 33,000 PSI
  - E= 2.6x10<sup>6</sup> PSI
- ANCHOR BOLTS SHALL BE 1/2"Ø FRP BOLTS UNLESS NOTED OTHERWISE.
- PRODUCTS SHALL BE LABELED OR PACKAGE CLEARLY IDENTIFYING THE PRODUCT AS EXTREN 525 MANUFACTURED BY THE MORRISON MOLDED FIBERGLASS COMPANY.
- THE MAXIMUM THICKNESS APPROVED FOR THE USE IS 1/2" WITH THE EXCEPTION FIBREBOLTS WHICH ARE LIMITED TO 1/2" AND 3/8" DIAMETER BOLTS.
- THE MAXIMUM ALLOWABLE TENSILE LOAD FOR 1/2" & 3/8" DIAMETER BOLTS SHALL BE 550 LBS., AND 682 LBS. RESPECTIVELY, THE MAXIMUM ALLOWABLE SHEAR LOAD FOR THE 1/2" AND 3/8" DIAMETER BOLTS SHALL BE 861 LBS. AND 1052 LBS. RESPECTIVELY.
- ONLY FIBERGLASS NUTS SHALL BE USED WITH THE FIBREBOLTS, STEEL NUTS SHALL BE PROHIBITED.
- THE DESIGN OF ALL EXTREN 525 STRUCTURAL SHAPES, EXCLUDING BOLTS EXCEPT AS APPROVED HEREIN, SHALL BE IN ACCORDANCE WITH THE EXTREN FIBERGLASS DESIGN MANUAL. A MAXIMUM FACTOR OF SAFETY OF 5 SHALL BE APPLIED TO THE ALLOWABLE STRESS IN THE MANUAL.
- THE FIBERGLASS PRODUCT SHALL PROTECTED WITH AN MFG APPROVED UV INHIBITOR.

**STRUCTURAL STEEL**

- ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:
  - A. ASTM A-572, GRADE 50 : ALL SHAPES
  - B. ASTM A-307 : ALL BOLTS, UNO.
  - C. ASTM A-36 : ANGLES, CHANNELS, PLATES AND MISC.
  - D. ASTM A-500, GRADE B : ALL TUBES.
- FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION LATEST EDITION.
- ALL STEEL FABRICATION SHALL BE PERFORMED IN A SHOP APPROVED BY THE CITY.
- OPENINGS SHALL NOT BE PLACED IN STEEL MEMBERS UNLESS SPECIFICALLY DETAILED.
- ALL WELDING SHALL BE PERFORMED BY WELDERS HAVING CURRENT AWS WELDING CERTIFICATE. WELDING SHALL BE PERFORMED USING ELECTRIC ARC PROCESS IN ACCORDANCE WITH THE APPLICABLE PORTION OF THE CODE FOR "ARC AND GAS WELDING IN BUILDING CONSTRUCTION" OF THE AMERICAN WELDING SOCIETY AS AMENDED TO DATE.
- ALL WELDING FOR BUILDINGS SHALL BE IN STRICT CONFORMANCE WITH AWS D1.1 CODE AS AMENDED TO DATE.
- A WELDING PROCEDURE SPECIFICATION (WPS) PER AWS CODE. SHALL BE DEVELOPED BY THE FABRICATOR/ERECTOR AND APPROVED BY THE ENGINEER OF RECORD. THE WPS SHALL INCLUDE THE WELDING PARAMETERS RECOMMENDED BY THE ELECTRODE MANUFACTURER.
- FIELD WELDING IS DESIGNED FOR FULL STRESSES. CONTINUOUS INSPECTION IS REQUIRED FOR MOMENT CONNECTION.
- ALL EXPOSED STRUCTURAL STEEL AND MISC. METAL SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION. INDIVIDUAL STRUCTURAL MEMBERS AND WELDING CONNECTIONS, EXCEPT WHERE FABRICATED OF APPROVED CORROSION-RESISTANT STEEL OR OTHER APPROVED COATING, SHALL BE PROTECTED AGAINST CORROSION WITH AN APPROVED COAT OF PAINT, ENAMEL OR OTHER APPROVED PROTECTION.

**FRAMING LUMBER**

- ALL VISUALLY GRADED FRAMING LUMBER SHALL CONFORM TO THE GRADING RULES SET FORTH BY THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB) OR THE WESTERN WOOD PRODUCTS ASSOCIATION (WWPA). EACH PIECE SHALL BEAR THE GRADE STAMP OF AN APPROVED GRADING AGENCY, EXCEPT EXPOSED LUMBER SHALL BEAR NO MARKINGS WHICH WILL BE VISIBLE AFTER INSTALLATION.
- FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH, UNLESS OTHERWISE NOTED. 2x AND 4x SAWN LUMBER SHALL HAVE A MOISTURE CONTENT NOT MORE THAN 19% AT TIME OF FABRICATION. THE FOLLOWING GRADES SHALL BE THE MINIMUM ACCEPTABLE GRADES, UNLESS OTHERWISE NOTED:
  - ITEM MINIMUM GRADE
  - STUDS:
    - 2" THICK, 4" WIDE (STUD HT.=8"-1" MAX.)..STUD GRADE
    - 2" THICK, 4" TO 8" WIDE .....NO. 2
  - STRUCTURAL JOISTS AND LIGHT FRAMING:
    - 2" TO 4" THICK, 4" AND WIDER .....NQ. 1
  - BEAMS AND STRINGERS:
    - 5" AND THICKER, 6" AND WIDER .....NO. 1
  - POST AND TIMBERS:
    - 5" X 5" AND LARGER .....NO. 1
- STRUCTURAL PLYWOOD SHALL CONFORM TO THE REQUIREMENTS IN DOC PS 1, DOC PS 2 OR ANSI/APA PRP210. APA GRADE STAMP SHALL BE PROVIDED ON ALL SHEATHING. SHEATHING SHALL BE EXPOSURE 1 (EXTERIOR GLUE). INSTALL WITH FACE GRAIN ACROSS SUPPORTS EXCEPT WHERE NOTED ON PLANS OR DETAILS. PROVIDE GAPS AT ALL EDGES AS RECOMMENDED BY APA. ROOF AND FLOOR SHEATHING AND SHEAR WALL PANELS SHALL BE IN PLACE AND INSPECTED BY THE BUILDING OFFICIAL PRIOR TO COVERING.
- FRAMING HARDWARE SHALL BE SIMPSON "STRONG TIE" OR EQUAL, UNLESS OTHERWISE NOTED. SUBSTITUTIONS SHALL BEAR I.C.B.O. APPROVAL.
- NAILING SCHEDULE, TYPICAL UNLESS OTHERWISE NOTED ON DRAWINGS:

CONNECTION	COMMON NAILS
JOIST TO SILL OR GIRDER, TOE NAIL.....	3 - 8d
BRIDGING TO JOIST, TOE NAIL, EACH END.....	2 - 8d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL.....	16d @ 16" o.c.
TOP PLATE TO STUD, END NAIL.....	2 - 16d
STUD TO SOLE PLATE .....4-8d TOE NAILS OR 2-16d END NAILS	
DOUBLE STUD, FACE NAIL.....	16d @ 24" o.c.
DOUBLE TOP PLATES, FACE NAIL.....	16d @ 16" o.c.
TOP PLATES, LAPS & INTERSECTIONS, FACE NAIL.....	2 - 16d
CONT. HEADER, 2 PIECES, FACE NAIL ALONG EDGES.....	16d @ 16" o.c.
CEILING JOISTS TO PLATE, TOE NAIL.....	3 - 8d
CONT. HEADER TO STUD, TOE NAIL.....	4 - 8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL.....	3 - 16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL.....	3 - 16d
RAFTER TO PLATE, TOE NAIL.....	3 - 8d
1 X BRACE TO EACH STUD & PLATE, FACE NAIL.....	2 - 8d
BUILT-UP CORNER STUDS.....	16d @ 24" o.c.
BUILT-UP MEMBERS (2 MEMBERS).....	16d @ 16" o.c.
	TOP & BOTTOM STAGGERED
BUILT-UP MEMBERS (3 OR MORE MEMBERS).....	1/2" THRU BOLTS
	24" o.c. STAGGERED

- ADDITIONAL NAILING NOTES:
- ALL NAILS SHALL BE COMMON NAILS IN CONFORMANCE WITH FEDERAL SPECIFICATION FF-N-105B, UNLESS OTHERWISE SPECIFIED ON DRAWINGS. SINKERS SHALL NOT BE SUBSTITUTED UNLESS SPECIFICALLY APPROVED BY THIS ENGINEER.
  - ALL NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED.
  - TOE NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES TO THE PIECE SURFACE AND BE STARTED AT 1/3 THE LENGTH FROM THE EDGE OF THE PIECE.
- WOOD SCREWS SHALL BE IN CONFORMANCE WITH A.N.S.I. B18.6.1.
  - BOLTS AND LAG SCREWS SHALL CONFORM TO A.N.S.I. B18.2.1. ALL BOLTS THRU WOOD SHALL HAVE STANDARD CUT WASHERS EXCEPT WHERE METAL SIDE PLATES ARE SPECIFIED. BOLT HOLES SHALL BE BORED 1/32" TO 1/16" LARGER THAN THE BOLT DIAMETER, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL INSTALL A SIMPSON BP-5/8-S WITH (4) SDS 1/4 x 1 1/2 SCREWS AT ALL HOLES LARGER THAN 1/16" OVERSIZED AT NO ADDITIONAL COST. ALL BOLTS SHALL BE RETIGHTENED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC.
  - ALL WOOD BEARING ON CONCRETE OR MASONRY IF LESS THAN 4'-0" ABOVE GRADE SHALL BE PRESSURE TREATED DOUGLAS FIR.
  - STRUCTURAL MEMBERS SHALL BE NOT CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR DETAILED.

**STRUCTURAL OBSERVATION**

- THE OWNER SHALL EMPLOY A CIVIL OR STRUCTURAL ENGINEER OR ARCHITECT TO PERFORM STRUCTURAL OBSERVATION PER SECTION 1709A OF THE CODE. THE ENGINEER OR ARCHITECT SHALL BE REGISTERED OR LICENSED IN THE STATE OF CALIFORNIA. THE DEPARTMENT OF BUILDING AND SAFETY RECOMMENDS THE USE OF THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN WHEN THEY ARE INDEPENDENT OF THE CONTRACTOR.
- STRUCTURAL OBSERVATION IS THE VISUAL OBSERVATION OF THE ELEMENTS AND CONNECTIONS OF THE STRUCTURAL SYSTEM AT SIGNIFICANT CONSTRUCTION STAGES AND THE COMPLETED STRUCTURE FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATION. STRUCTURAL OBSERVATION DOES NOT WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED OF THE BUILDING INSPECTOR OR THE DEPUTY INSPECTOR.
- THE CONTRACTOR SHALL COORDINATE AND CALL FOR A PRE-CONSTRUCTION MEETING BETWEEN THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, STRUCTURAL OBSERVER, CONTRACTOR, AFFECTED SUBCONTRACTORS, BUILDING AND DEPUTY INSPECTORS. THE PURPOSE OF THE MEETING SHALL BE TO IDENTIFY THE MAJOR STRUCTURAL ELEMENT AND CONNECTIONS THAT AFFECT THE VERTICAL AND LATERAL LOAD SYSTEMS OF THE STRUCTURE AND TO REVIEW SCHEDULING OF THE REQUIRED OBSERVATIONS. A RECORD OF THE MEETING SHALL BE INCLUDED IN THE FIRST OBSERVATION REPORT SUBMITTED TO THE BUILDING INSPECTOR.

- THE STRUCTURAL OBSERVER SHALL PERFORM SITE VISITS AT THOSE STEPS IN THE PROGRESS OF THE WORK THAT ALLOW FOR CORRECTION OF DEFICIENCIES WITHOUT SUBSTANTIAL EFFORT OR UNCOVERING OF THE WORK INVOLVED. AT A MINIMUM, THE FOLLOWING SIGNIFICANT CONSTRUCTION STAGES REQUIRE A SITE VISIT AND AN OBSERVATION REPORT FROM THE STRUCTURAL OBSERVER.

CONSTRUCTION STAGES	ELEMENT/CONNECTIOS TO BE OBSERVED
A. PRIOR START OF CONSTRUCTION	VERIFY THE EXISTING ROOF JOIST
B. DURING CONSTRUCTION	INSTALLATION OF FRP BRACES

- THE STRUCTURAL OBSERVER SHALL PREPARE A REPORT FOR EACH SIGNIFICANT STAGE OF CONSTRUCTION OBSERVED. THE ORIGINAL OF THE OBSERVATION REPORT SHALL BE SENT TO THE BUILDING INSPECTOR'S OFFICE AND SHALL BE SIGNED AND SEALED (WET STAMP) BY THE RESPONSIBLE STRUCTURAL OBSERVER. ONE COPY OF THE OBSERVATION REPORT SHALL BE ATTACHED TO THE APPROVED PLANS. THE COPY ATTACHED TO THE PLANS NEED NOT BE SEALED BUT SHALL BE SIGNED BY THE RESPONSIBLE STRUCTURAL OBSERVER OR THEIR DESIGNED. COPIES OF THE REPORT SHALL ALSO BE GIVEN TO THE OWNER, CONTRACTOR, AND DEPUTY INSPECTOR.
- WHEN THE OWNER ELECTS TO CHANGE THE STRUCTURAL OBSERVER OF RECORD, THE OWNER SHALL:
  - NOTIFY THE BUILDING INSPECTOR IN WRITING BEFORE THE NEXT INSPECTION.
  - CALL AN ADDITIONAL PRECONSTRUCTION MEETING.
  - FURNISH THE REPLACEMENT STRUCTURAL OBSERVER WITH A COPY OF ALL PREVIOUS OBSERVATION REPORTS.



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TEL: (949) 861-2201  
FAX: (949) 468-0931

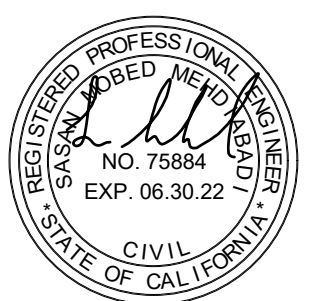


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3842 Hendrix Street  
Irvine, CA 92614

REV	DATE	DESCRIPTION
-	05-28-20	REVISED CD's
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS



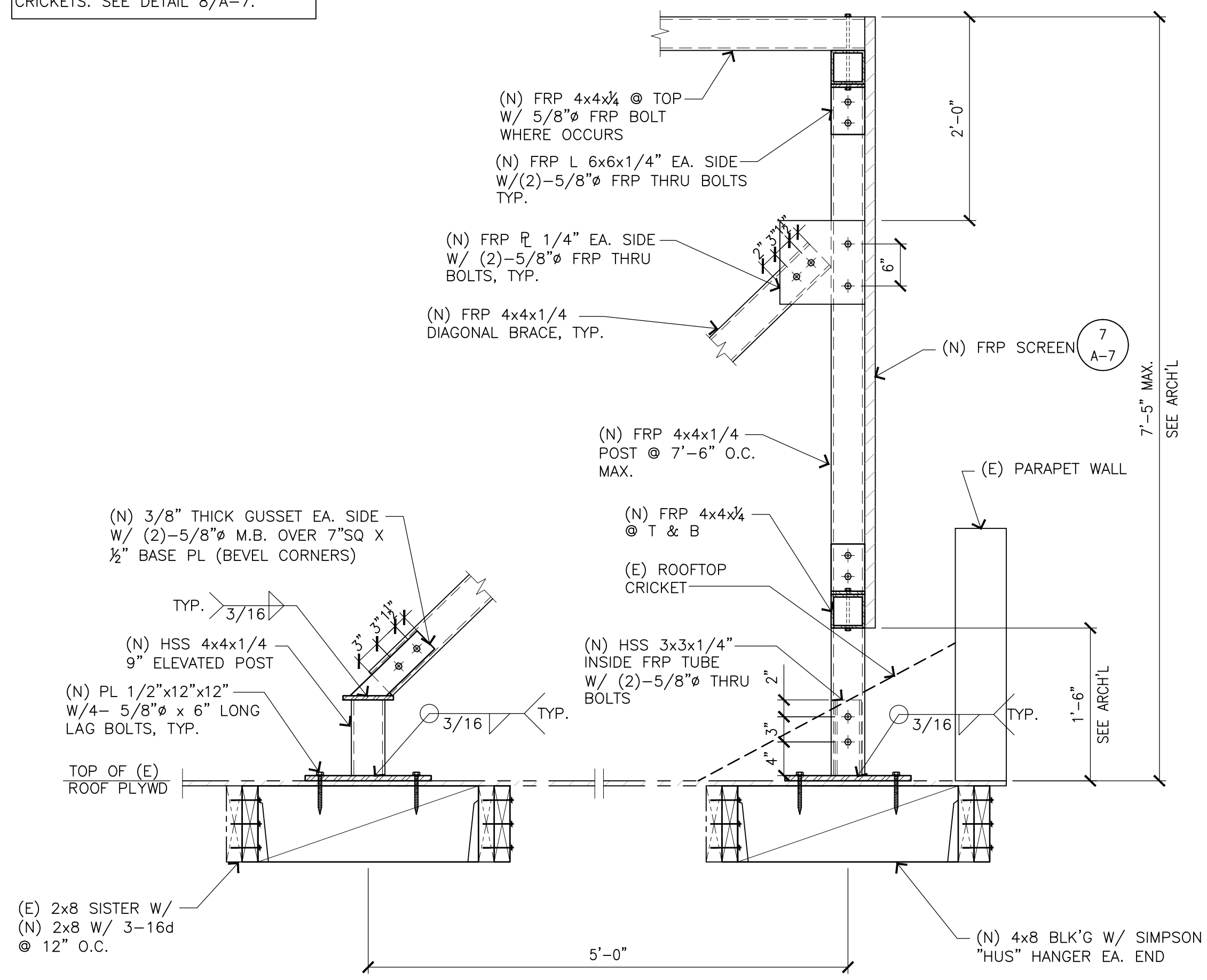
CLU2520  
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8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

SHEET TITLE  
STRUCTURAL NOTES

SHEET NUMBER

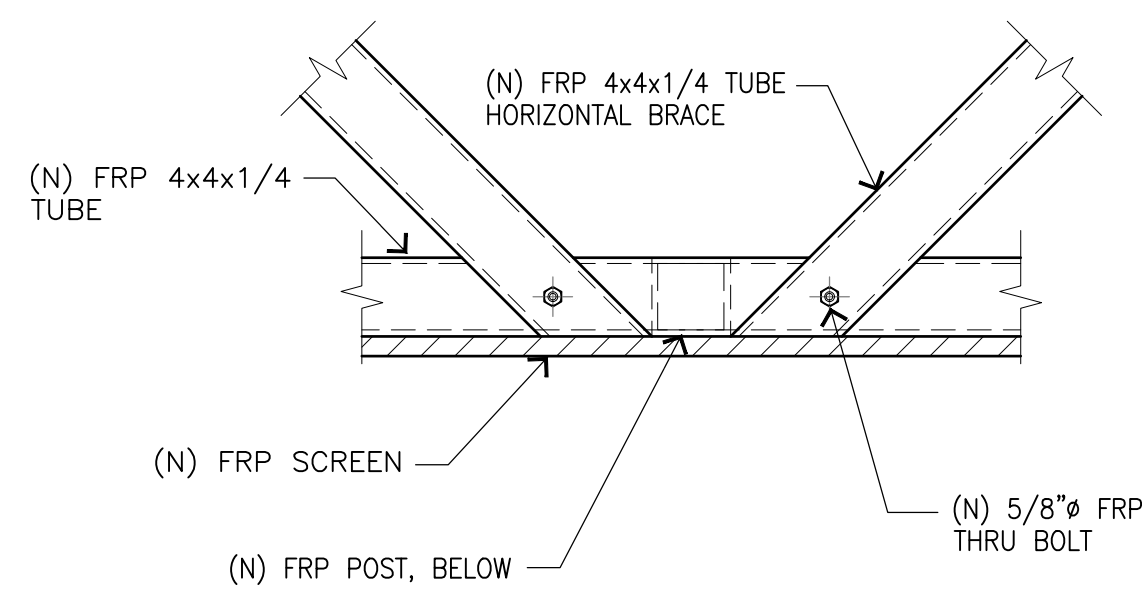
**S-1**

NOTE:  
CONTRACTOR TO WATER PROOF ALL PENETRATIONS THROUGH EXISTING CRICKETS. SEE DETAIL 8/A-7.



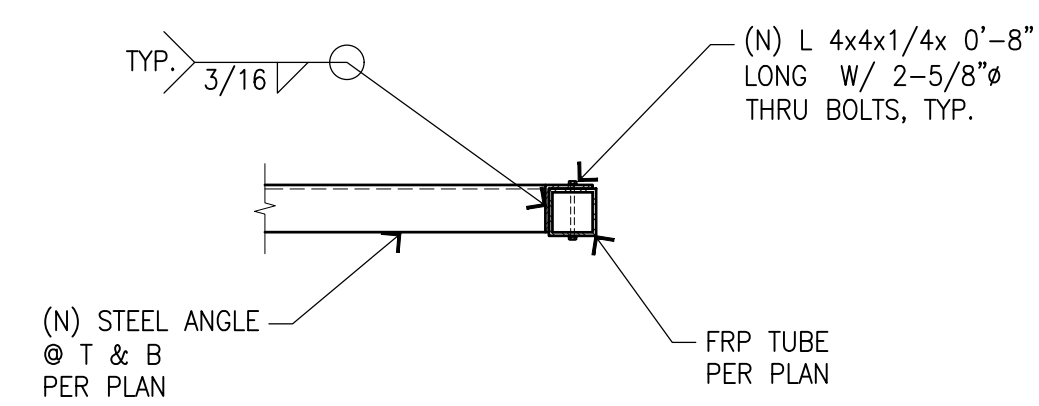
**SECTION**

**2**



**DETAIL**

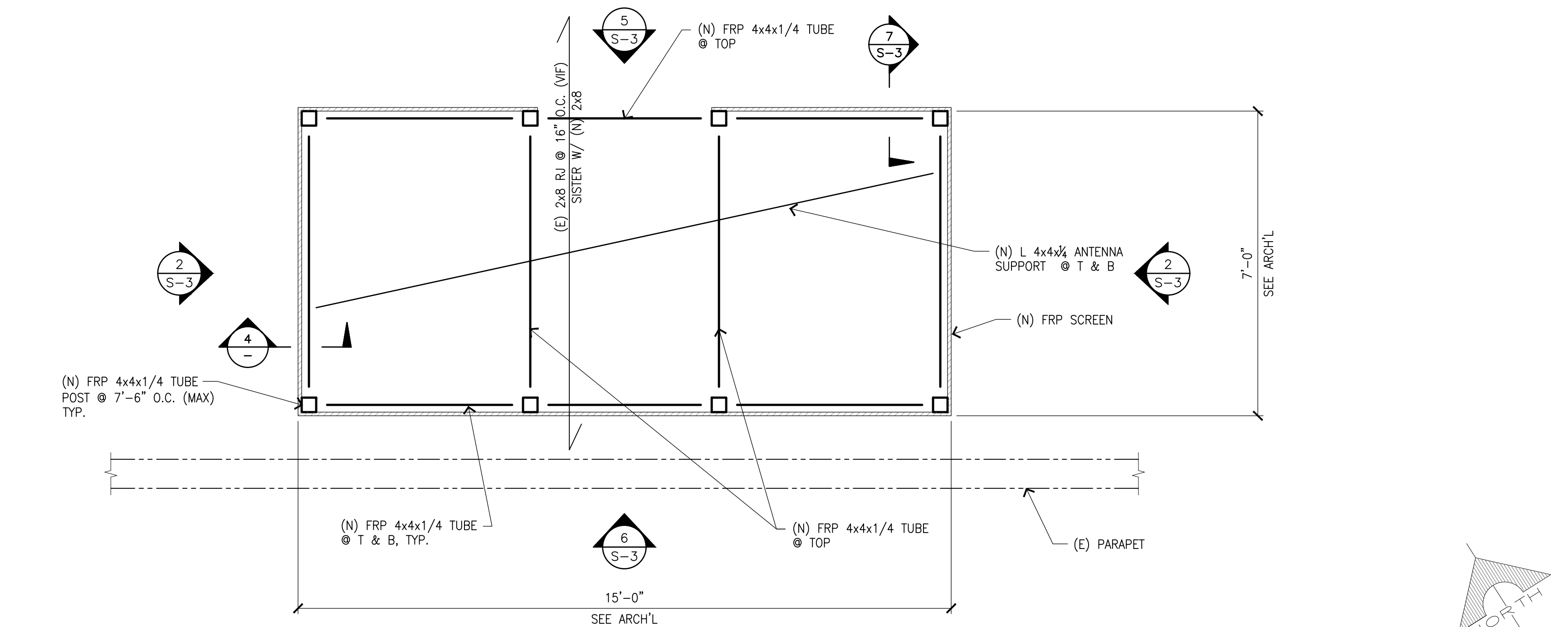
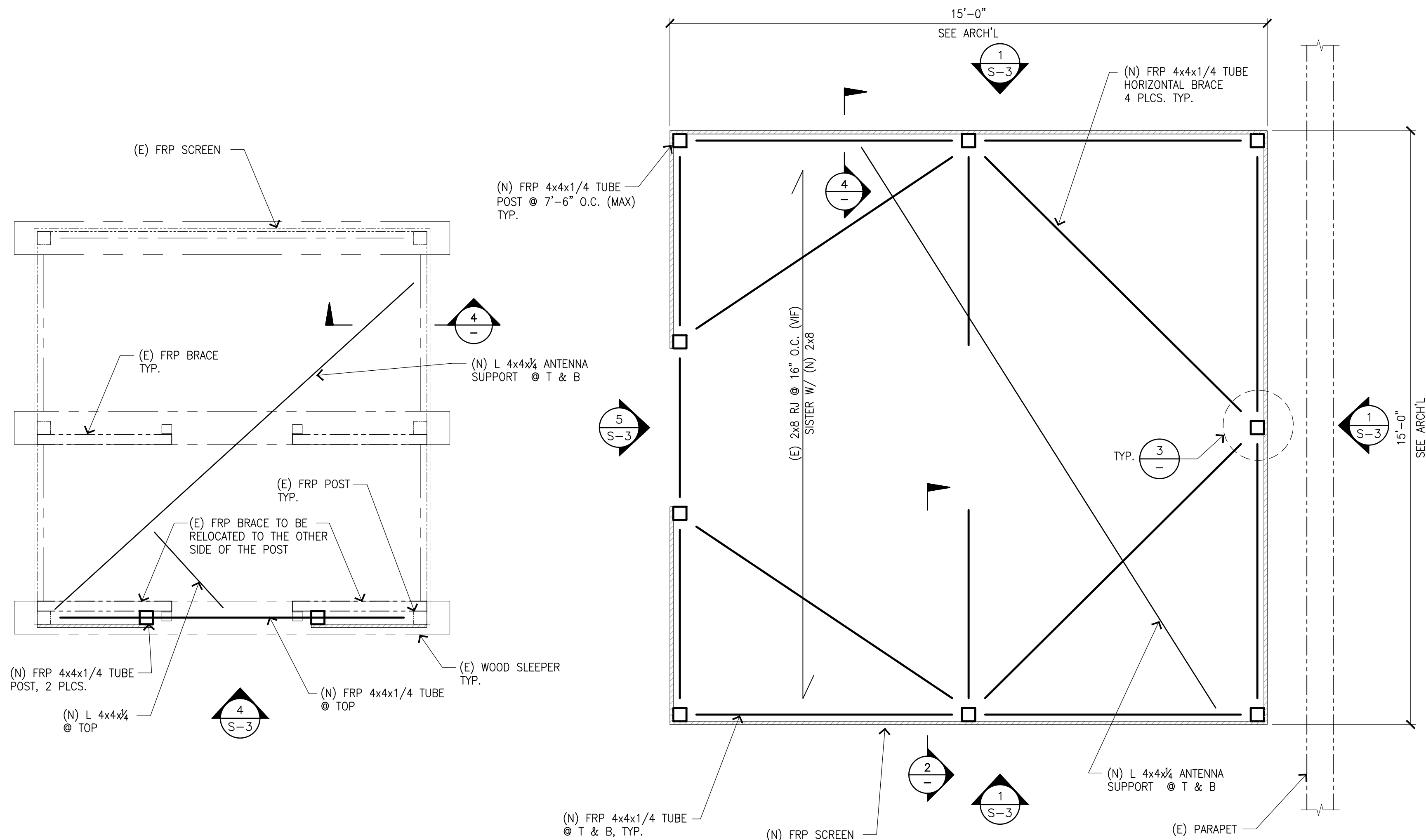
**3**



**SECTION**

**4**

NOTE:  
1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE. ANY DISCREPANCIES SHALL BE RESOLVED WITH ARCH/ENGINEER PRIOR TO START OF CONSTRUCTION.  
2. DOUBLE-UP EXISTING 2x8 ROOF JOISTS UNDER NEW FRP SCREEN AS SHOWN.  
3. THE (N) 2x8 SHALL BE SUPPORTED AT THE ENDS IN THE SAME WAY AS (E) 2x8.  
4. IF EXISTING ROOF JOIST ARE SMALLER THAN 2x8 @ 16\"/>

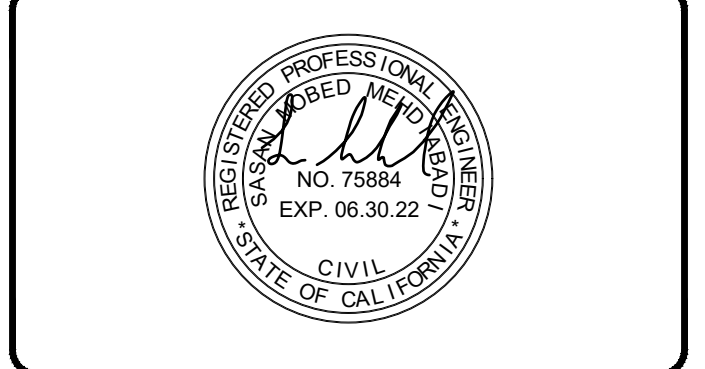


**FRP SCREEN FRAMING PLAN AT SECTORS "A" & "B"**

**1**



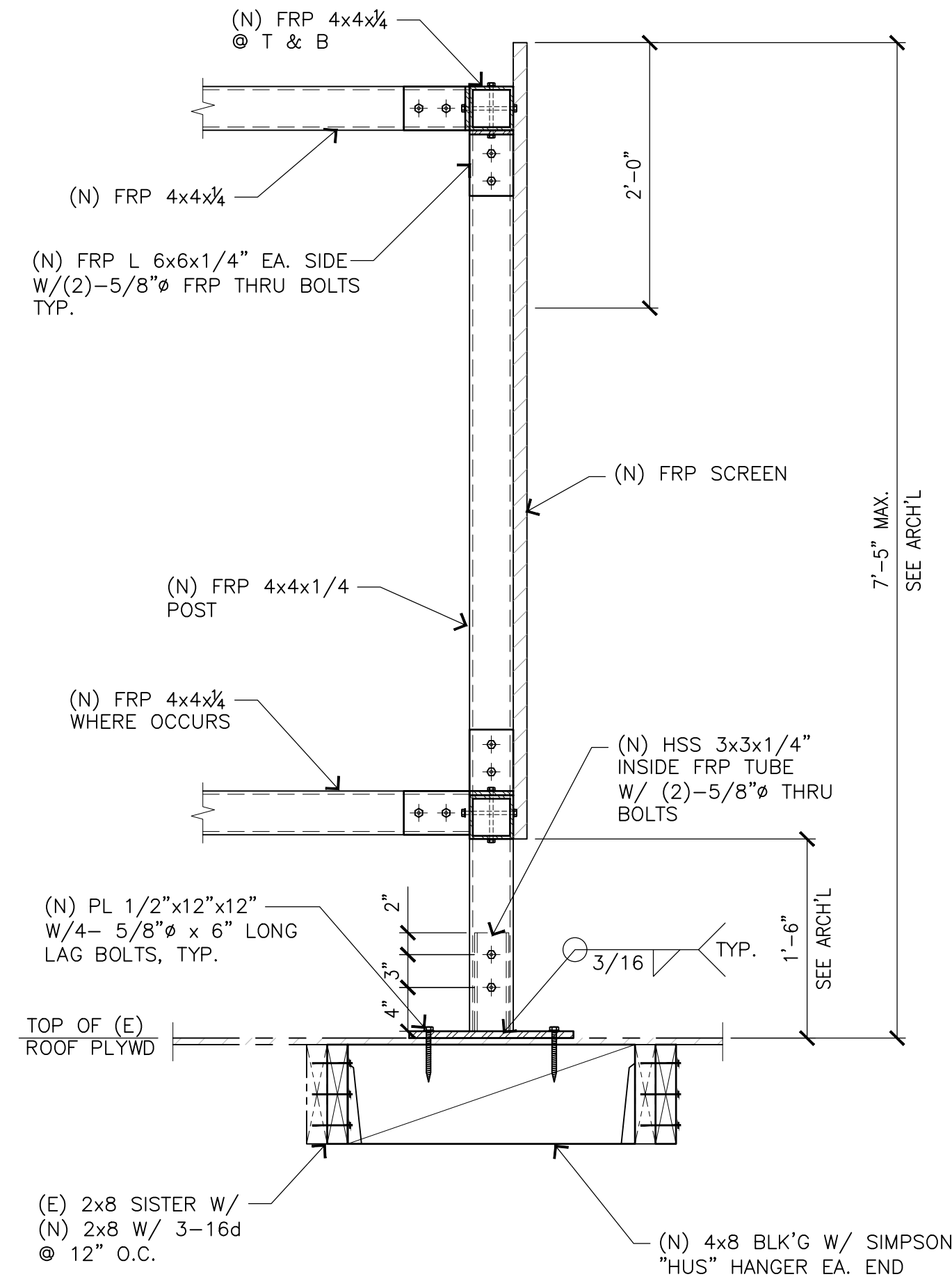
REV	DATE	DESCRIPTION
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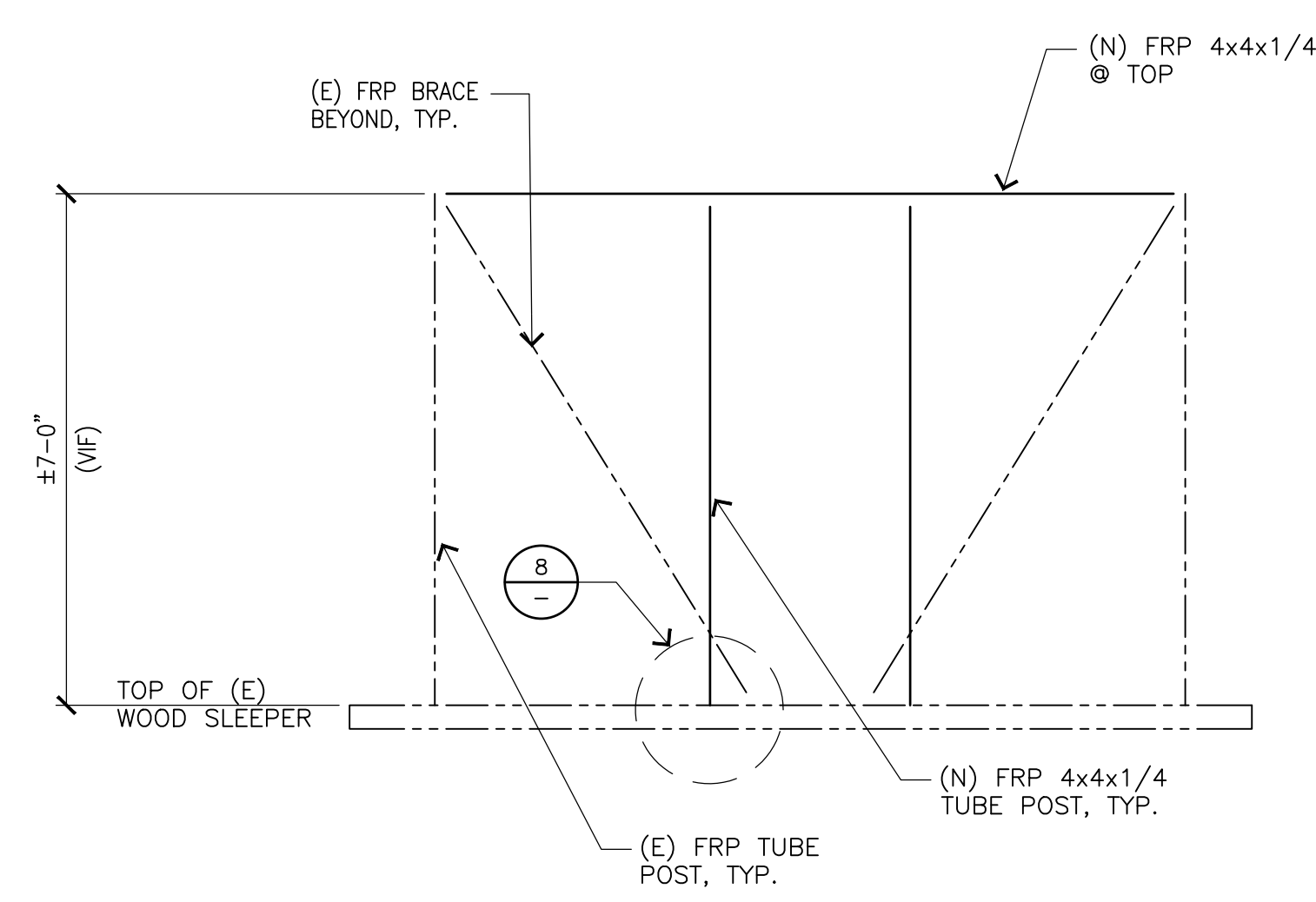
SHEET TITLE  
**FRP SCREEN FRAMING PLAN**

SHEET NUMBER  
**S-2**



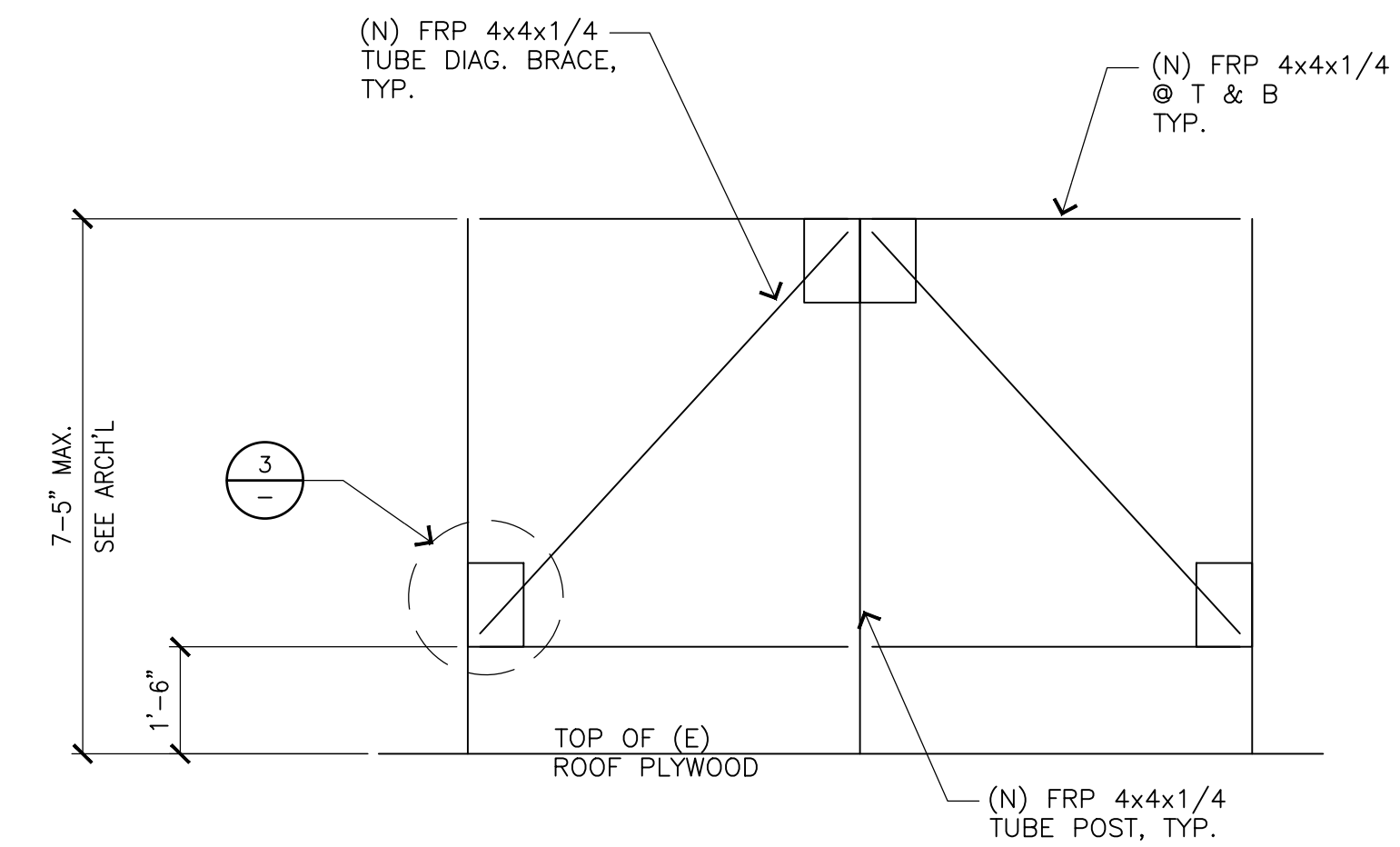
DETAIL

7



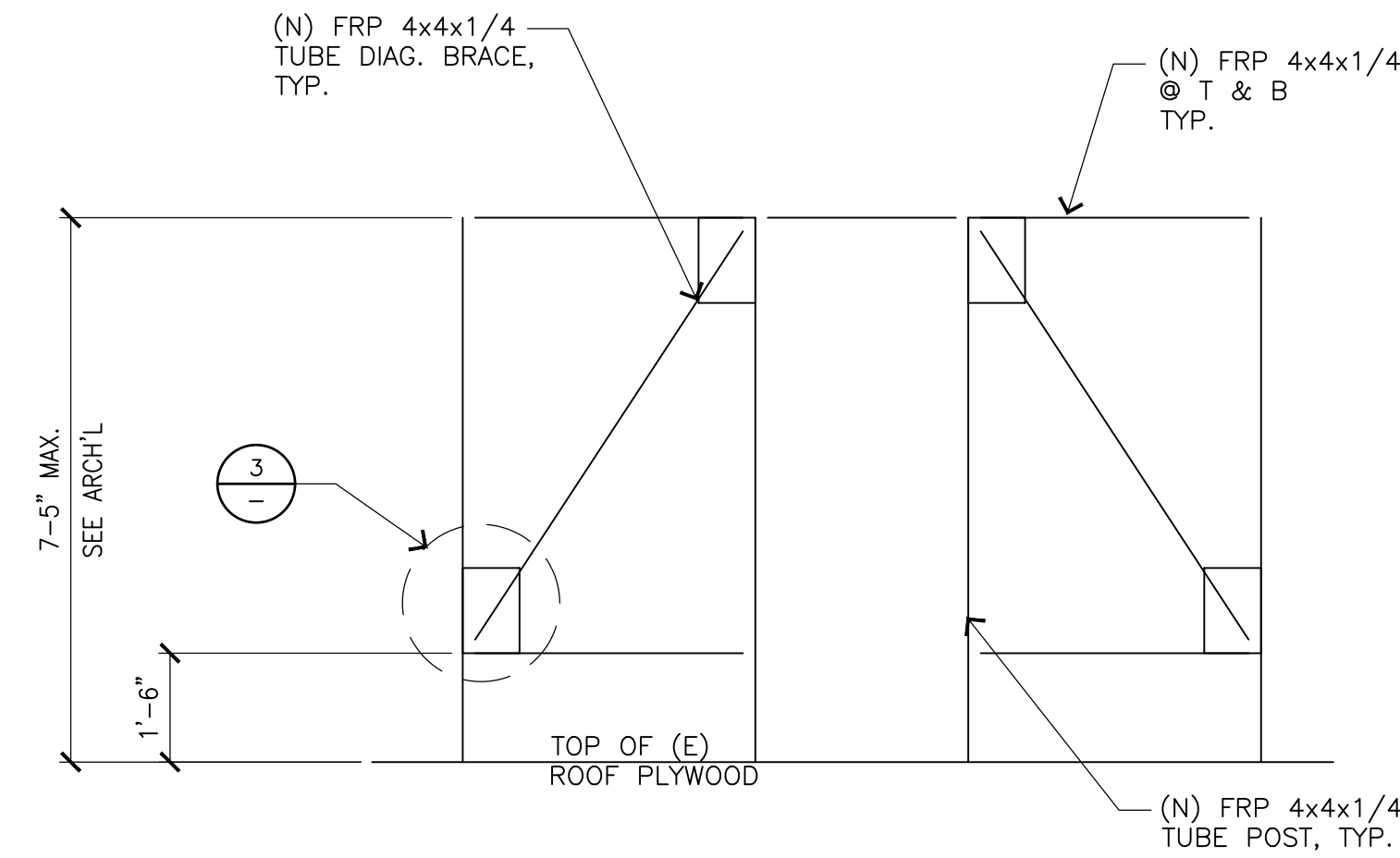
ELEVATION

4



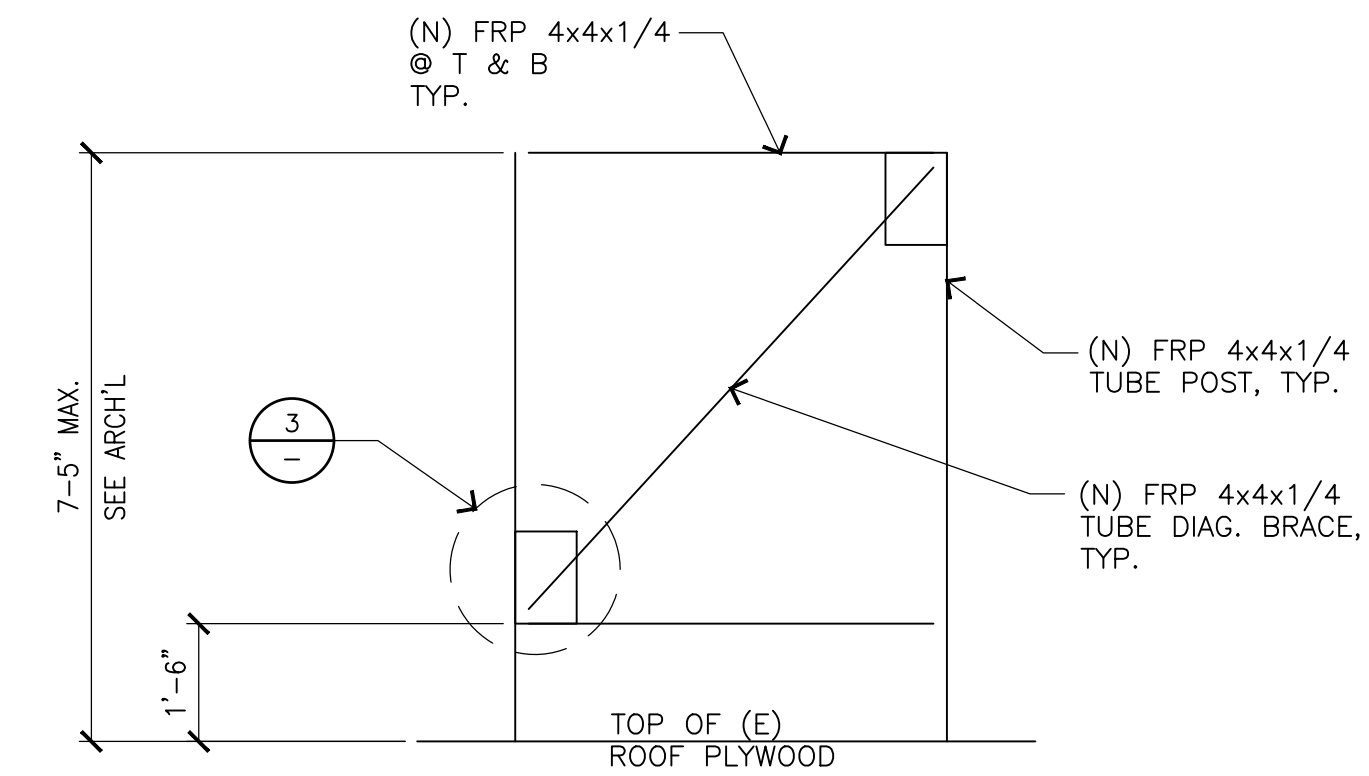
ELEVATION

1



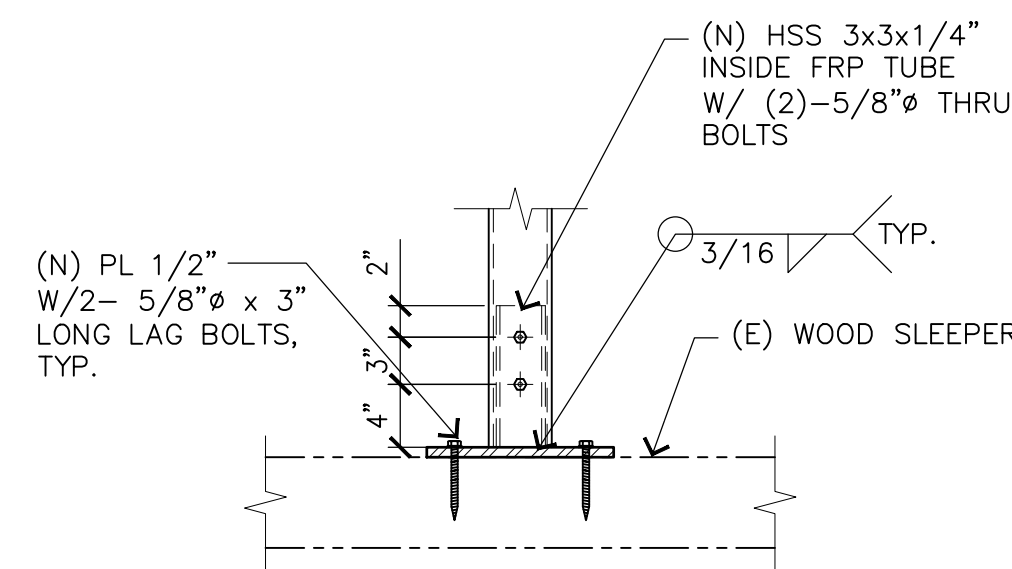
ELEVATION

5



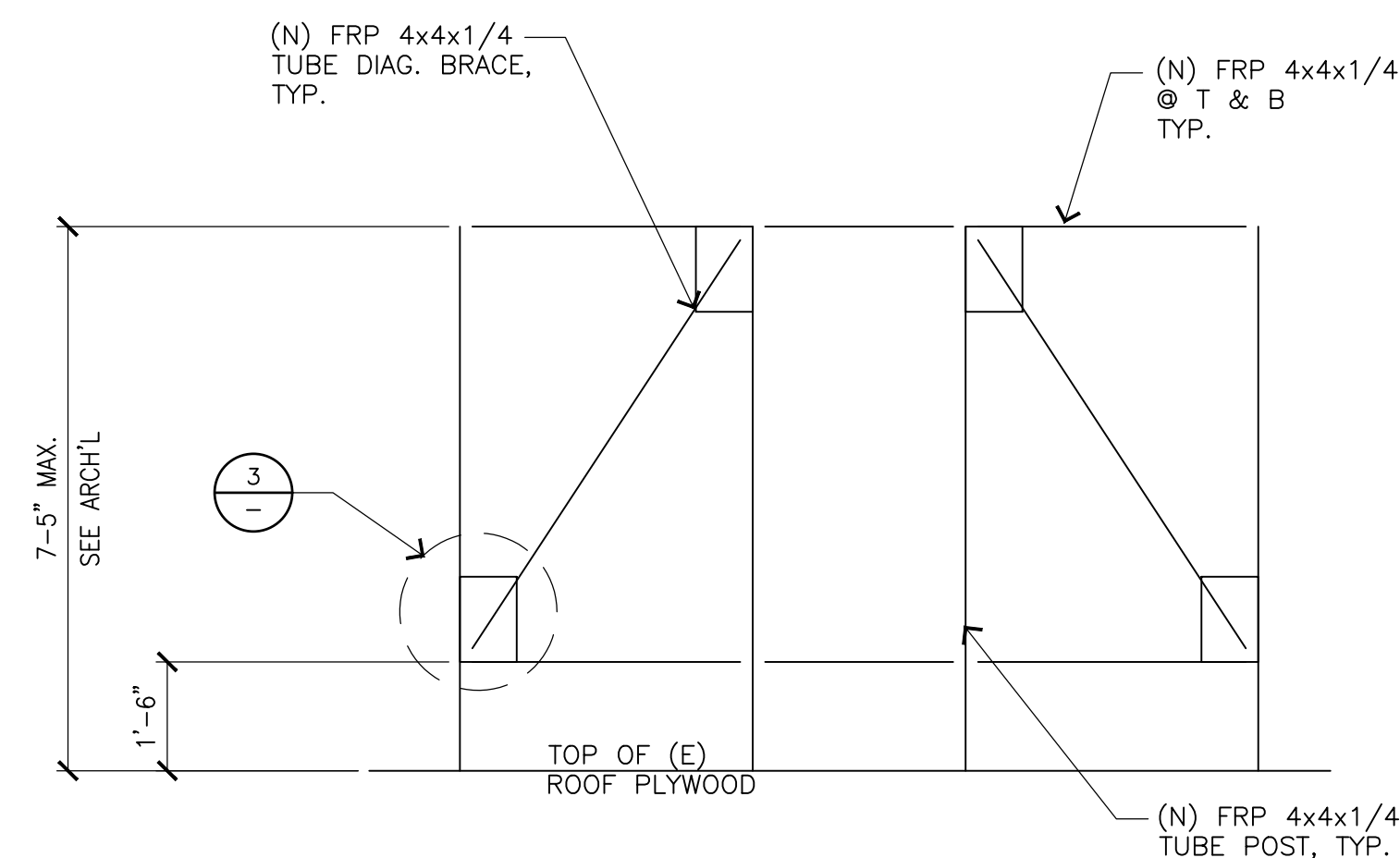
ELEVATION

2



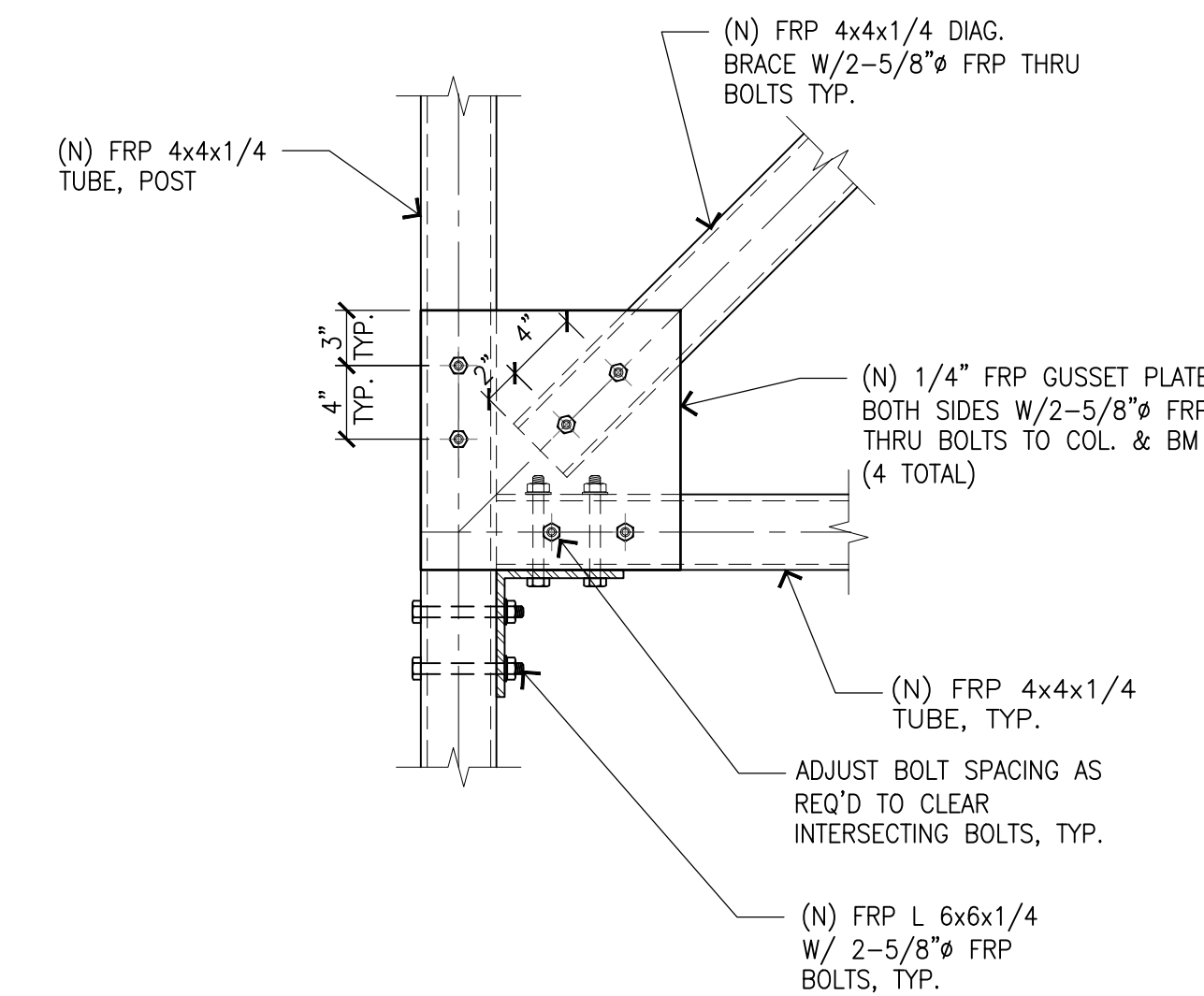
DETAIL

8



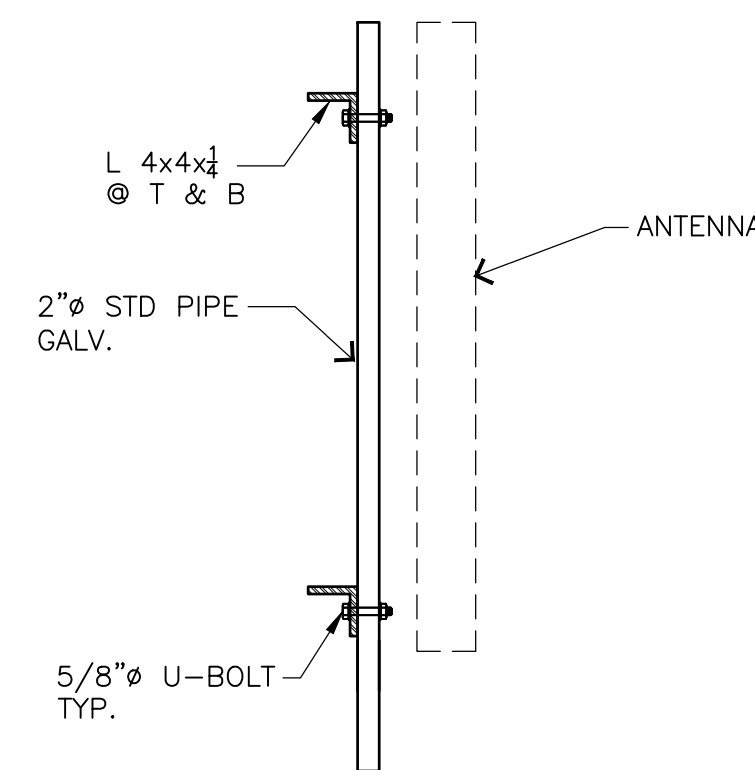
ELEVATION

6



DETAIL

3



ANTENNA MOUNTING DETAIL

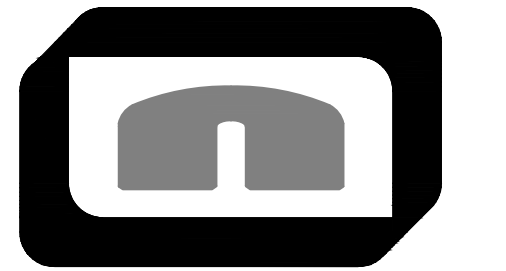
9



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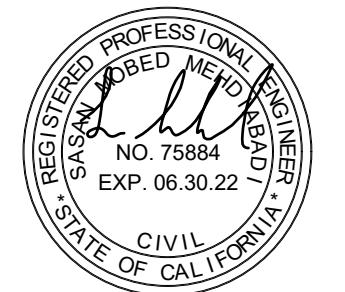
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**NICK ENGINEERING**

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REV	DATE	DESCRIPTION
-	05-28-20	REVISED CDs
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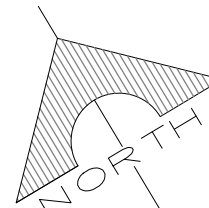
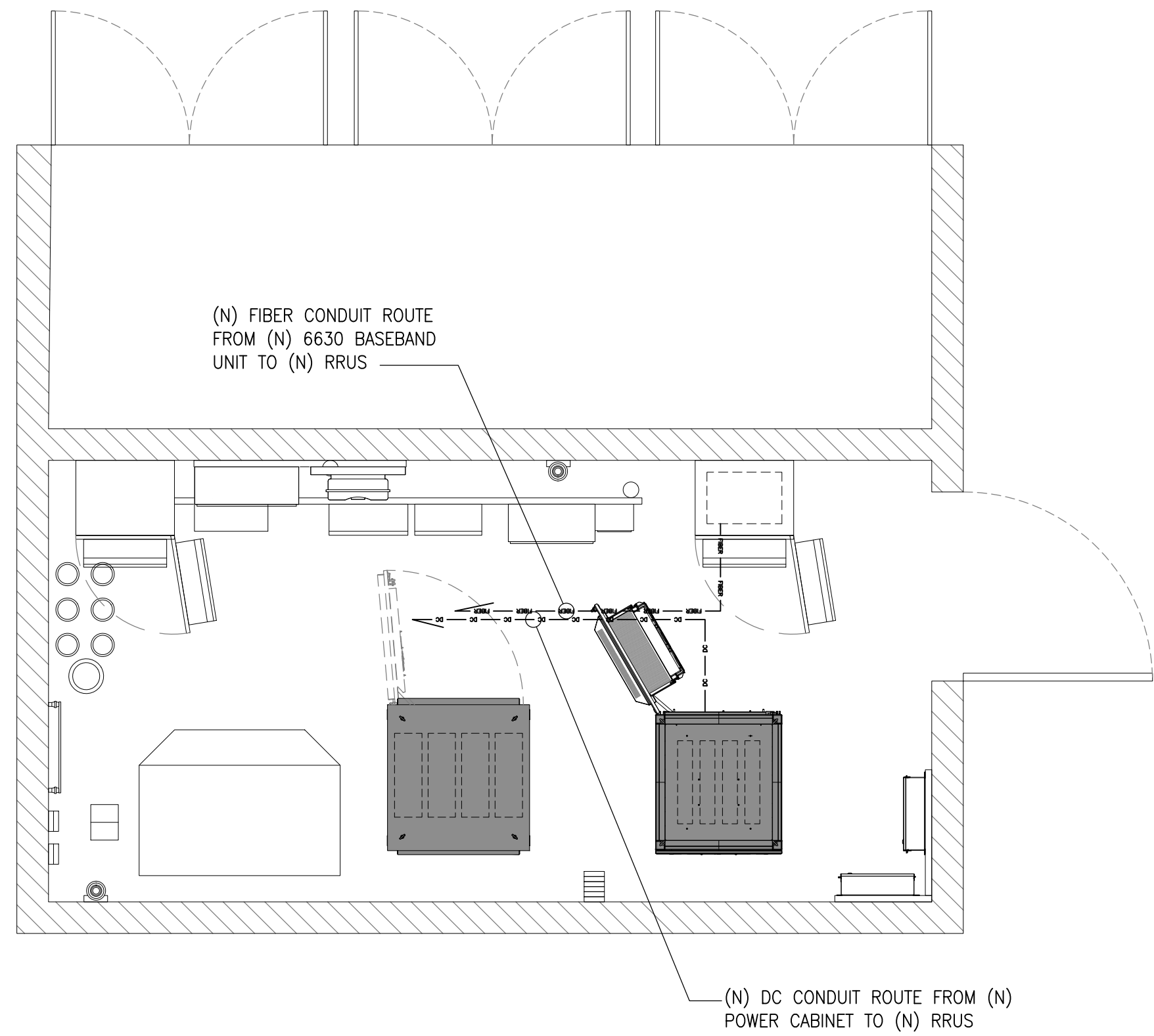


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ROOFTOP (OUTDOOR)

SHEET TITLE  
**SECTIONS AND DETAILS**

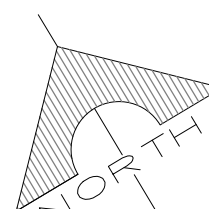
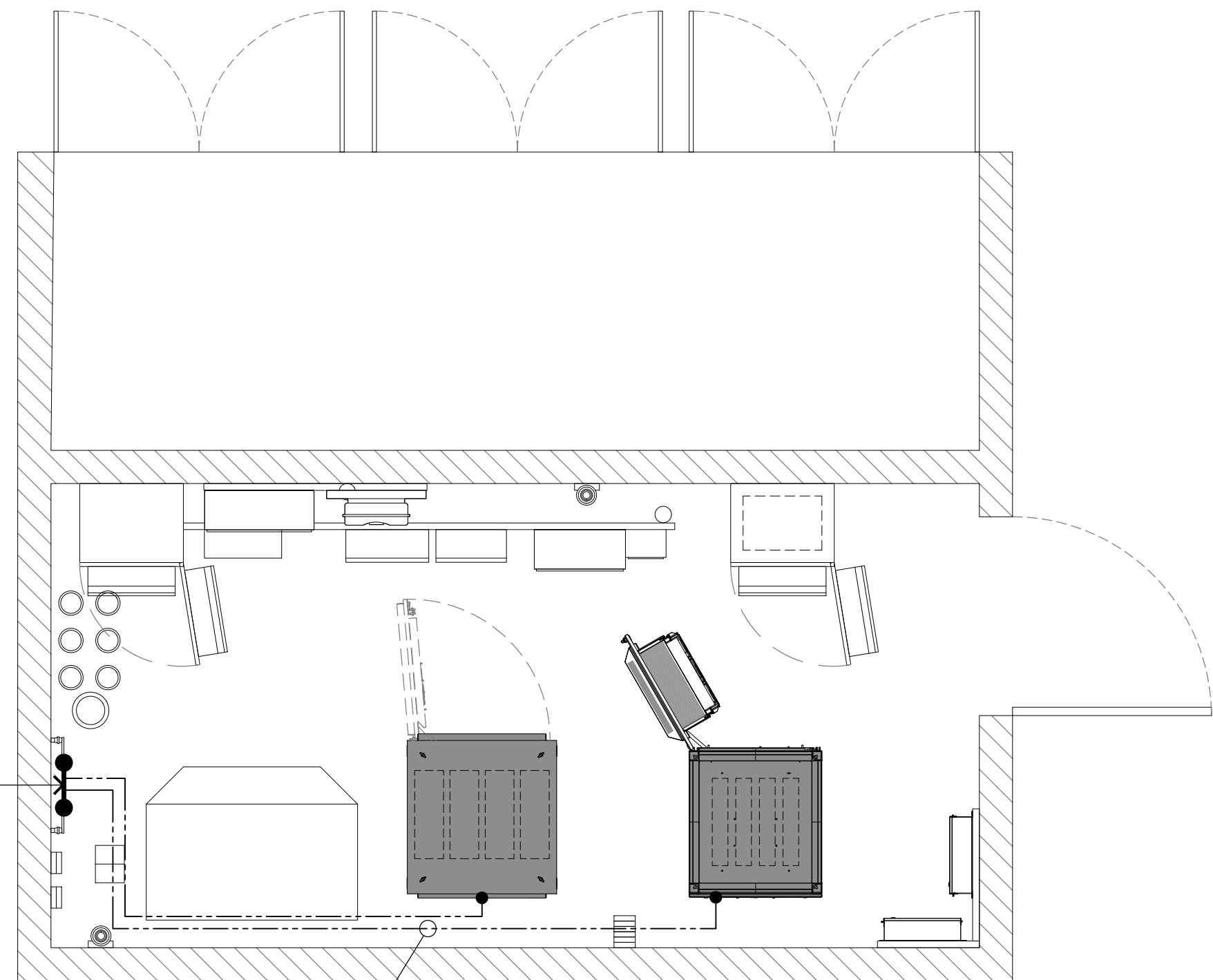
SHEET NUMBER

**S-3**



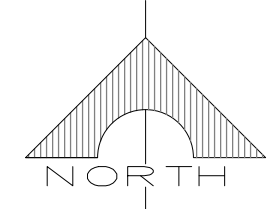
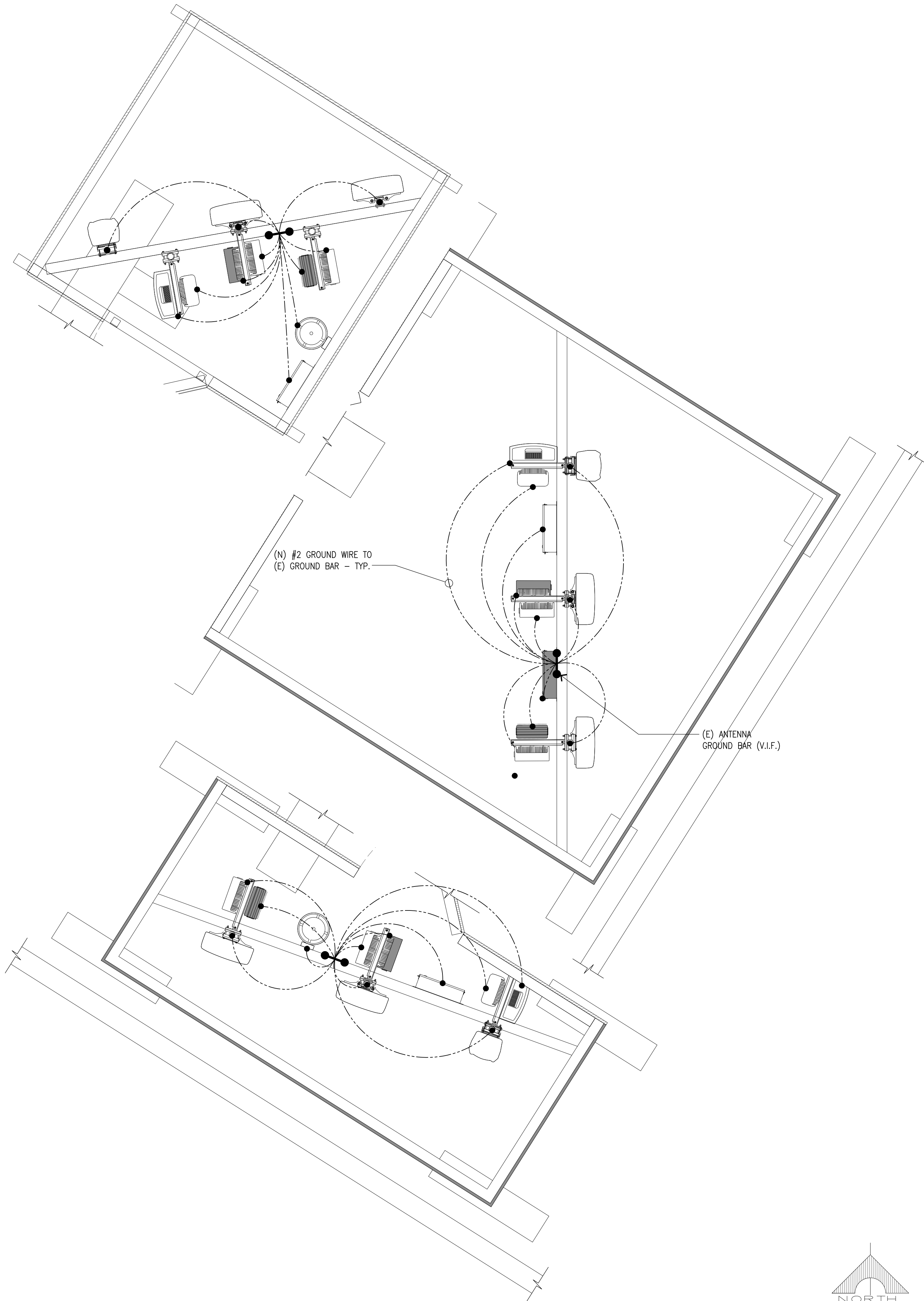
**EQUIPMENT ELECTRICAL PLAN**

SCALE:  
3/8"=1'-0" **2**



**EQUIPMENT GROUNDING PLAN**

**3**



**ANTENNA GROUNDING PLAN**

SCALE:  
1/2"=1'-0" **1**

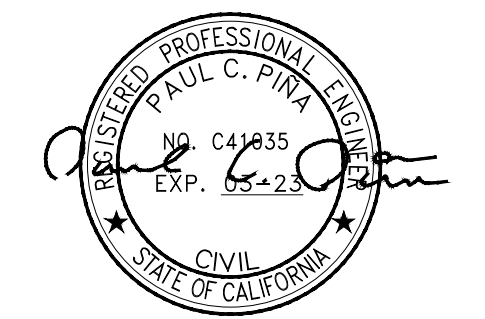


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REV	DATE	DESCRIPTION
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SHEET TITLE  
**ELECTRICAL AND GROUNDING PLAN**

SHEET NUMBER

**E-1**

**NOTES**

1. CONDUIT ROUTING AND GROUNDING ARE DIAGRAMMATICALLY SHOWN THE ON THE PLANS AND ARE ONLY APPROXIMATIONS. THE EXACT LOCATION AND ROUTING SHALL BE FIELD VERIFIED. FOR GROUNDING DETAILS SEE SHEET E-2.
2. ALL ELECTRICAL EQUIPMENT AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED LAMICOID NAMEPLATES, INDICATING THE CIRCUITS ORIGINATION AND ALL EQUIPMENT TERMINATIONS.
3. CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES, COAX CABLES, AND RET CONTROL CABLES. CABLE STRAIN-RELIEFS, CABLE SUPPORTS SHALL BE APPROVED FOR THE PURPOSE. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
4. SUBCONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS, AND CIRCUIT CONDUCTORS, AS REQUIRED FOR A COMPLETED SYSTEM AND SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. CONTRACTOR SHALL RESTORE ANY TRENCHED AREAS TO ORIGINAL CONDITIONS BY EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR CONCRETE AREAS TO ORIGINAL CROSS SECTION.
6. ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 80 PVC, EXCEPT THAT ELBOWS AND RISERS SHALL BE RMC. ALL UNDERGROUND ELBOWS SHALL BE SWEEPING BENDS (2" MINIMUM REQUIRED).
7. THE SUBCONTRACTOR SHALL SUPPLY AT&T WITH RESULTS FROM PRE-CONSTRUCTION AND POST-CONSTRUCTION OHM TESTING (GROUNDING) RESULTS.
8. THE SUBCONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A "FALL OF POTENTIAL" TEST ON THE PROPOSED SUPPLEMENTAL GROUNDING FIELD PRIOR TO FINAL CONNECTION OF THE GROUNDING SYSTEM TO EQUIPMENT. THE TEST SHALL BE PERFORMED BY A QUALIFIED AND CERTIFIED TESTING AGENT. PROVIDE INDEPENDENT TEST RESULTS TO THE PROJECT MANAGER FOR REVIEW. THE GROUNDING SYSTEM RESISTANCE TO EARTH GROUNDING SHALL NOT EXCEED FIVE (5) OHMS. IF THE GROUNDING TEST EXCEEDS THE MAXIMUM OF (5) OHMS, THE SUBCONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL GROUNDING RODS AND CONNECTIONS AS REQUIRED TO MEET THE (5) OHMS' MAXIMUM.
9. THE INSPECTOR HAVING JURISDICTION SHALL INSPECT ALL GROUNDING CONNECTIONS FOR TIGHTNESS. EXOTHERMIC WELDED CONNECTIONS SHALL BE APPROVED BEFORE BEING PERMANENTLY CONCEALED.
10. SUBCONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE PERFORMED BY QUALIFIED WIREMEN IN COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION.

**SECTION "P" - SURGE PROTECTORS**

- CABLE ENTRY PORTS (HATCH PLATES) (2 AWG)
- GENERATOR FRAMEWORK (IF AVAILABLE) (2 AWG)
- TELCO GROUND BAR (2 AWG)
- COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (2 AWG)
- +24V POWER SUPPLY RETURN BAR (2 AWG)
- 48V POWER SUPPLY RETURN BAR (2 AWG)
- RECTIFIER FRAMES.
- COAX SUPPRESSION

**SECTION "A" - SURGE ABSORBERS**

- INTERIOR GROUND RING (2 AWG)
- EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (2 AWG)
- METALLIC COLD WATER PIPE (IF AVAILABLE) (2 AWG)
- BUILDING STEEL (IF AVAILABLE) (2 AWG)

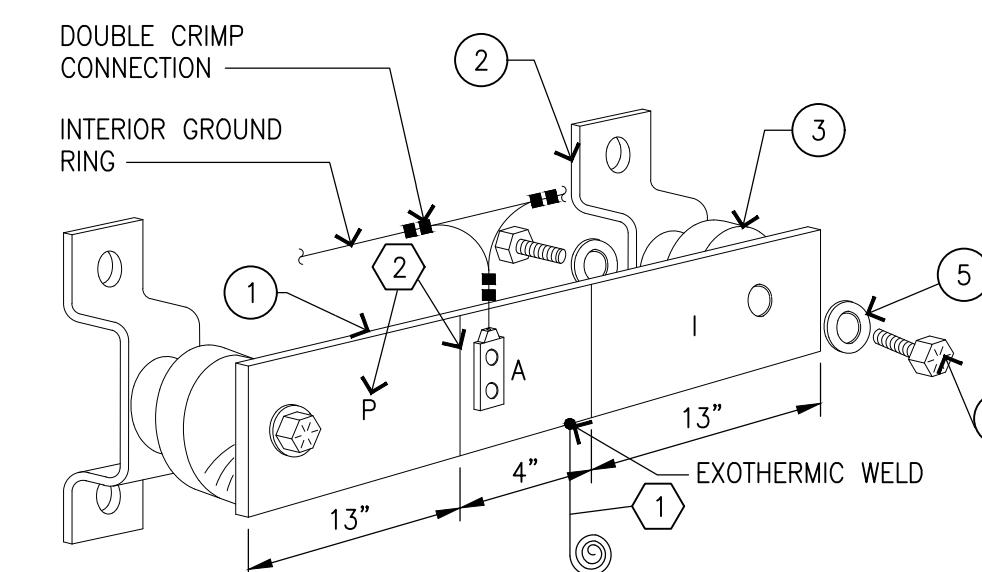
**SECTION "I" - ISOLATED GROUND ZONE**

- ALL COMMUNICATIONS EQUIPMENT FRAMES.
- ISOLATED GROUND BAR - IGB (2 AWG)

**DETAIL NOTES:**

1. EXOTHERMICALLY WELD 2 AWG BARE TINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "I") WITH 1" HIGH LETTERS.

NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C. OR APPROVED EQUAL			
NO.	REQ.	PART NO.	DESCRIPTION
1	1	1/4"x4"x30"	SOLID GND. BAR
2	2	A-7056	WALL MTG. BRKT.
3	2	3061-4	INSULATORS
4	4	3012-1	5/8"-11x1" H.H.C.S.
5	4	3015-8	5/8 LOCKWASHER

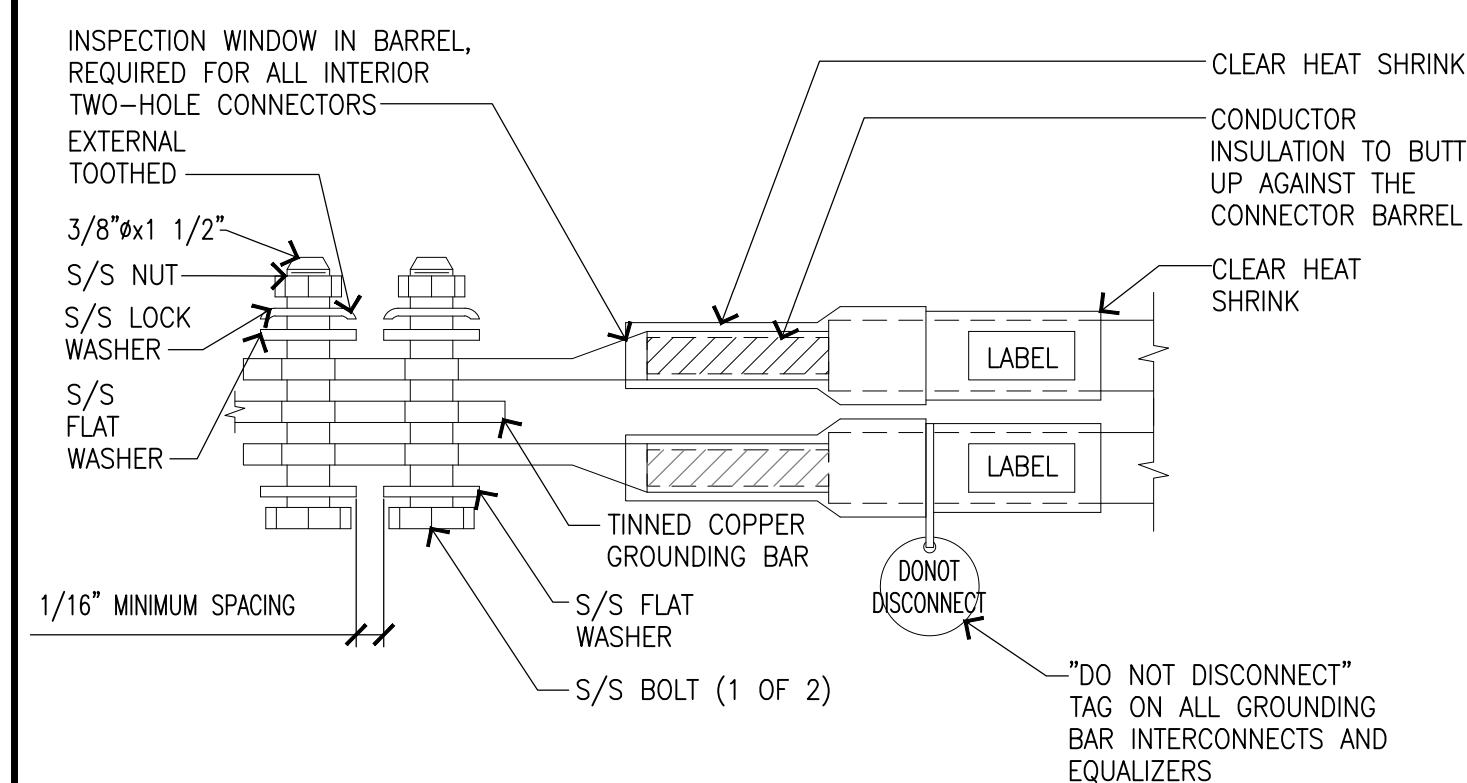


**GROUNDING NOTES**

**3**

**GROUND BAR**

**1**

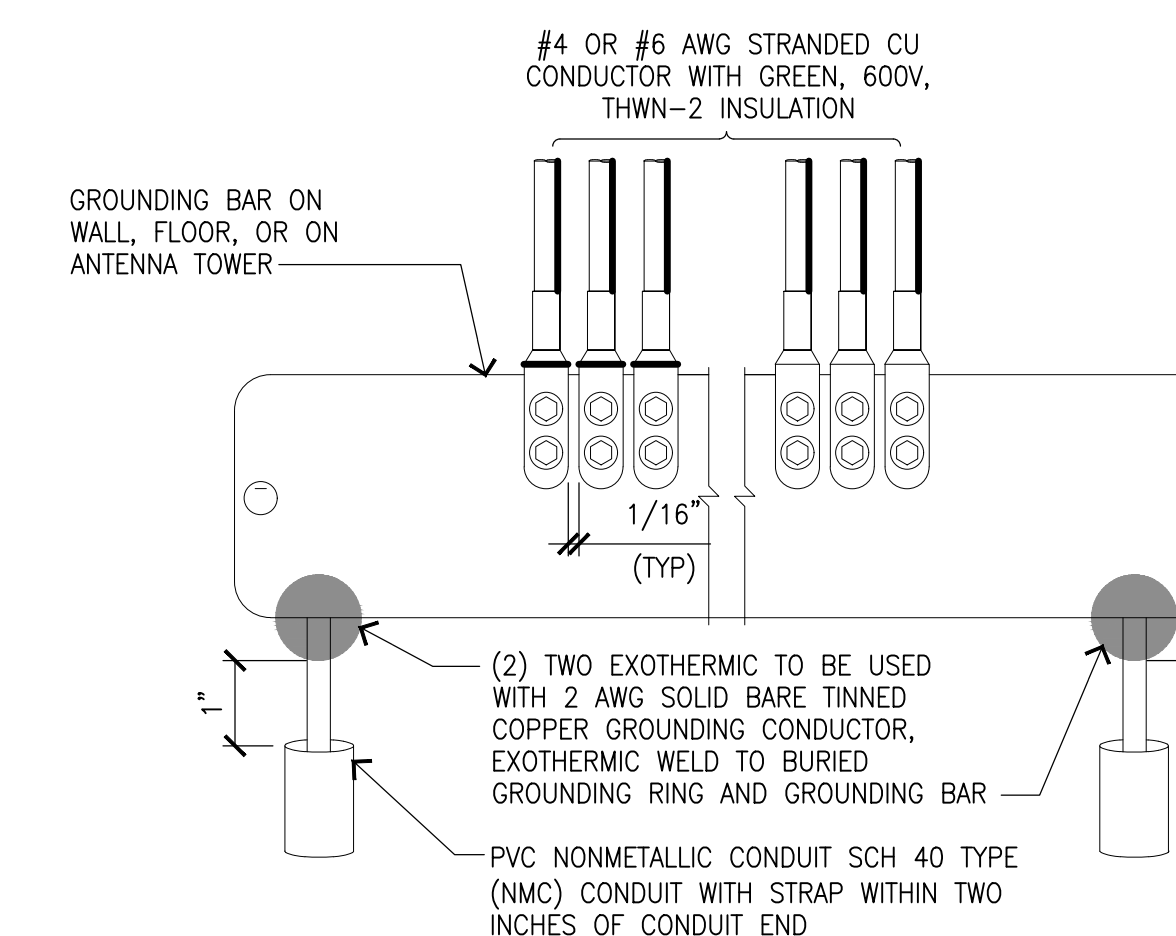


**INTERIOR TWO HOLE LUG**

**4**

**INSTL OF GRND CONDUCTOR**

**2**



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ROOFTOP (OUTDOOR)

SHEET TITLE  
**GROUNDING DETAILS**

SHEET NUMBER

**E-2**

# LTE Justification Plots

Market Name: Los Angeles

Site ID: CLL02520

Site Address:

ATOLL Plots Completion Date: NOV 1, 2022

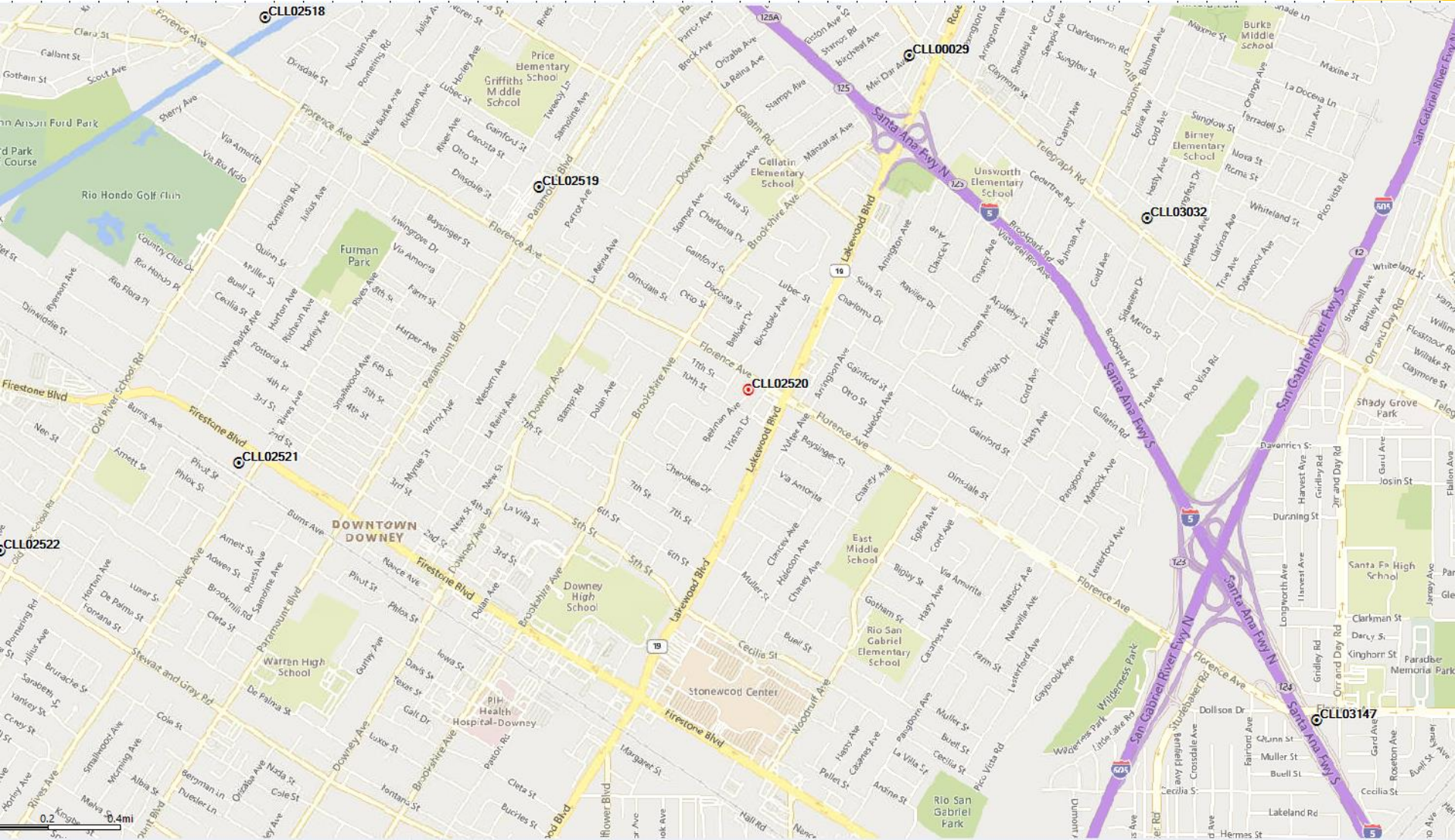




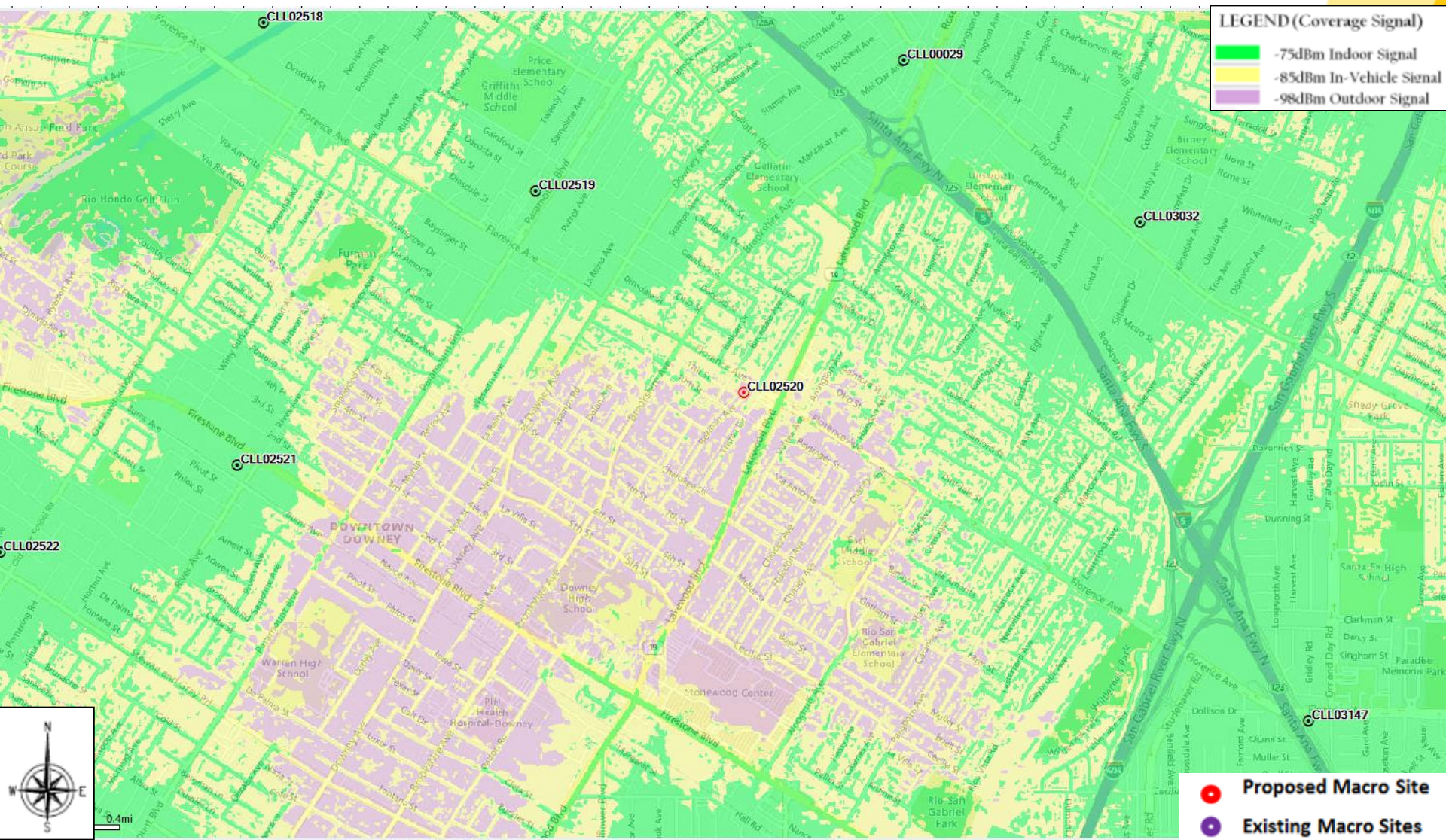
## Assumptions

- ❖ Propagation of the site plots are based on our current Atoll (Design tool) project tool that shows the preferred design of the AT&T 4G-LTE network coverage.
- ❖ The propagation referenced in this package is based on proposed LTE coverage of AT&T users in the surrounding buildings, in vehicles and at street level . For your reference, the scale shown ranges from good to poor coverage with gradual changes in coverage showing best coverage to marginal and finally poor signal levels.
- ❖ The plots shown are based on the following criteria:
  - **Existing:** Since LTE network modifications are not yet **On-Air**. The first slide is a snap shot of the area showing the existing site without LTE coverage in the AT&T network.
  - **The Planned LTE Coverage with the Referenced Site:** Assuming all the planned neighboring sites of the target site are approved by the jurisdiction and the referenced site is also approved and **On-Air**, the propagation is displayed with the planned legends provided.
  - **Without Target site:** Assuming all the planned neighboring sites are approved by the jurisdiction and **On-Air** and the referenced site is **Off-Air**, the propagation is displayed with the legends provided.





# LTE Coverage Before site CLL02520



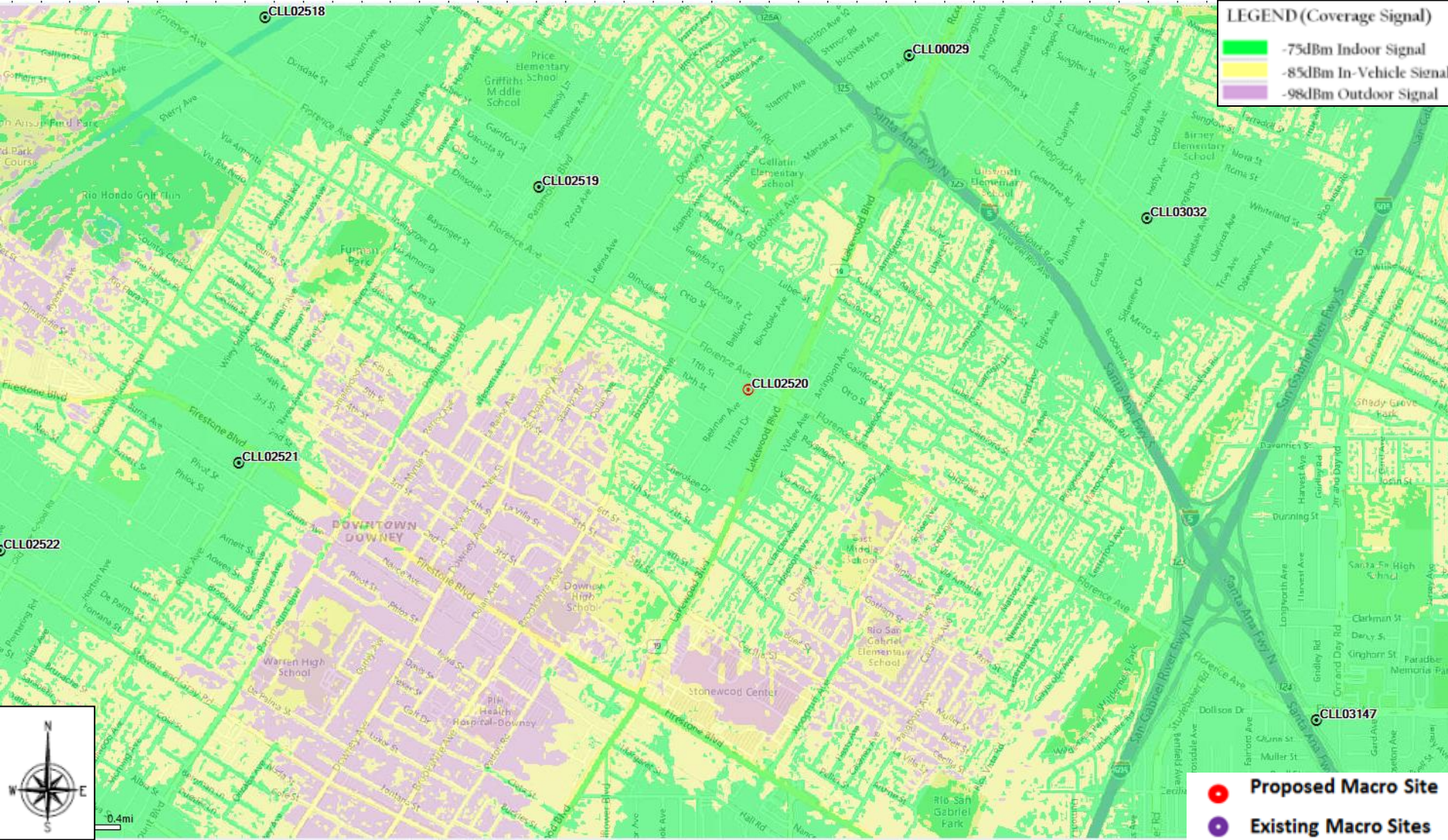
**LEGEND (Coverage Signal)**

- 75dBm Indoor Signal
- 85dBm In-Vehicle Signal
- 98dBm Outdoor Signal

- Proposed Macro Site**
- Existing Macro Sites**



# LTE Coverage After site CLL02520



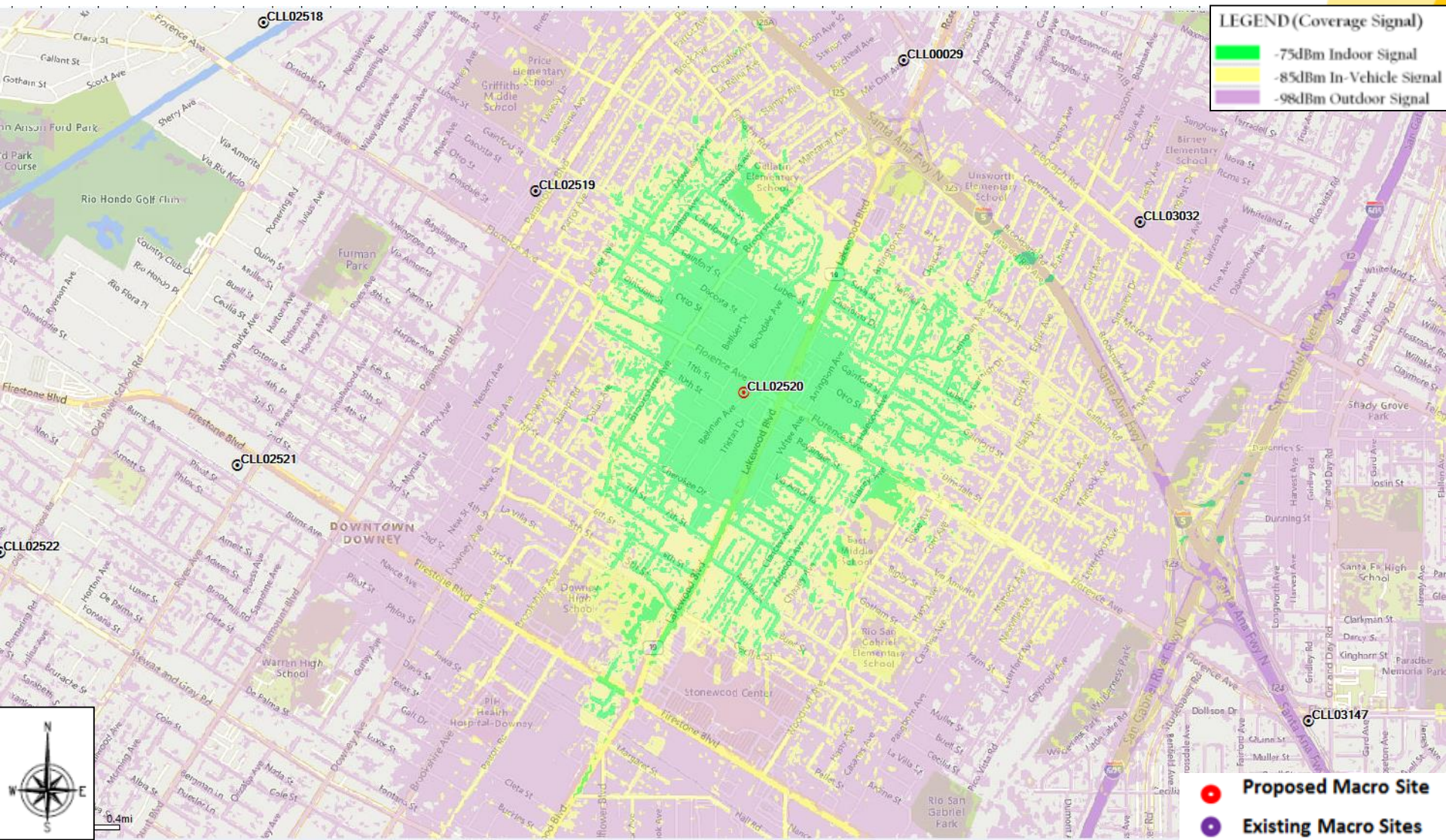
**LEGEND (Coverage Signal)**

- -75dBm Indoor Signal
- -85dBm In-Vehicle Signal
- -98dBm Outdoor Signal

- Proposed Macro Site
- Existing Macro Sites



# LTE Coverage standalone site CLL02520



**LEGEND (Coverage Signal)**

- -75dBm Indoor Signal
- -85dBm In-Vehicle Signal
- -98dBm Outdoor Signal

- Proposed Macro Site
- Existing Macro Sites



# Coverage Legend



**In-Building Service:** In general, the areas shown in dark green should have the strongest signal strength and be sufficient for most in-building coverage. However, in-building coverage can and will be adversely affected by the thickness/construction type of walls, or your location in the building (i.e., in the basement, in the middle of the building with multiple walls, etc.)

**In-Transit Service:** The areas shown in the yellow should be sufficient for on-street or in-the-open coverage, most in-vehicle coverage and possibly some in-building coverage.

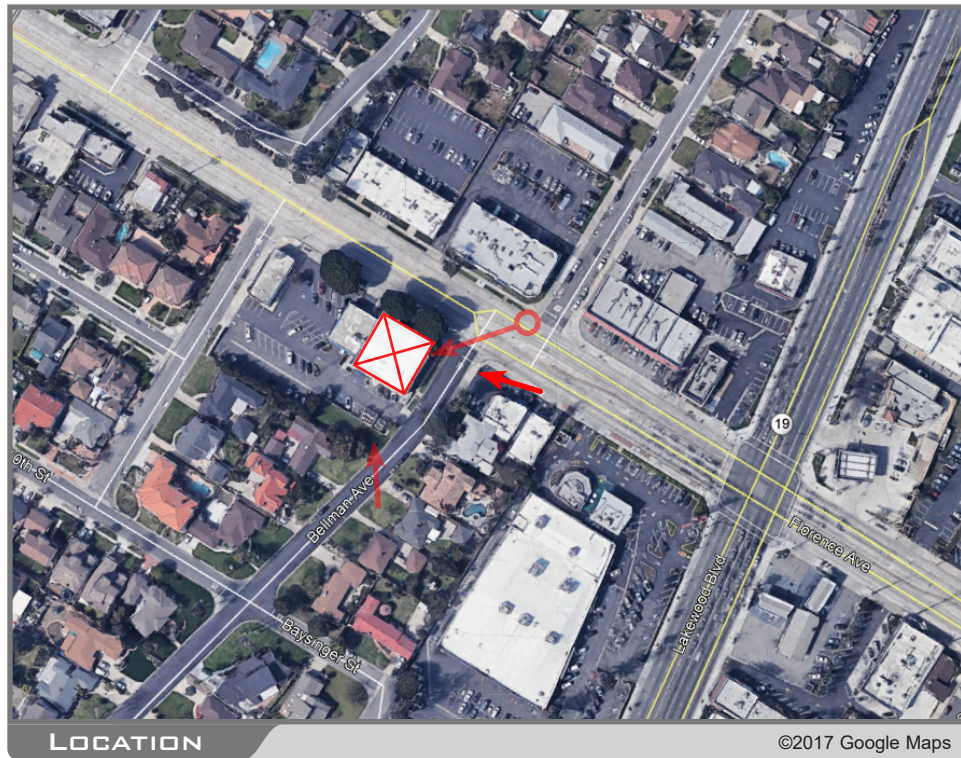
**Outdoor Service:** The areas shown in the purple should have sufficient signal strength for on-street or in-the-open coverage, but may not have it for in-vehicle coverage or in-building coverage.



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VIEW 1



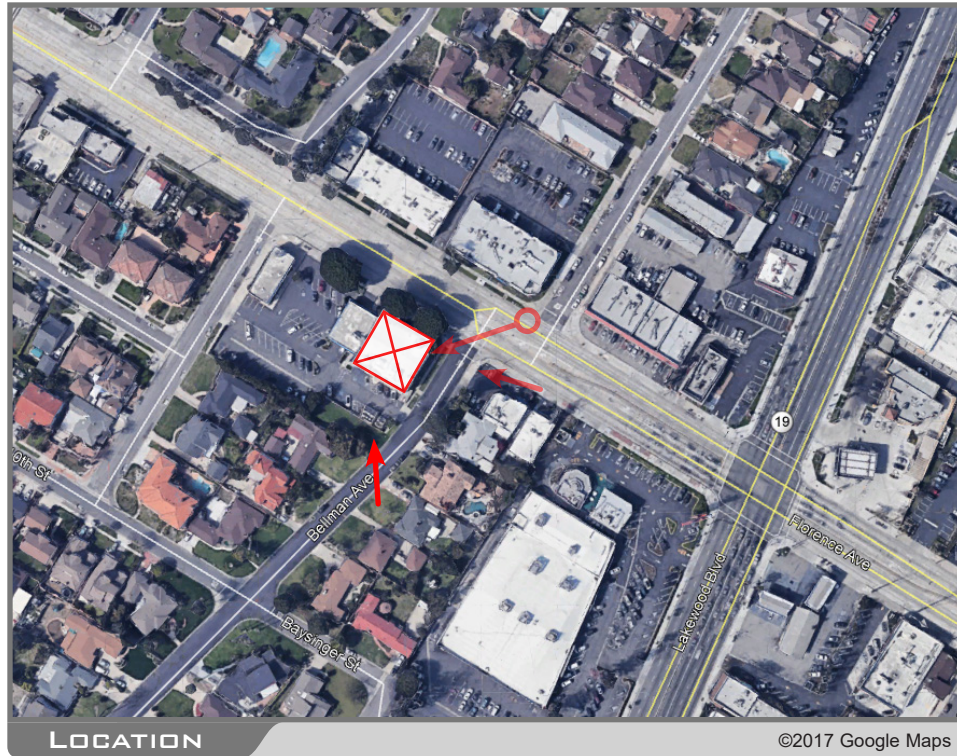


# CLU2520/CLL02520 DOWNEY DIALYSIS CENTER

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VIEW 2



LOCATION

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EXISTING



PROPOSED

LOOKING NORTH FROM BELLMAN AVENUE





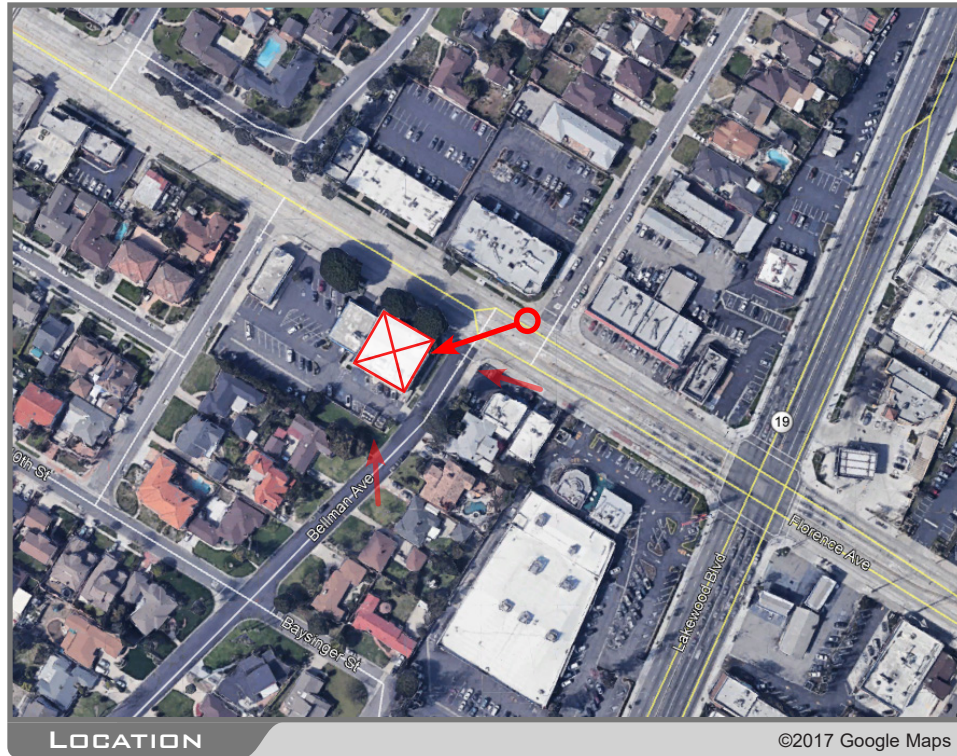
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DOWNEY DIALYSIS CENTER

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VIEW 3



EXISTING



PROPOSED LOOKING SOUTHWEST FROM FLORENCE BOULEVARD