



- I. **CALL TO ORDER: A REGULAR PLANNING COMMISSION MEETING - 6:30 P.M.**
- II. **FLAG SALUTE**
- III. **ROLL CALL:** Chair Ortiz, Vice Chair Uva, Duarte, and Guerra
- IV. **PLANNING COMMISSIONER ANNOUNCEMENTS; REQUEST FOR FUTURE AGENDA ITEMS; AND CONFERENCE/MEETING REPORTS:**
- V. **PRESENTATIONS:**
- VI. **REPORT ON CITY COUNCIL ACTIONS:**
- VII. **PUBLIC HEARINGS:**

**RECOMMENDED ACTION**  
Approve

**1. PLN-20-00052 (Conditional Use Permit)**

Location: 8630 Florence Avenue  
 Request: A request to modify an existing building mounted wireless telecommunications facility.  
 CEQA: Categorical Exemption – Section 15301 (Class 1, Existing Facilities)  
 Staff: Senior Planner Alfonso Hernandez  
 Contact: [ashernandez@downeyca.org](mailto:ashernandez@downeyca.org)

**2. PLN-22-00102 (Site Plan Review)**

Location: 10538 La Reina Avenue  
 Request: A request to construct a 4-unit multi-family development.  
 CEQA: Categorical Exemption – Section 15303 (Class 3, New Construction or Conversion of Small Structures)  
 Staff: Assistant Planner Abraham Luna  
 Contact: [aluna@downeyca.org](mailto:aluna@downeyca.org)

**3. PLN-22-00147 (Conditional Use Permit)**

Location: 7956 Florence Avenue  
 Request: A request to allow on-site consumption of beer and wine under an ABC Type 41 license.  
 CEQA: Categorical Exemption – Section 15301 (Class 1, Existing Facilities)  
 Staff: Associate Planner Irving Anaya  
 Contact: [ianaya@downeyca.org](mailto:ianaya@downeyca.org)

Approve

Approve



- VIII. **NON-AGENDA/CONSENT CALENDAR/OTHER BUSINESS PUBLIC COMMENTS:** This portion of the agenda provides an opportunity for the public to address the Planning Commission on non-agenda, consent and other business items within the jurisdiction of the Planning Commission and not listed on the agenda. It is requested, but not required, that you state your name, address and subject matter upon which you wish to speak. Please limit your comments for non-agenda items to no more than four (4) minutes. Pursuant to the Brown Act, no discussion or action, other than a brief response, referral to the City Planning staff or schedule for a subsequent agenda, shall be taken by the Planning Commission on any issue brought forth under this section.
- IX. **CONSENT CALENDAR ITEMS:** Items in this section will be voted on in one motion unless a Commissioner requests separate actions. Further, any Consent Calendar items removed from the agenda will be considered by the Commission following the public hearing items.
4. **PLN-21-00175 – 11613 Adenmoor Avenue (Final Parcel Map)**
- X. **OTHER BUSINESS:**
- XI. **STAFF MEMBER COMMENTS:**
- XII. **ADJOURNMENT:** To Wednesday, March 1, 2023 at 6:30 pm, at Downey City Hall, 11111 Brookshire Avenue, Downey, CA. 90241.

**NOTICE: SECTION 9806 – APPEALS**

*Any person aggrieved or affected by any final determinations of the Commission concerning an application for action of an administrative nature, including a variance or a permit, or any condition or requirement thereon, or upon the failure of the Commission to make its findings and determinations within thirty (30) days after the closure of the hearing thereon, no later than fifteen (15) calendar days, (Exception: subdivisions. no later than ten (10) calendar days) after the date of the decision or of the Commission's failure to make a determination, may file with the City Planner a written notice of appeal therefrom to the Council. Such appeal shall set forth specifically wherein it is claimed the Commission's findings were in error, and wherein the decision of the Commission is not supported by the evidence in the matter, and wherein the public necessity, convenience, and welfare require the Commission's decision to be reversed or modified*

Supporting documents are available at: [www.downeyca.org](http://www.downeyca.org); City Hall-City Clerk's Department, 11111 Brookshire Avenue, Monday – Friday, 7:30 a.m. – 5:30 p.m. Video streaming of the meeting is available on the City's website. In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in this meeting, complete the City's Title II ADA Reasonable Accommodation Form located on the City's website and at City Hall - City Clerk's Department, 11111 Brookshire Avenue, Monday – Friday, 7:30 a.m. – 5:30 p.m., and submit to the City Clerk's Department or contact **(562) 904-7280** or TTY 7-1-1, **48 business hours prior to the Planning Commission meeting.**

The City of Downey prohibits discrimination on the basis of disability in any of its program and services. For questions, concerns, complaints, or for additional information regarding the ADA, contact the City's ADA/Section 504 Coordinator at [ADACoordinator@downeyca.org](mailto:ADACoordinator@downeyca.org); Phone: (562) 299-6619; or TTY at 7-1-1.

In compliance with Title VI of the Civil Rights Act, the City of Downey prohibits discrimination of any person in any of its program and services. If written language translation of City agendas or minutes, or for oral



language interpretation at a City meeting is needed, contact (562) 299-6619, **48 business hours prior to the meeting.**

En cumplimiento con el Título VI de la Ley de Derechos Civiles, la Ciudad de Downey prohíbe la discriminación de cualquier persona en todos sus programas y servicios. En caso de necesitar una traducción escrita de los órdenes del día o las actas de las reuniones de la ciudad, o para solicitar un intérprete oral para una reunión de la ciudad, comuníquese con el (562) 299-6619 en el horario de atención comercial, **48 horas antes de la reunión.**

I Art Bashmakian, Interim City Planner, City of Downey, do hereby certify, under penalty of perjury under the laws of the State of California that the foregoing notice was posted pursuant to Government Code Section 54950 Et. Seq. and City of Downey Ordinance at the following locations: Downey City Hall, Downey City Library, and Barbara J. Riley Senior Center.

Dated this 9<sup>th</sup> day of February, 2023

Art Bashmakian

Art Bashmakian  
Interim City Planner



# STAFF REPORT

PLANNING DIVISION

**DATE:** FEBRUARY 15, 2023

**TO:** PLANNING COMMISSION

**REVIEWED BY:** ART BASHMAKIAN, INTERIM CITY PLANNER *AB*

**PREPARED BY:** ALFONSO HERNANDEZ, PRINCIPAL PLANNER *AH*

**SUBJECT:** **PLN-20-00052 (CONDITIONAL USE PERMIT) – A REQUEST TO MODIFY AN EXISTING BUILDING MOUNTED WIRELESS TELECOMMUNICATION FACILITY**

**LOCATION:** 8630 FLORENCE AVENUE

**ZONING:** C-P (PROFESSIONAL OFFICE)

## REPORT SUMMARY

AT&T has requested approval to modify an existing Conditional Use Permit to install and operate a building mounted wireless communication facility consisting of the following:

- Remove nine (9) remote radio units (RRUS) and replace with six (6) upgraded RRUS;
- Relocate Nine (9) four foot (4') building mounted antennas into three separate enclosures;
- Construct one new rooftop enclosure, relocate an additional enclosure, and maintain in place a third enclosure;
- Remove one (1) equipment cabinet and one (1) power plant, and replace with upgraded battery cabinet and power plant.

Based on the analysis contained in this report, staff is recommending the Planning Commission adopt the following titled resolution:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A CONDITIONAL USE PERMIT (PLN-20-00052), THEREBY ALLOWING THE MODIFICATION OF AN EXISTING BUILDING MOUNTED WIRELESS COMMUNICATION FACILITY CONSISTING OF NINE (9) ANTENNAS AND SIX (6) REMOTE RADIO UNITS TO BE LOCATED ON TOP OF AN EXISTING 27' TALL BUILDING, AND THREE (3) EQUIPMENT CABINETS AND ONE (1) POWER PLANT CABINET TO BE GROUND MOUNTED WITHIN AN EXISTING BLOCK WALL ENCLOSURE OF 9'4" X 18'8", 175 SQUARE FEET IN AREA ON PROPERTY LOCATED AT 8630 FLORENCE AVENUE, ZONED C-P (PROFESSIONAL OFFICE).**

## **BACKGROUND**

The subject site is a 26,457 square foot parcel located on the south side of Florence Avenue, at the southwest corner of Florence Avenue and Bellman Avenue. The site is improved with an existing 11,201 square foot office building. The Planning Commission has approved the existing building mounted wireless communication facility and modifications to the facility in 2004, 2010, and 2014. The site is zoned C-P (Professional Office) with a General Plan Land Use Designation of Office.

On June 10, 2020, a representative for AT&T, Chase Dariso, submitted a Land Use Permit Application for a Conditional Use Permit, permit number PLN-20-00052. Staff completed a review of the application on July 9, 2020, and deemed the application incomplete. After submitting all required documents On September 29, 2020, the applicant submitted new documents, and the application was deemed incomplete once again on October 28, 2020. After submitting all required documents once again on November 20, 2022, the application was deemed complete on December 2, 2022. As a matter of clarification, it should be noted that the subject property was sold and the applicant took time to seek new property owner approval before resubmitting to move forward with project. On January 5, 2023, notice of the pending public hearing was sent to all property owners within 500-feet of the subject site and the notice was published in the *Downey Patriot*. On January 18, 2023, at the Planning Commission meeting the item was continued to a date certain of February 15, 2023.

The image below is an aerial view of the site depicting the existing wireless facility in a red outline. The photo on the following page shows the existing building mounted enclosures from a street view also depicted in a red outline.



***Aerial view of the site***



***View of building***

## **DISCUSSION**

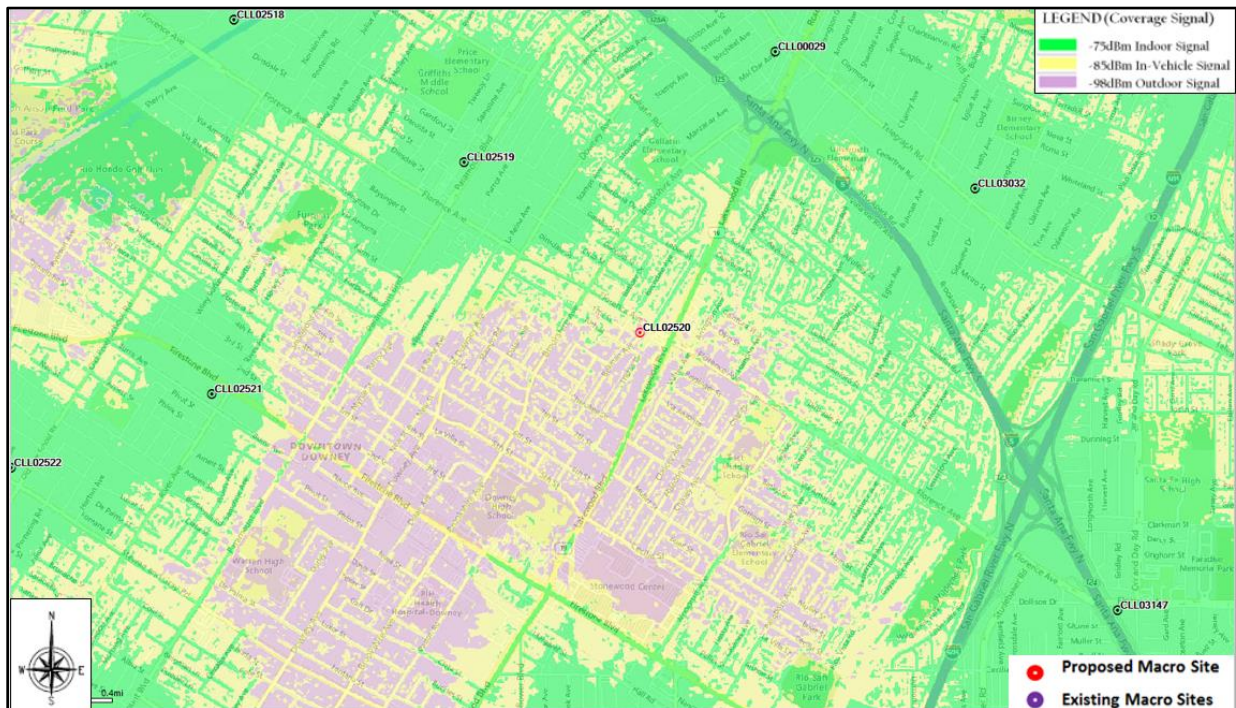
The existing wireless facility is comprised of two enclosures, described as Sector “A” and Sector “B” on the submitted set of plans (Exhibit C.) The applicants are now proposing an additional enclosure, titled Sector “C”. The facility overall currently operates with nine antennas, and the proposed modifications will still result in the same number of antennas. Specifically, the site currently operates with three antennas located within Sector B closest to the south side of the building, and another six antennas located within Sector A closest to the north side of the building. Sector B will be removed and relocated approximately 20’ to the east and closer to the edge of the buildings south elevation. Sector A will remain in place but only house three antennas. The other three antennas previously located within Sector A will now be relocated to the new Sector C. Sector C will be the largest enclosure and built closest to the edge of the east building elevation. Placement was purposefully selected by the applicant in an effort to achieve the best service coverage. Attempts to stepback the enclosures, at the request of Staff, were not possible due to the potential drop in coverage. Information related to the intent of the facility and increase in service coverage can be found in the following section. Below are the additional components of the project:

- Remove nine (9) remote radio units (RRUS) and replace with six (6) upgraded RRUS;
- Relocate Nine (9) four foot (4’) building mounted antennas into three separate enclosures;
- Construct one new rooftop enclosure, relocate an additional enclosure, and maintain in place a third enclosure;

- Remove one (1) equipment cabinet and one (1) power plant, and replace with upgraded battery cabinet and power plant.

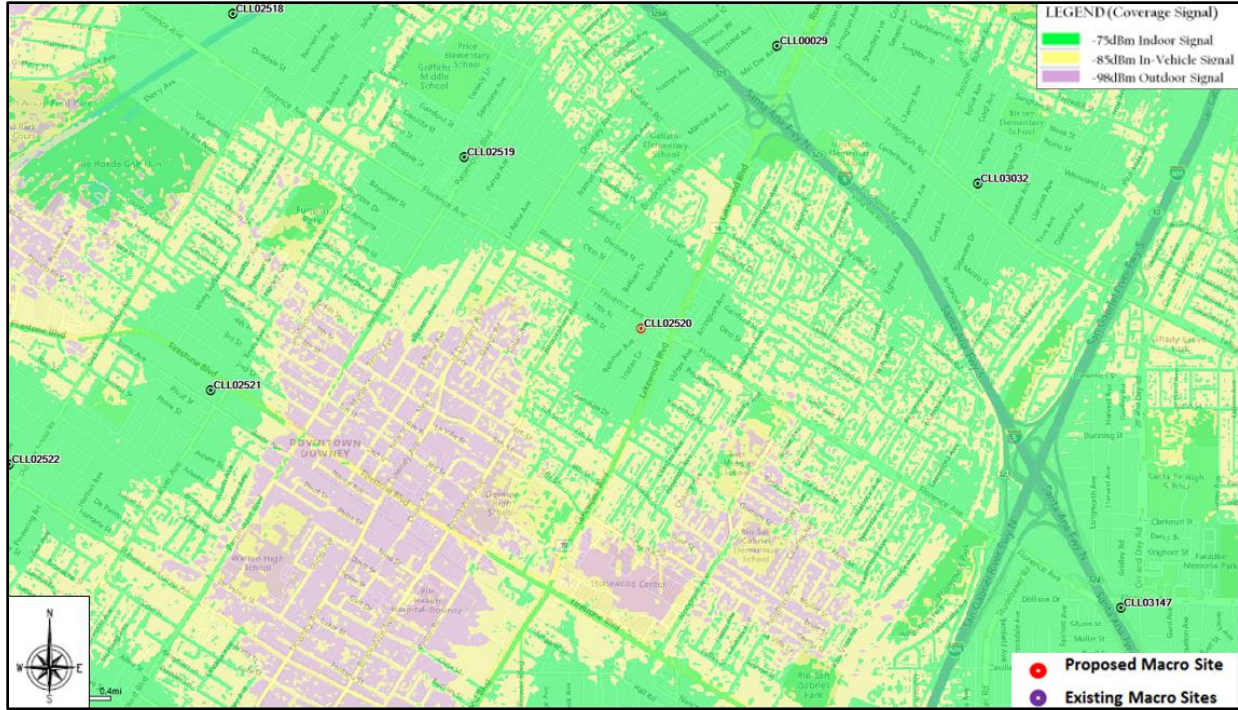
Coverage

Pursuant to the Downey Municipal Code, a Wireless Communication Facility is “an antenna structure and any appurtenant facilities or equipment located within City limits that provide commercial wireless service”. Wireless Communication Facilities owned by individual wireless carriers, e.g. Verizon Wireless, AT&T, Sprint, etc., are necessary to provide cellular service to its customers. As cellular technology advances the demand for bandwidth increases. As such, existing wireless facilities experience dips in service and speed due to a high user amount and demand. Therefore, when there is a lack of bandwidth capacity in an area these carriers will, among various options, potentially choose to modify existing facilities. Due to the advancement in cellular technology, the need for more communications facilities has increased. Specifically, in this instance, ATT&T has identified a need for additional coverage and a lack of capacity in this area, as can be seen by the propagation map on the following page.



*Propagation Map without proposed modifications*

The center of the map shows the location of the proposed wireless communications facility. As can be seen, the service provided by the center cell site is less potent than others located throughout the city prompting a gap in coverage. The construction of the proposed wireless communications facility is necessary to bridge the need for additional coverage. Below is the new coverage area with the proposed modification.



*Propagation Map with proposed modifications*

**Concealment**

The proposed roof mounted equipment is to be concealed from the public’s view as required by the Downey Municipal Code. The concealment consists of three enclosures surrounding the antennas and RRUS and all other associated materials. The enclosure is six and a half feet (6.5’) tall above the parapet of the 27’ tall existing building. The four foot (4’) tall antennas fit completely within the enclosure and are installed at a height lower than the enclosure. The enclosure materials are minimal, however it complements the minimal design of the building and achieves the intent of absolute concealment. The materials are stucco to be painted with a green band surrounding the top. Lastly, the ground mounted equipment will be entirely screened within the existing block wall enclosure.

**DEVELOPMENT REVIEW COMMITTEE**

On July 2, 2020, the City’s Development Review Committee reviewed the requested application. No division or department articulated any concerns regarding the project. Standard comments were provided, and can be reviewed in the attached resolution.

**ENVIRONMENTAL ANALYSIS**

Staff has reviewed the proposed wireless communication facility for compliance with the California Environmental Quality Act (CEQA). Upon completion of this review, it has been determined that this request is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1 – Existing Facilities). Categorical Exemptions are projects, which have been determined not to have a significant effect on the environment and have been exempted from the requirements of the California Environmental Quality Act. Class 1, consists of minor alteration of existing structures involving negligible expansion of existing or former use. Staff



believes that the proposed wireless facilities meets all of the requirements needed to qualify for a Class 1 exemption.

## **FINDINGS**

Pursuant to Municipal Code Section 9824.06, there are four (4) findings that must be adopted prior to the Planning Commission approving the Conditional Use Permit. A discussion of the findings follows:

**A. The requested Conditional Use Permit will not adversely affect the purpose and intent of the Zoning Code or the City's General Plan or the public convenience or general welfare of persons residing or working in the neighborhood thereof.**

A purpose of the Zoning Code is to regulate the use of land in order to promote the public's health, safety, and the general welfare. The Conditional Use Permit allows wireless communication facilities subject to specific standards listed in Subsection 9426.04(b) of the Downey Municipal Code. As the project conforms to the development standards applicable to wireless communication facilities, it is determined that the Conditional Use Permit will therefore not adversely affect the purpose and intent of the Zoning Code.

General Plan Policy 2.7.1 states: "Provide adequate utility and communications infrastructure". Furthermore, General Plan Program 2.7.1.2 states: "Promote the expansion of communication networks to meet the needs of city residents, business and other land uses". This project will expand and improve the communication network and fulfill the aforementioned program. Therefore, the Conditional Use Permit will not adversely affect the City's General Plan.

The Zoning Code and the General Plan function to promote the public convenience and general welfare of persons residing or working throughout the City. As the Conditional Use Permit is consistent with the Zoning Code and the General Plan, it is therefore determined that it will not adversely affect the public convenience or the general welfare of persons residing or working in the surrounding neighborhood.

**B. The requested use will not adversely affect the adjoining land uses and the growth and development of the area in which it is proposed to be located.**

The uses and structures on the site as well as those on nearby sites will remain the same, and uninterrupted by the proposed wireless facility. Staff does not anticipate adverse impacts as a result of the proposal specifically because the wireless site will be roof mounted and ground equipment will be located within an existing enclosure. In addition, building mounted wireless facilities are common within commercial corridors and designed to be compatible with other structures on site. The wireless facility will not negatively affect the current or future use of the building.

- C. The size and shape of the site proposed for the use is adequate to allow the full development of the proposed use in a manner not detrimental to the particular area.**

The site is approximately 26,457 square feet and improved with an existing 11,201 square foot building. Installation of the antennas and various related equipment will occur on top of the existing building with equipment cabinets placed on the ground within an existing enclosure. The proposed equipment and enclosure will conform to all required and/or legally nonconforming setbacks and all other applicable development standards. Therefore, the size and shape of the site is adequate to allow the proposed use without being detrimental to the area.

- D. The traffic generated by the proposed use will not impose an undue burden upon the streets and highways in the area.**

The proposed wireless communication facility will generate limited visits to the site for maintenance purposes only. The facility operates automatically without the presence of a working crew. The limited visits will not impose an undue burden upon the streets and highways in the area as the capacity of the surrounding streets and highways can accommodate the trips generated by the maintenance of the facility.

### **CORRESPONDENCE**

As of the date that this report was printed, staff has not received any correspondence regarding this application.

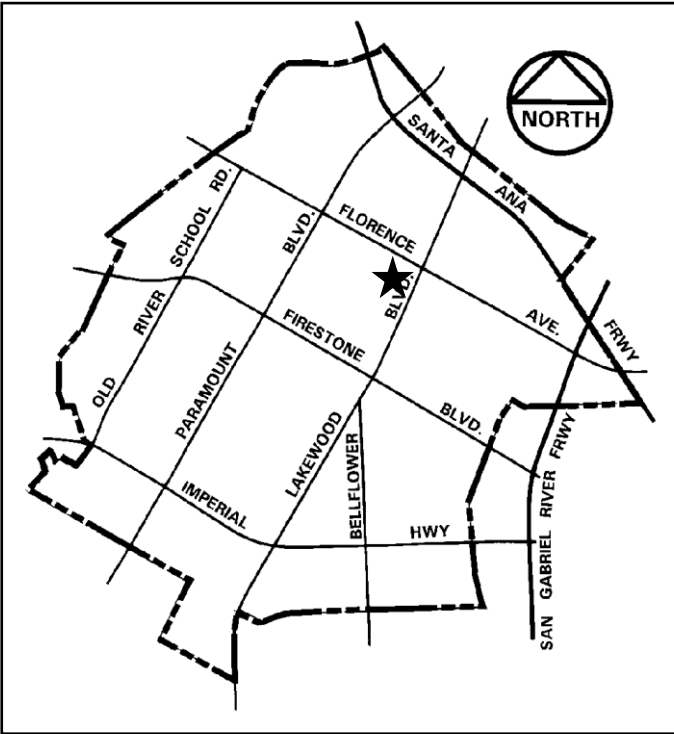
### **CONCLUSION**

Based on the analysis contained within this report, staff is recommending that the Planning Commission adopt a resolution to approve PLN-20-00052 (Conditional Use Permit), thereby allowing the modifications to the installation and operation of an existing Wireless Telecommunications Facility, subject to the conditions of approval listed in the draft resolution.

### **EXHIBITS**

- A. Maps
- B. Draft Resolution
- C. Propagation Maps
- D. Photo Simulations
- E. Project Plans

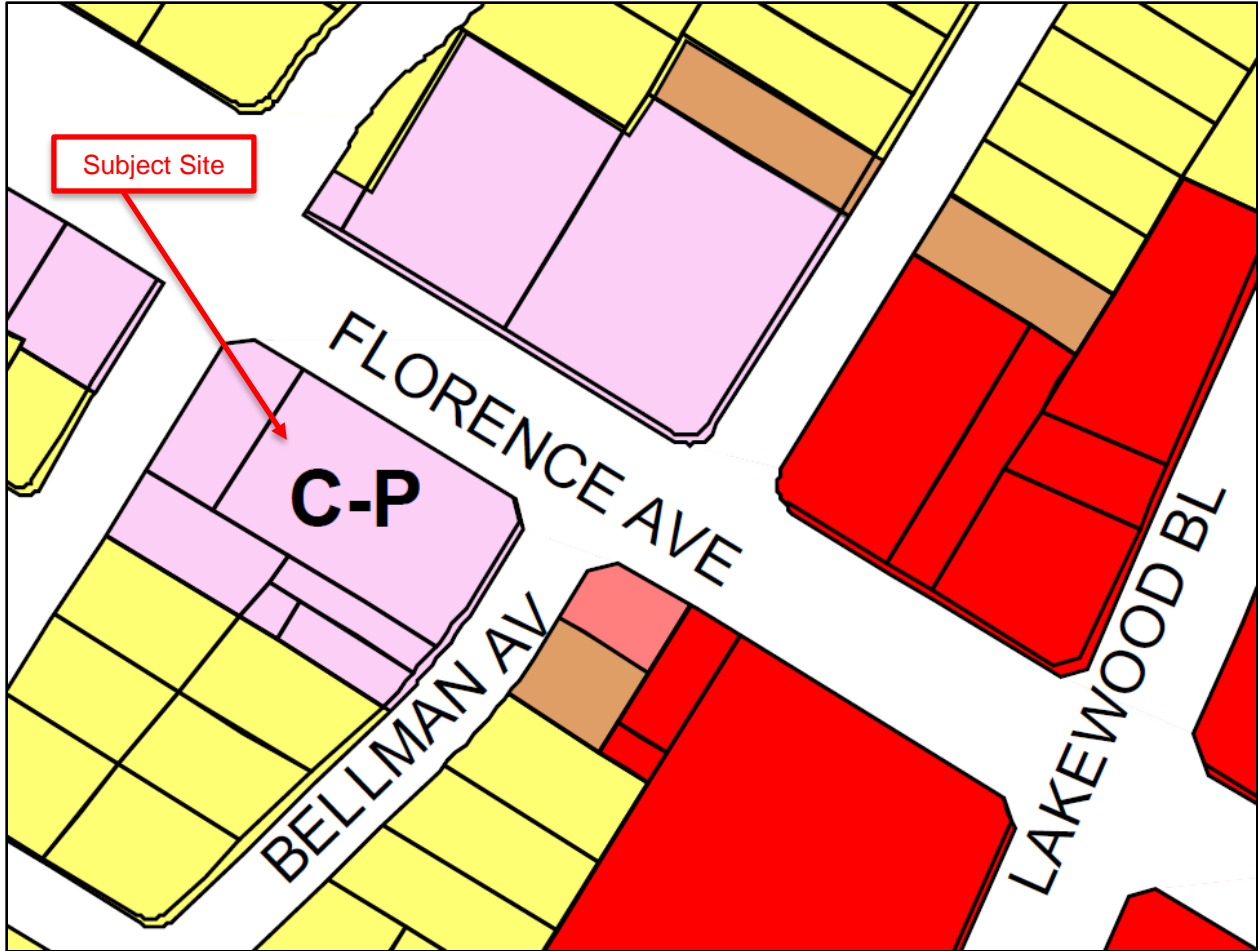
MAPS



Location



Aerial View



Zoning

**RESOLUTION NO.**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A CONDITIONAL USE PERMIT (PLN-20-00052), THEREBY ALLOWING THE MODIFICATION OF AN EXISTING BUILDING MOUNTED WIRELESS COMMUNICATION FACILITY CONSISTING OF NINE (9) ANTENNAS AND SIX (6) REMOTE RADIO UNITS TO BE LOCATED ON TOP OF AN EXISTING 27' TALL BUILDING, AND THREE (3) EQUIPMENT CABINETS AND ONE (1) POWER PLANT CABINET TO BE GROUND MOUNTED WITHIN AN EXISTING BLOCK WALL ENCLOSURE OF 9'4" X 18'8", 175 SQUARE FEET IN AREA ON PROPERTY LOCATED AT 8630 FLORENCE AVENUE, ZONED C-P (PROFESSIONAL OFFICE).**

THE PLANNING COMMISSION OF THE CITY OF DOWNEY DOES RESOLVE AS FOLLOWS:

**SECTION 1.** The Planning Commission of the City of Downey does hereby find, determine and declare that:

- A. On June 10, 2020, the applicant submitted a request for a Conditional Use Permit to allow the modification of an existing wireless communication facility; and,
- B. On July 9, 2020, after a careful review of the submitted information, staff deemed the application incomplete; and,
- C. On September 29, 2020, the applicant resubmitted required documents for review; and,
- D. On October 28, 2020, after careful review of the resubmitted documents, staff deemed the application incomplete; and
- E. On November 20, 2022, the applicant resubmitted required submittal documents for review; and,
- F. On December 2, 2022, staff deemed the application complete; and,
- G. On January 5, 2023, notice of the pending application published in the *Downey Patriot* and mailed to all property owners within 500-feet of the subject site; and,
- H. On January 18, 2023, at the Planning Commission hearing the item was continued to a date certain; and,
- I. The Planning Commission held a duly noticed public hearing on February 15, 2023, and after fully considering all oral and written testimony and facts and opinions offered at the aforesaid public hearing adopted this resolution.

**SECTION 2.** The Planning Commission further finds, determines and declares the request is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1 – Existing Facilities).

**SECTION 3.** Having considered all of the oral and written evidence presented to it at said public hearings regarding the Conditional Use Permit, the Planning Commission further finds, determines and declares that:

1. *The requested Conditional Use Permit will not adversely affect the purpose and intent of the Zoning Code or the City's General Plan or the public convenience or general welfare of persons residing or working in the neighborhood thereof.*

A purpose of the Zoning Code is to regulate the use of land in order to promote the public's health, safety, and the general welfare. The Conditional Use Permit allows wireless communication facilities subject to specific standards listed in Subsection 9426.04(b) of the Downey Municipal Code. As the project conforms to the development standards applicable to wireless communication facilities, it is determined that the Conditional Use Permit will therefore not adversely affect the purpose and intent of the Zoning Code.

General Plan Policy 2.7.1 states: "Provide adequate utility and communications infrastructure". Furthermore, General Plan Program 2.7.1.2 states: "Promote the expansion of communication networks to meet the needs of city residents, business and other land uses". This project will expand and improve the communication network and fulfill the aforementioned program. Therefore, the Conditional Use Permit will not adversely affect the City's General Plan.

The Zoning Code and the General Plan function to promote the public convenience and general welfare of persons residing or working throughout the City. As the Conditional Use Permit is consistent with the Zoning Code and the General Plan, it is therefore determined that it will not adversely affect the public convenience or the general welfare of persons residing or working in the surrounding neighborhood.

2. *The requested use will not adversely affect the adjoining land uses and the growth and development of the area in which it is proposed to be located.*

The uses and structures on the site as well as those on nearby sites will remain the same, and uninterrupted by the proposed wireless facility. Staff does not anticipate adverse impacts as a result of the proposal specifically because the wireless site will be roof mounted and ground equipment will be located within an existing enclosure. In addition, building mounted wireless facilities are common within commercial corridors and designed to be compatible with other structures on site. The wireless facility will not negatively affect the current or future use of the building.

3. *The size and shape of the site proposed for the use is adequate to allow the full development of the proposed use in a manner not detrimental to the particular area.*

The site is approximately 26,457 square feet and improved with an existing 11,201 square foot building. Installation of the antennas and various related equipment will occur on top of the existing building with equipment cabinets placed on the ground within an existing enclosure. The proposed equipment and enclosure will conform to all required and/or legally nonconforming setbacks and all other applicable development standards. Therefore, the size and shape of the site is adequate to allow the proposed use without being detrimental to the area.

4. *The traffic generated by the proposed use will not impose an undue burden upon the streets and highways in the area.*

The proposed wireless communication facility will generate limited visits to the site for maintenance purposes only. The facility operates automatically without the presence of a working crew. The limited visits will not impose an undue burden upon the streets and highways in the area as the capacity of the surrounding streets and highways can accommodate the trips generated by the maintenance of the facility.

**SECTION 4.** Based upon the findings set forth in Sections 1 through 3 of this resolution, the Planning Commission of the City of Downey hereby approves the Conditional Use Permit (PLN-20-00052) subject to conditions of approval attached hereto as Exhibit A, which are necessary to preserve the health, safety and general welfare of the community and enable the Planning Commission to make the findings set forth in the previous sections. The conditions are fair and reasonable for the accomplishment of these purposes.

**SECTION 5.** The Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 15<sup>th</sup> day of February, 2023.

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Horacio Ortiz, Chairman  
City Planning Commission

I HEREBY CERTIFY that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Downey at a regular meeting thereof, held on the 15<sup>th</sup> day of February, 2023, by the following vote, to wit:

AYES:            COMMISSIONERS:  
NOES:            COMMISSIONERS:  
ABSENT:        COMMISSIONERS:  
ABSTAIN:       COMMISSIONERS:

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Linda Thai,  
Deputy City Clerk

**CONDITIONAL USE PERMIT (PLN-20-00052)**  
**EXHIBIT A - CONDITIONS**

**PLANNING**

- 1) The approval of this Conditional Use Permit (PLN-19-00076) allows for the modification of an existing Wireless Telecommunication Facility to include the following:
  - Remove nine (9) remote radio units (RRUS) and replace with six (6) upgraded RRUS;
  - Relocate Nine (9) four foot (4') building mounted antennas into three separate enclosures;
  - Construct one new rooftop enclosure, relocate an additional enclosure, and maintain in place a third enclosure;
  - Remove one (1) equipment cabinet and one (1) power plant, and replace with upgraded battery cabinet and power plant.
- 2) This resolution shall render all previous approvals and resolutions void and no longer permissible.
- 3) Approval of the Conditional Use Permit (PLN-20-00052) shall not be construed to mean any waiver of applicable and appropriate zoning regulations, or any Federal, State, County, and City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Downey Municipal Code shall apply.
- 4) The Owner/Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the approval of this resolution, to challenge the determination made by City under the California Environmental Quality Act or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition.
- 5) The City Planner is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
- 6) The project shall be constructed and maintain in strict compliance with the approved set of plans.
- 7) The 8-foot tall block wall equipment enclosure shall remain, unless changes to upgrade or maintain are approved by the City Planner.
- 8) The gate of the equipment enclosure must be upgraded with materials allowed within the Downey Municipal Code. It shall also be designed in a way that the interior equipment is not visible from the public view.



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Downey Planning Commission

- 9) The proposed screening as shown on the approved plans shall be maintained throughout the life on the Wireless Telecommunications Facility to ensure complete screening of the antennas and all other associated equipment is not visible from the public view.
- 10) The walls of the equipment enclosure and roof mounted screens shall be finished with graffiti resistant materials. Prior to the issuance of building permits, the applicant shall demonstrate to the satisfaction of the City Planner, that the finished materials will comply with this requirement.
- 11) Any graffiti applied to the site shall be removed within 48 hours.
- 12) All utilities servicing the facility shall be installed underground.
- 13) The back-up generator shall not be used to power the site, except in case of emergency or power outage, and for monthly test of the system. Testing shall only occur Monday-Friday, between the hours of 8:00 a.m. and 5:00 p.m.
- 14) Testing and or maintenance of the overall facility shall adhere to the construction hours as allowed by the Downey Municipal Code.
- 15) The project must satisfy all necessary standards, requirements, licenses and registrations from the Federal Communications Commission (FCC) and any other applicable regulatory bodies prior to initiating the operation of the Wireless Telecommunication Facility.
- 16) The applicant shall file, receive, and maintain all necessary licenses and registrations from the Federal Communications Commission (FCC) and any other applicable regulatory bodies prior to initiating the operation of the wireless telecommunication facility. The applicant shall supply the Community Development Director with the documentation of these licenses and registrations.
- 17) Within 30 days following the activation of the Wireless Telecommunications Facility, the applicant shall provide a radio frequency emissions compliance report to the Community Development Director certifying that the unit has been inspected and tested in compliance with FCC standards.
- 18) Every 5 years following the date of the building permit final, the applicant shall, at their own expense, prepare and submit to the Community Development Director an independently prepared updated radio frequency emissions compliance report and certification in compliance with all applicable FCC standards.
- 19) If any radio frequency emissions compliance report and certification, required by the Downey Municipal Code or these Conditions of Approval, demonstrates that the cumulative levels of radio frequency emissions exceed or may exceed FCC standards, the Community Development Director may require the applicant to modify the location or design of the facility and/or implement other mitigation measures to ensure compliance with FCC standards. The Director may require additional independent technical evaluation of the facility, at the applicant's expense, to ensure compliance with FCC standards.

- 20) In the case of discontinuation, within 30 days after discontinuation of use, the facility's operator shall notify the Community Development Director in writing that use of the facility has been discontinued. Within 180 days after discontinuation of use, the facility must be completely removed.

**BUILDING**

- 21) All construction shall comply with the most recent version of the California Building Code, as adopted by the City of Downey.
- 22) Prior to the commencement of construction, the applicant shall obtain all required permits. Additionally, the applicant shall obtain all necessary inspections and permit final prior to occupancy of the units.

**FIRE**

- 14) The following comments pertain to a limited fire review of a design review plan submittal. The comments contained herein shall not be construed as complete or encompassing all fire-life safety code requirements set forth in local, State, and/or National local codes.
- 15) The establishment shall comply with all current code requirements for the occupancy use and type.
- 16) Both ground level and roof top equipment enclosures shall be properly identified with operator information, emergency phone numbers, location address, etc. Required hazardous identification and warning signage shall be provided. Should the 16 VRLA batteries contain corrosive electrolyte equal to or in excess of 55-gallons, the business shall be required to establish, implement, and submit a Hazardous Materials Business Plan (HMBP) to Statewide Environmental Reporting System (CERS) [HSC 25507; 25508].
- 17) Roof access shall be maintained. Any antenna, or other obstruction on the roof of any commercial establishment, shall not obstruct or render egress or access hazardous in the event of fire other emergency [CA Fire Code §504.4]. New antenna locations with FRP screens shall not obstruct fire department roof access.

**[End of Conditions]**

# LTE Justification Plots

Market Name: **Los Angeles**

Site ID: **CLL02520**

Site Address:

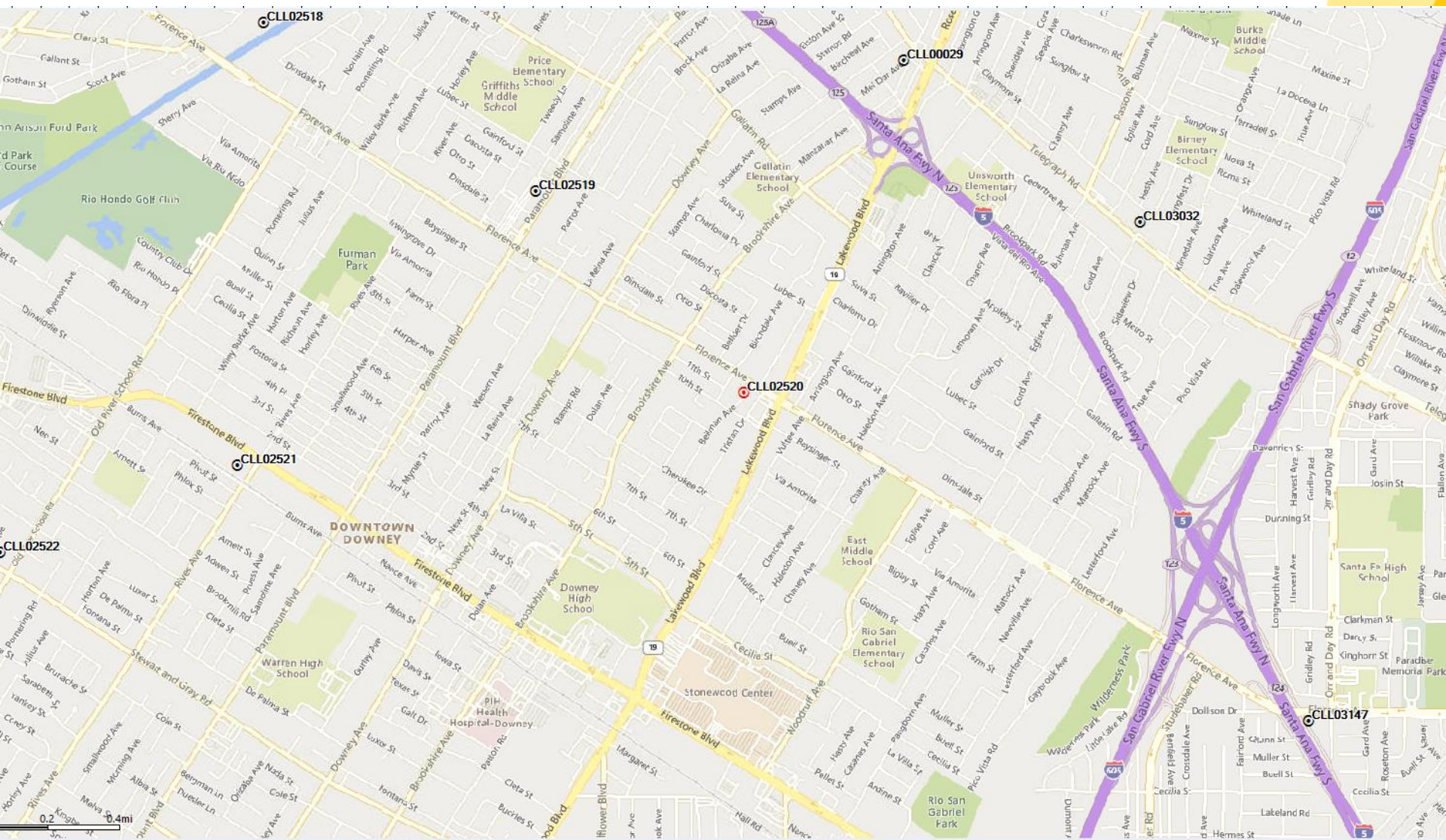
ATOLL Plots Completion Date: **NOV 1, 2022**



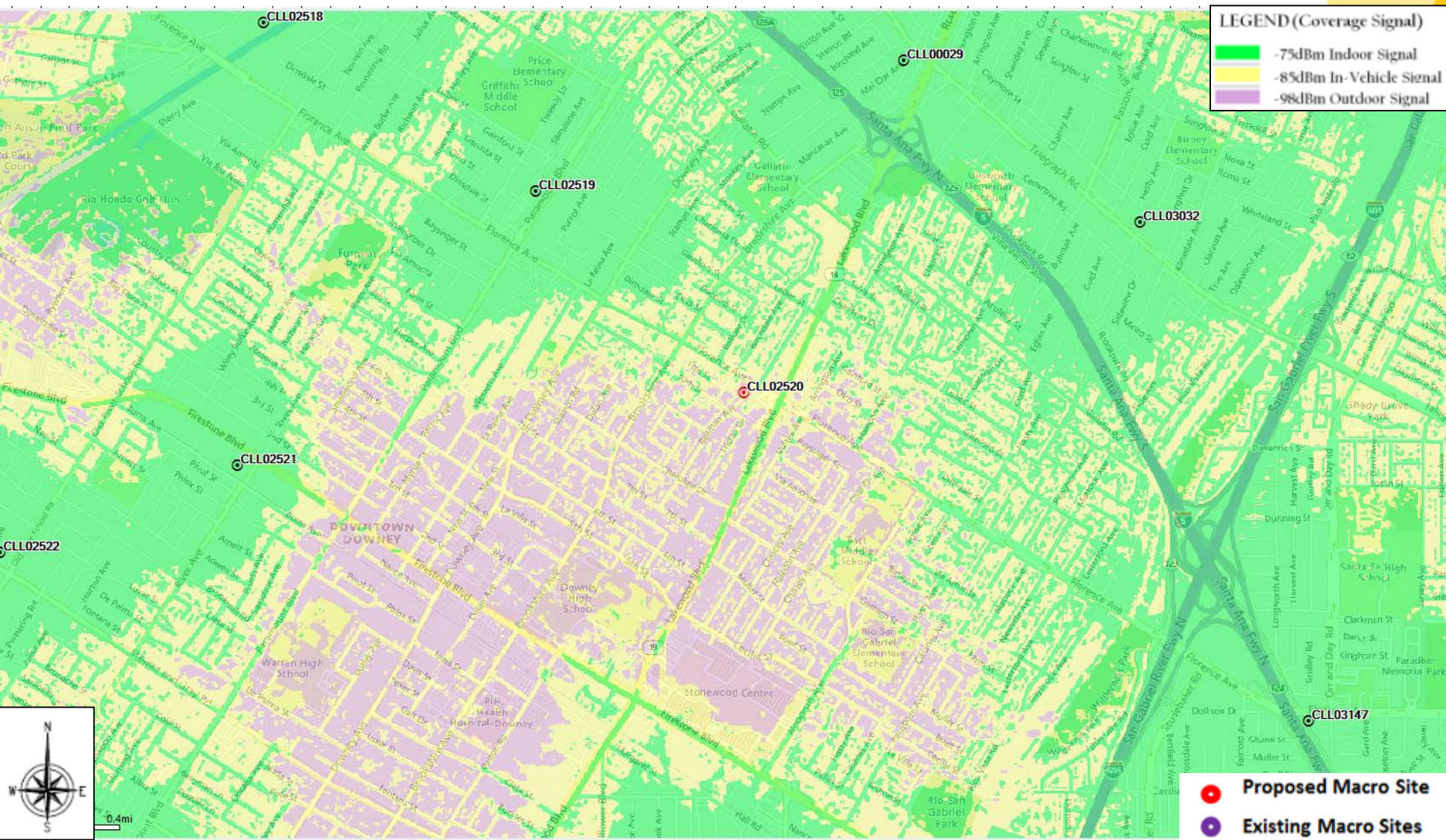
## Assumptions

- ❖ Propagation of the site plots are based on our current Atoll (Design tool) project tool that shows the preferred design of the AT&T 4G-LTE network coverage.
- ❖ The propagation referenced in this package is based on proposed LTE coverage of AT&T users in the surrounding buildings, in vehicles and at street level . For your reference, the scale shown ranges from good to poor coverage with gradual changes in coverage showing best coverage to marginal and finally poor signal levels.
- ❖ The plots shown are based on the following criteria:
  - **Existing:** Since LTE network modifications are not yet **On-Air**. The first slide is a snap shot of the area showing the existing site without LTE coverage in the AT&T network.
  - **The Planned LTE Coverage with the Referenced Site:** Assuming all the planned neighboring sites of the target site are approved by the jurisdiction and the referenced site is also approved and **On-Air**, the propagation is displayed with the planned legends provided.
  - **Without Target site:** Assuming all the planned neighboring sites are approved by the jurisdiction and **On-Air** and the referenced site is **Off-Air**, the propagation is displayed with the legends provided.





# LTE Coverage Before site CLL02520



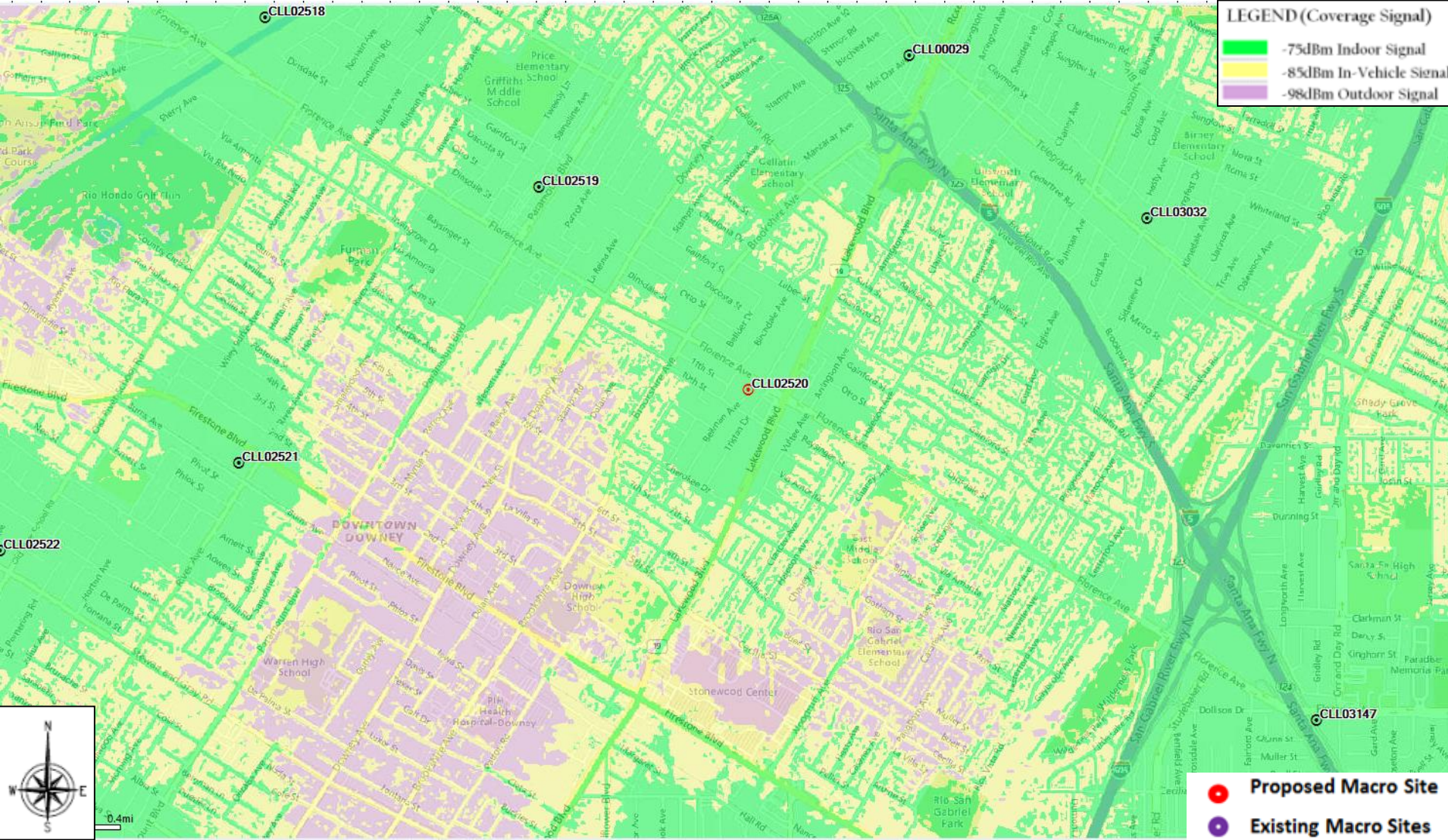
**LEGEND (Coverage Signal)**

- -75dBm Indoor Signal
- -85dBm In-Vehicle Signal
- -98dBm Outdoor Signal

- Proposed Macro Site
- Existing Macro Sites



# LTE Coverage After site CLL02520



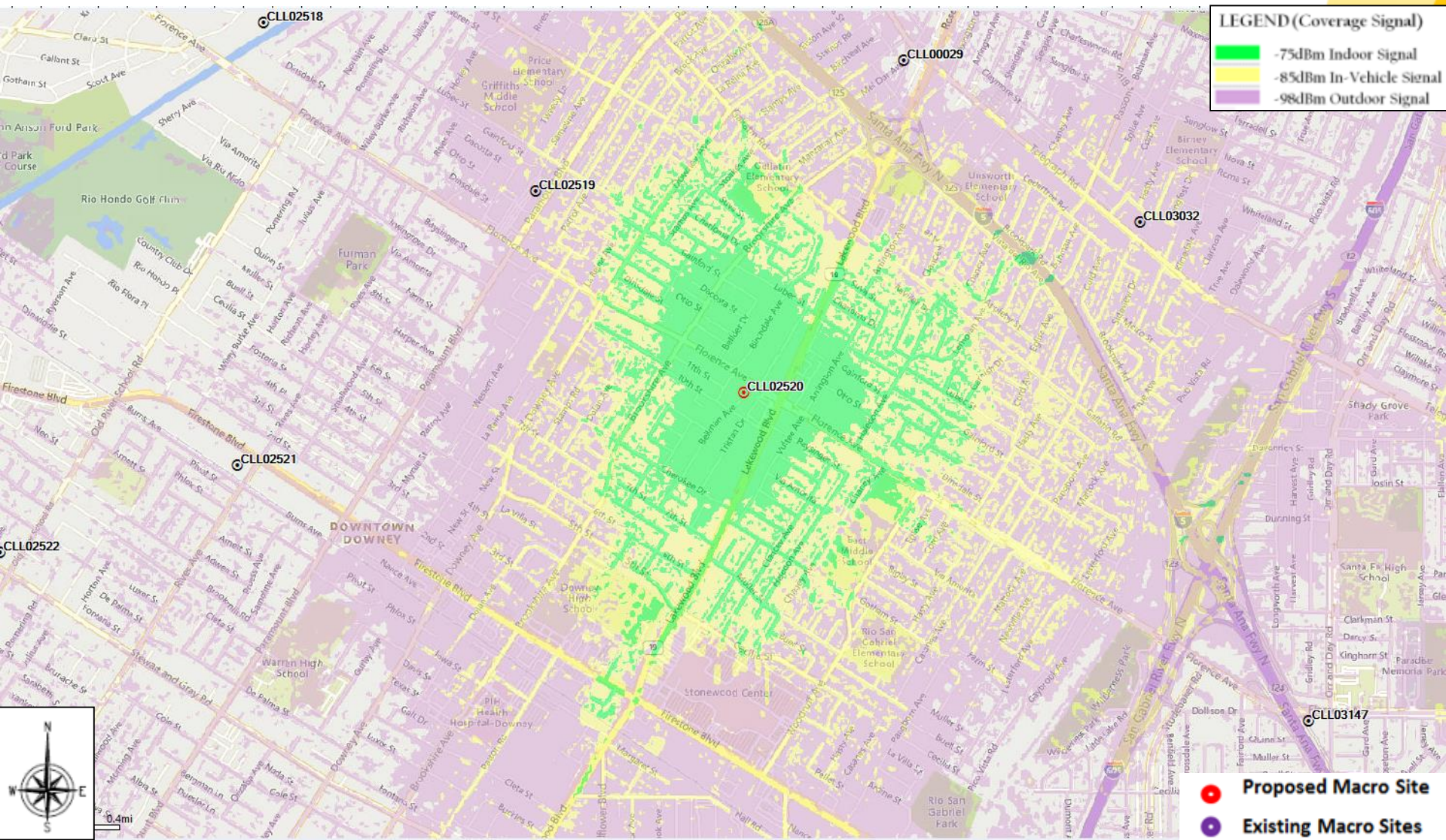
**LEGEND (Coverage Signal)**

- -75dBm Indoor Signal
- -85dBm In-Vehicle Signal
- -98dBm Outdoor Signal

- Proposed Macro Site
- Existing Macro Sites



# LTE Coverage standalone site CLL02520



**LEGEND (Coverage Signal)**

- -75dBm Indoor Signal
- -85dBm In-Vehicle Signal
- -98dBm Outdoor Signal

- Proposed Macro Site
- Existing Macro Sites





# Coverage Legend



**In-Building Service:** In general, the areas shown in dark green should have the strongest signal strength and be sufficient for most in-building coverage. However, in-building coverage can and will be adversely affected by the thickness/construction type of walls, or your location in the building (i.e., in the basement, in the middle of the building with multiple walls, etc.)

**In-Transit Service:** The areas shown in the yellow should be sufficient for on-street or in-the-open coverage, most in-vehicle coverage and possibly some in-building coverage.

**Outdoor Service:** The areas shown in the purple should have sufficient signal strength for on-street or in-the-open coverage, but may not have it for in-vehicle coverage or in-building coverage.



# CLU2520/CLL02520 DOWNEY DIALYSIS CENTER

9630 FLORENCE BOULEVARD DOWNEY CA 90240



VIEW 1



LOCATION ©2017 Google Maps



EXISTING



PROPOSED LOOKING NORTHWEST FROM FLORENCE BOULEVARD

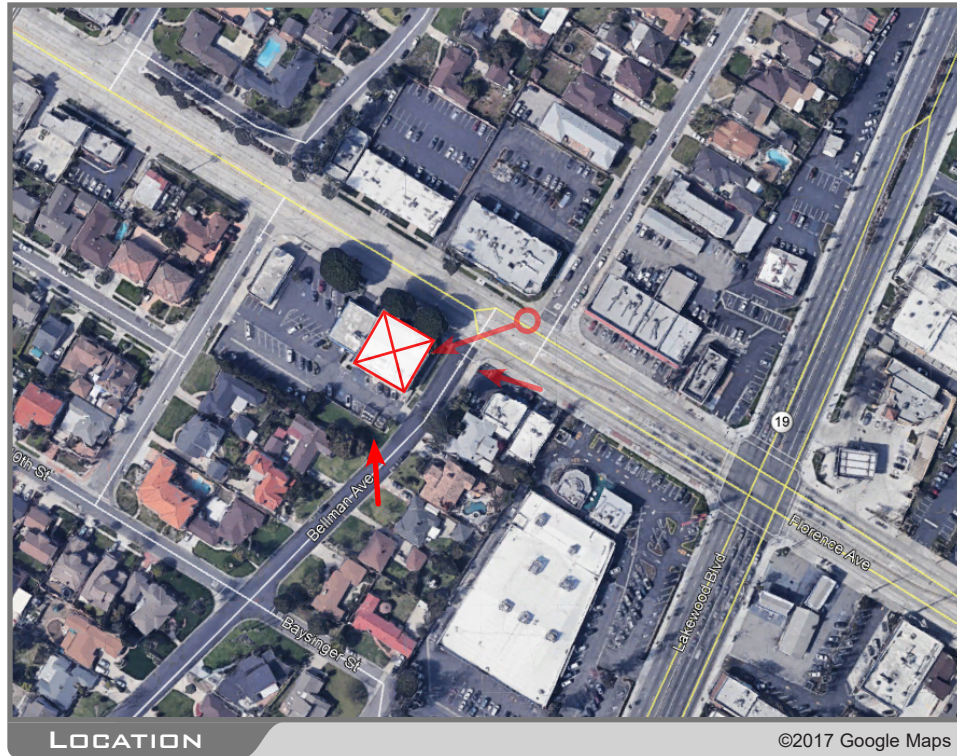


# CLU2520/CLL02520 DOWNEY DIALYSIS CENTER

9630 FLORENCE BOULEVARD DOWNEY CA 90240



VIEW 2



LOCATION

©2017 Google Maps



EXISTING



PROPOSED

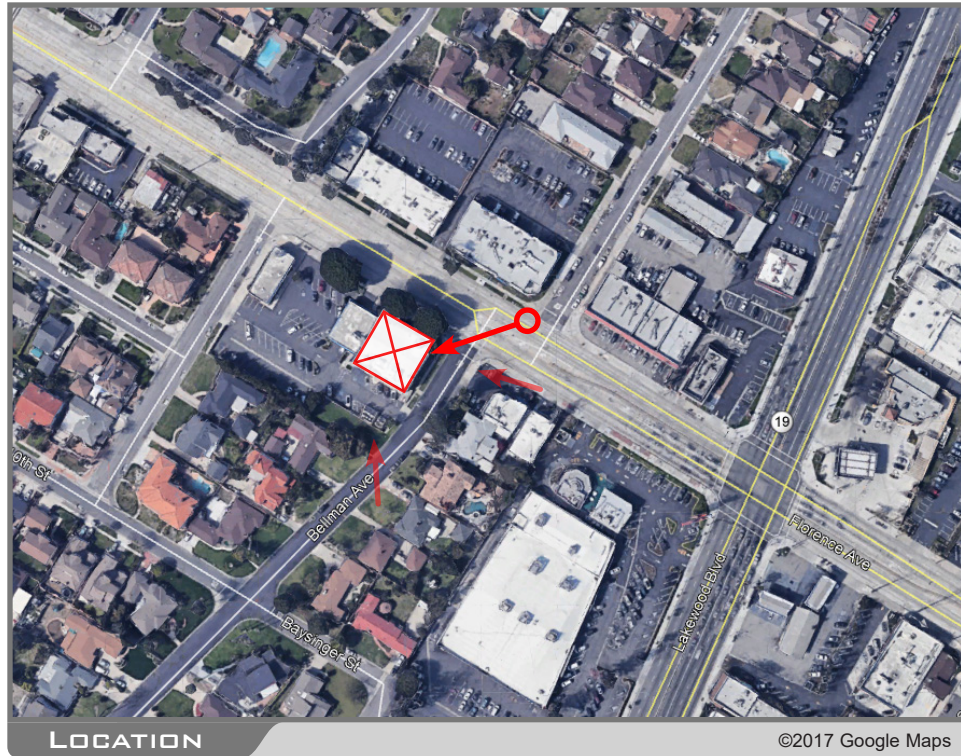
LOOKING NORTH FROM BELLMAN AVENUE



**CLU2520/CLL02520**  
**DOWNEY DIALYSIS CENTER**  
 9630 FLORENCE BOULEVARD DOWNEY CA 90240



VIEW 3



# SITE NUMBER: CLU2520/CLL02520

# SITE NAME: DOWNEY DIALYSIS CENTER

FA NUMBER: 10103652

PACE NUMBER: MRLOS069138/MRLOS068607/

MRLOS068597

PTN NUMBER: 3551A0T9A1

PROJECT: 4TXRX (1900)

SITE TYPE: ROOFTOP (OUTDOOR)

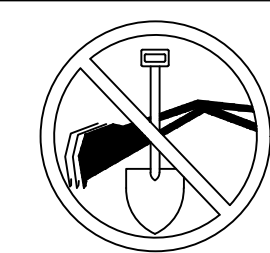
SITE ADDRESS: 8630 FLORENCE BOULEVARD,  
DOWNEY, CA 90240



3300 IRVINE AVENUE, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 861-2201  
FAX: (949) 468-0931



4430 E. MIRALOMA AVE. SUITE D  
ANAHEIM, CALIFORNIA 92807



**UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA**  
800-227-2600

48 HOURS BEFORE YOU DIG

### SITE INFORMATION

PROPERTY OWNER: IRWIN H. SHERRY & DALIA D. SHERRY TRUST  
8630 FLORENCE AVENUE,  
DOWNEY, CA 90240

CONTACT PERSON: DALIA D. SHERRY TRUST  
EMAIL: DSHERRY118@YAHOO.COM

APPLICANT ADDRESS: AT&T MOBILITY  
1452 EDINGER AVE.  
TUSTIN, CA 92780

LATITUDE (NAD 83): 33° 56' 52.0" N (33.9477778)

LONGITUDE (NAD 83): 118° 07' 08.0" W (-118.118889)

GROUND ELEVATION: TBD

OCCUPANCY: -

CONSTRUCTION TYPE: -

APN #: 6252-001-024

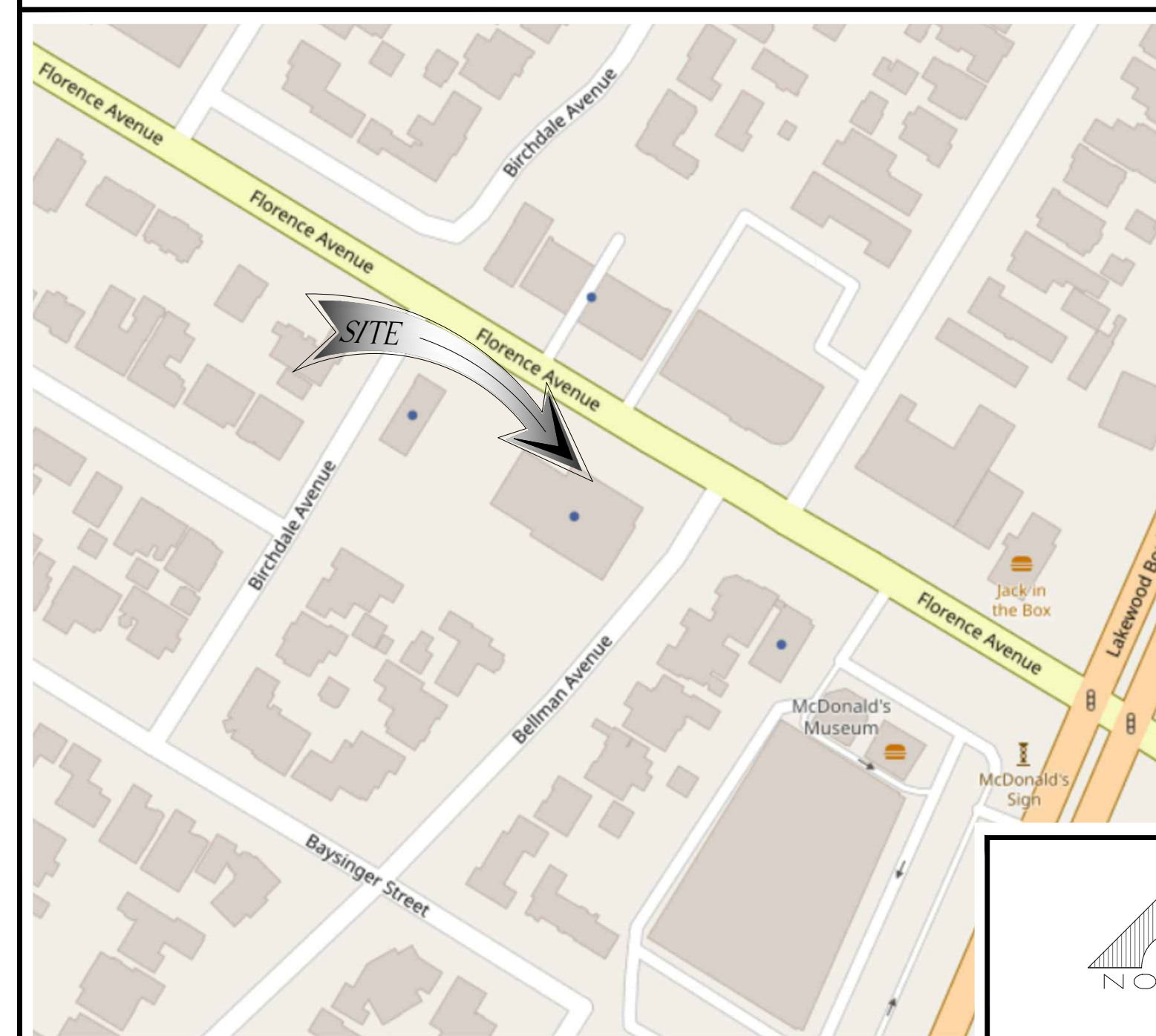
ZONING JURISDICTION: CITY OF DOWNEY

CURRENT ZONING: CP-GENERAL OFFICE

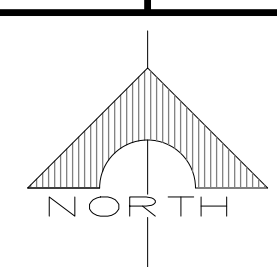
PROPOSED USE: UNMANNED TELECOM FACILITY

### LOCATION MAPS

#### VICINITY MAP



#### LOCAL MAP



### CONSTRUCTION DRAWINGS

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

### PROJECT DESCRIPTION

AT&T MOBILITY PROPOSES TO MODIFY AN EXISTING APPROVED WIRELESS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE 6 (E) LTE 3C RRUS-12 B2 (2 PER SECTOR).
- REMOVE 3 (E) LTE 1C RRUS-11 B12 (1 PER SECTOR).
- REMOVE 1 (E) GSM BTS CABINET.
- REMOVE 1 (E) DC POWER PLANT.
- REMOVE 1 (E) FRP SCREEN WALL ENCLOSURE AT SECTOR 'B'.
- INSTALL 3 (N) LTE 5G/4T4R BC RRUS-4449 B5/B12 (1 PER SECTOR).
- INSTALL 3 (N) LTE 4T4R PCS RRUS-4415 B25 (1 PER SECTOR).
- INSTALL 1 (N) DC-6 (SIB) SURGE SUPPRESSOR AT SECTOR 'A'.
- INSTALL 1 (N) NEQ.19918 DC POWER PLANT.
- INSTALL 1 (N) NEQ.15918 BATTERY CABINET WITH 4 (N) 185AH BATTERY STRINGS (16 TOTAL OF BATTERIES).
- INSTALL 10 (N) NEQ.15930 RECTIFIERS MODULES ON (N) DC POWER PLANT.
- INSTALL 2 (N) FRP SCREEN WALL FOR SECTORS 'A' AND 'B'. PAINTED TO MATCH (E) BUILDING.
- INSTALL (N) CABLE TRAY FOR SECTORS 'A' AND 'B'.
- RELOCATE (E) PANEL ANTENNAS AND RRUS FOR SECTORS 'A' AND 'B'.

### DRAWING INDEX

SHEET NO:	TITLE SHEET
T-1	TITLE SHEET
GN-1	GENERAL NOTES
GN-2	BATTERY SPECIFICATIONS
A-1	SITE PLAN
A-2	ROOF PLAN
A-3	ANTENNA PLAN
A-4	EQUIPMENT PLAN AND ANTENNA/RRU SCHEDULE
A-5	ELEVATIONS
A-6	ELEVATIONS
A-7	EQUIPMENT SPECIFICATIONS & DETAILS
S-1	STRUCTURAL NOTES
S-2	FRP SCREEN AND FRAMING PLAN
S-3	SECTION AND DETAILS
E-1	ELECTRICAL/GROUNDING PLAN AND NOTES
E-2	GROUNDING DETAILS

### PROJECT TEAM

PROJECT MANAGER: SMARTLINK, LLC  
CONTACT: SYDNEY SYKES  
PHONE: (443) 789-0010

ENGINEER: CASA INDUSTRIES, INC.  
CONTACT: LUIS H. CARDONA  
PHONE: (562) 652-5330  
EMAIL: LCardona@casaind.com

APPLICANT:  
AT&T  
1452 EDINGER AVE.  
TUSTIN, CA 92780

### DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:

TURN LEFT ONTO EDINGER AVE. TURN LEFT ONTO NEWPORT AVE. TURN RIGHT TO MERGE ONTO CA-65 N/STATE RTE 55 N. MERGE ONTO CA-65 N/STATE RTE 55 N. USE THE RIGHT 2 LANES TO TAKE EXIT 10B TO MERGE ONTO I-5 N TOWARD SANTA ANA. TAKE THE EXIT TOWARD NORWALK BLVD. KEEP RIGHT AT THE FORK AND MERGE ONTO NORWALK BLVD. MERGE ONTO NORWALK BLVD. TURN LEFT ONTO E FLORENCE AVE. DESTINATION WILL BE ON THE LEFT.

### DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

### CODE COMPLIANCE

- |   |   |
|---|---|
| 1. 2019 CALIFORNIA BUILDING CODE                    | 6. 2019 CALIFORNIA ENERGY CODE                            |
| 2. 2019 CALIFORNIA ELECTRICAL CODE ADOPTED 2014 NEC | 7. COUNTY COASTAL ZONE LAND USE ORDINANCE-TITLE 23        |
| 3. 2019 CALIFORNIA FIRE CODE                        | 8. COUNTY FIRE CODE ORDINANCE - TITLE 16                  |
| 4. 2019 CALIFORNIA MECHANICAL CODE                  | 9. COUNTY LAND USE ORDINANCE - TITLE 22                   |
| 5. 2019 CALIFORNIA PLUMBING CODE                    | 10. COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19 |

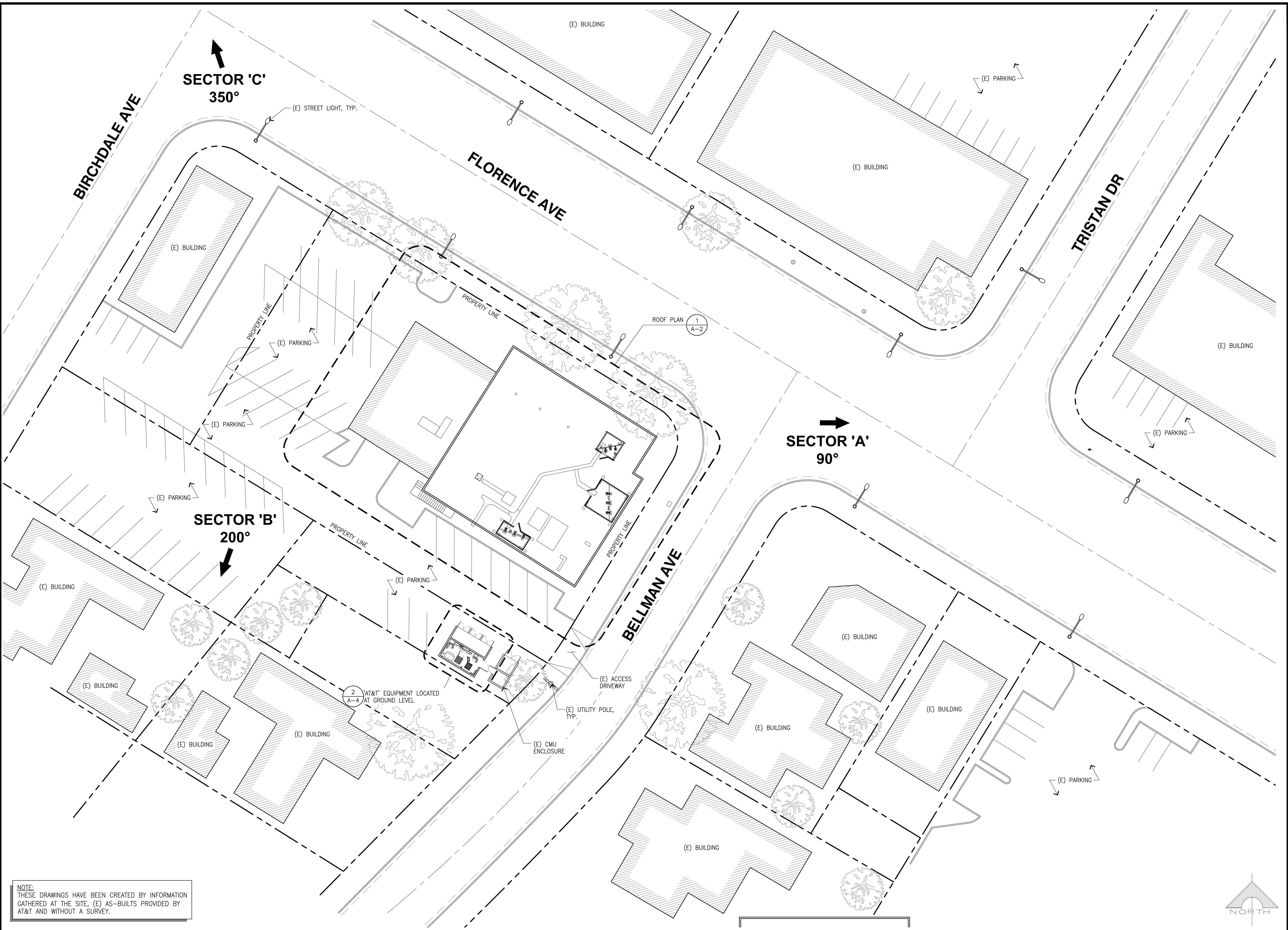
ALL WORKS AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

CLU2520  
DOWNEY DIALYSIS CENTER  
8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

SHEET TITLE  
TITLE SHEET

SHEET NUMBER

T-1



NOTE:  
 THESE DRAWINGS HAVE BEEN CREATED BY INFORMATION  
 GATHERED AT THE SITE, (E) AS-BUILTS PROVIDED BY  
 AT&T AND WITHOUT A SURVEY.

**SITE PLAN**

SCALE: 1"=20'-0"  
 5' 10' 20' 1

**AT&T**  
 1452 EDINGER AVE.  
 TUSTIN, CALIFORNIA 92780

**smartlink**  
 3300 IRVINE AVENUE, SUITE 300  
 NEWPORT BEACH, CA 92660  
 TEL: (949) 861-2201  
 FAX: (949) 468-0931

**CASA INDUSTRIES**  
 4430 E. MIRALOMA AVE. SUITE D  
 ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDs PER PHOTOSIMULATION
1	02-05-21	REVISED CDs
-	05-28-20	REVISED CDs
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS

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 DOWNEY DIALYSIS CENTER  
 8630 FLORENCE BLVD  
 DOWNEY, CA 90240  
 ROOFTOP (OUTDOOR)

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**A-1**

REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDs PER PHOTOSIMULATION
1	02-05-21	REVISED CDs
-	05-28-20	REVISED CDs
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS

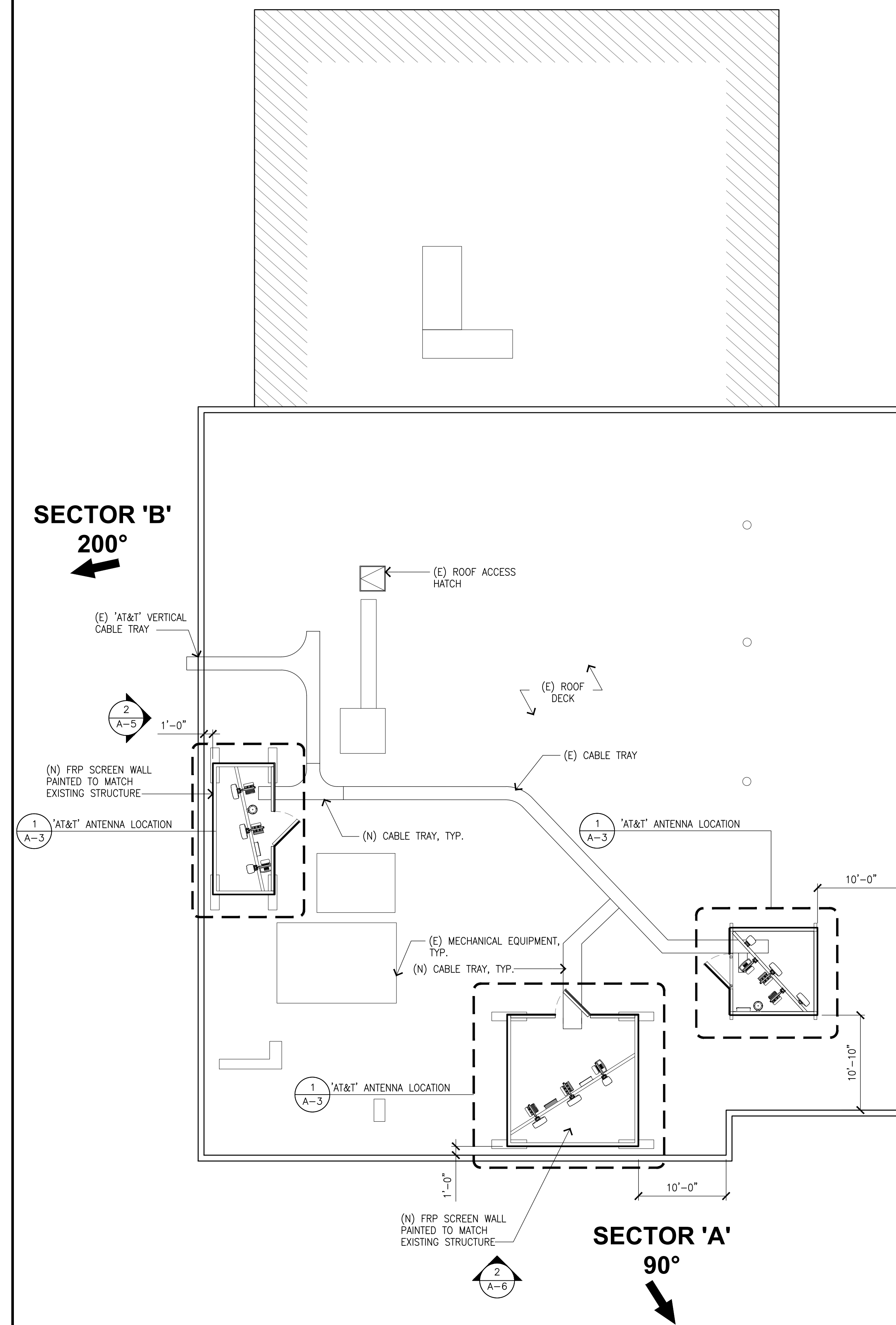
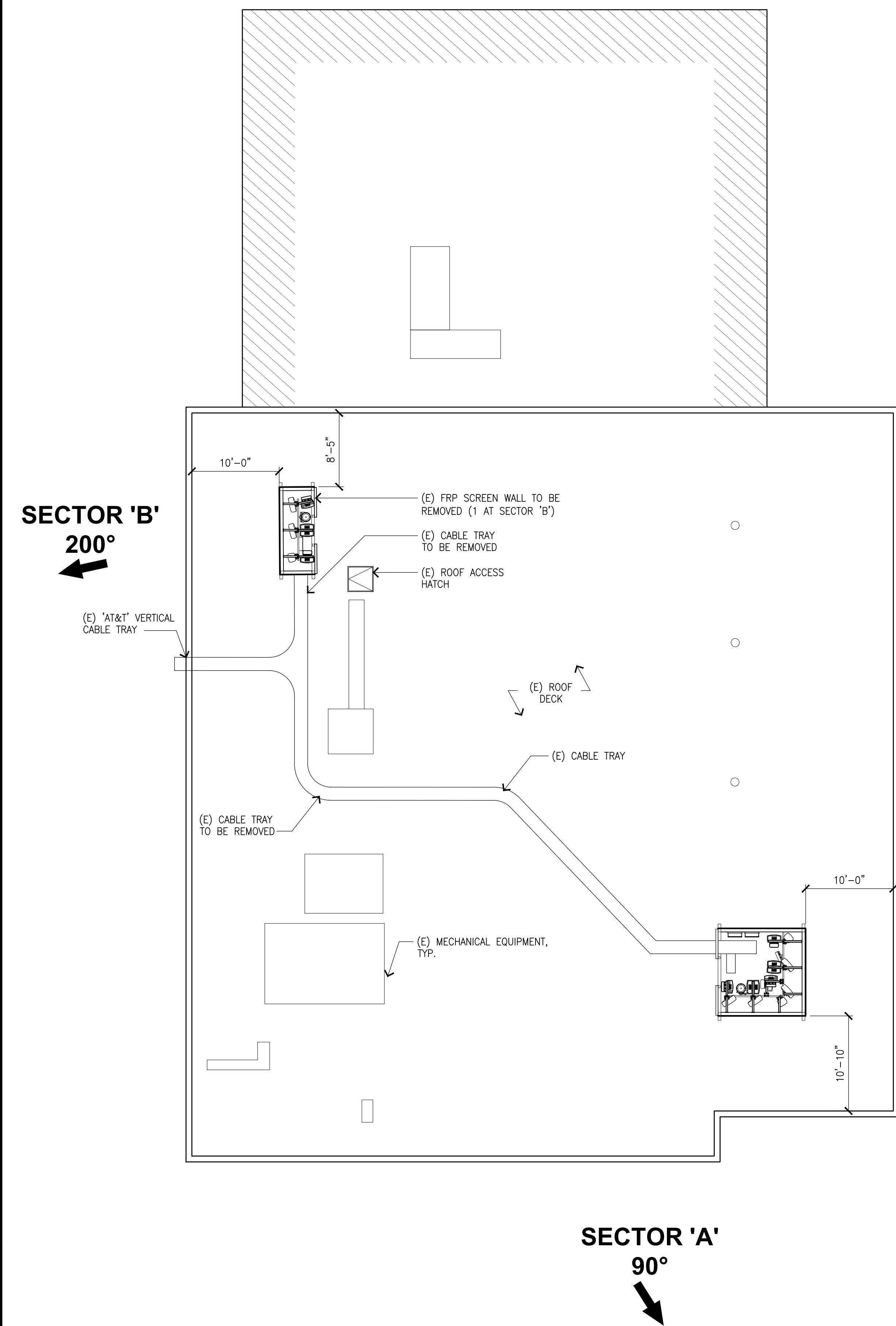


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DOWNEY DIALYSIS CENTER  
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ROOFTOP (OUTDOOR)

SHEET TITLE  
**ROOF PLAN**

SHEET NUMBER  
**A-2**



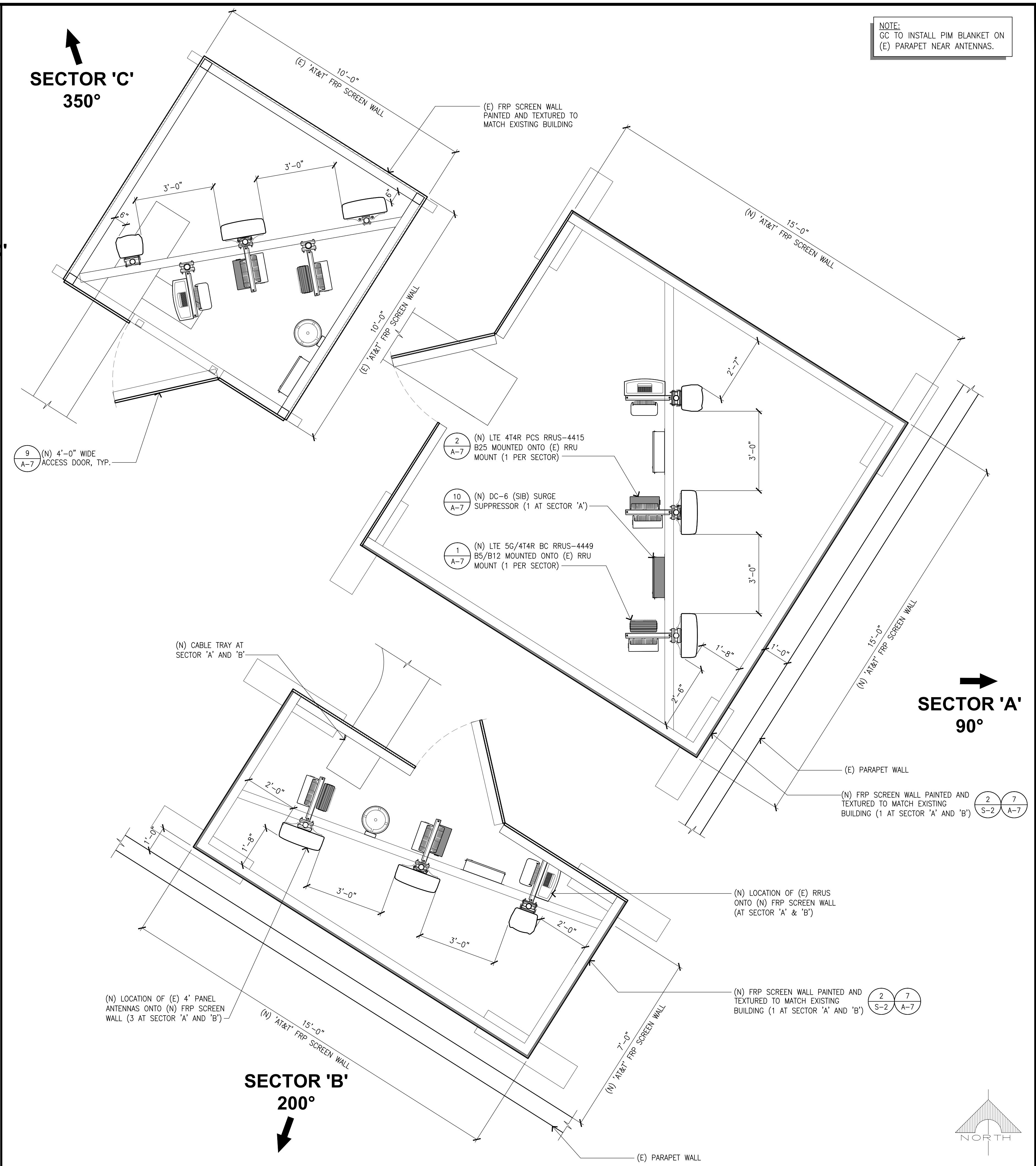
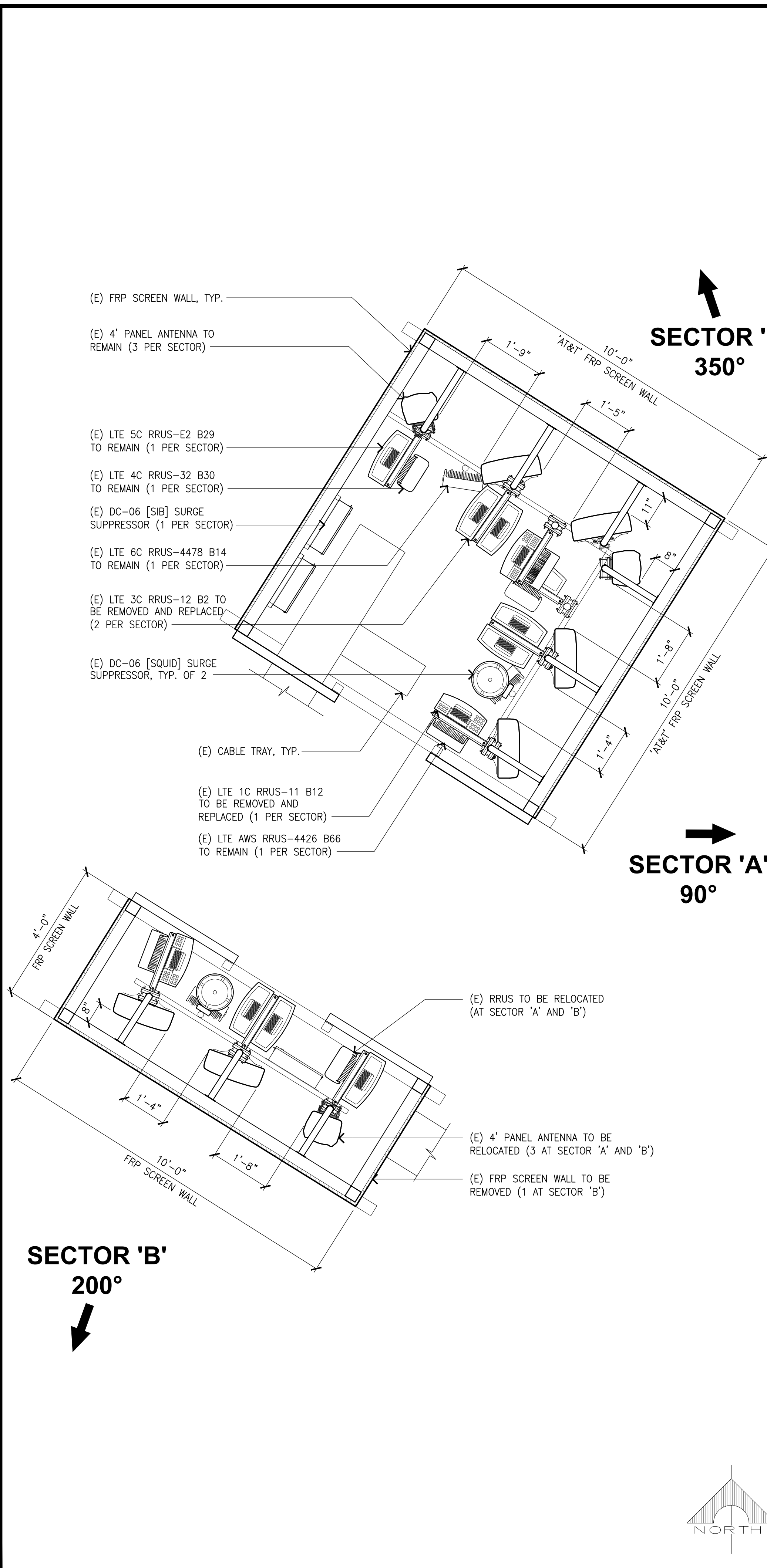
NOTE:  
GC TO INSTALL PIM BLANKET ON  
(E) PARAPET NEAR ANTENNAS.

**(E) ROOF PLAN**

SCALE:  
1/8"=1'-0" 1

**(N) ROOF PLAN**

SCALE:  
1/8"=1'-0" 1



NOTE:  
GC TO INSTALL PIM BLANKET ON  
(E) PARAPET NEAR ANTENNAS.

**AT&T**  
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TUSTIN, CALIFORNIA 92780

**smartlink**  
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TEL: (949) 861-2201  
FAX: (949) 468-0931

**CASA INDUSTRIES**  
4430 E. MIRALOMA AVE. SUITE D  
ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
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0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS

PAUL C. PINA  
No. C414835  
EXP. 05-23  
CIVIL  
STATE OF CALIFORNIA

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DOWNEY DIALYSIS CENTER  
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DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

SHEET TITLE  
**ANTENNA PLAN**

SHEET NUMBER  
**A-3**

**(E) ANTENNA PLAN**

**(N) ANTENNA PLAN**



EXISTING PANEL ANTENNA SCHEDULE						
SECTOR	MANUFACTURER	MODEL NO.	SIZE	AZIMUTH	RAD CENTER	
A	A1	KATHREIN	800-10964K	4'	90°	31'-0"
	A2	KATHREIN	800-10964K	4'	90°	31'-0"
	A3	QUINTEL	QS4658-3E	4'	90°	31'-0"
B	B1	KATHREIN	800-10964K	4'	200°	31'-0"
	B2	KATHREIN	800-10964K	4'	200°	31'-0"
	B3	QUINTEL	QS4658-3E	4'	200°	31'-0"
C	C1	KATHREIN	800-10964K	4'	350°	31'-0"
	C2	KATHREIN	800-10964K	4'	350°	31'-0"
	C3	QUINTEL	QS4658-3E	4'	350°	31'-0"

PANEL ANTENNA COUNT = 9

FINAL PANEL ANTENNA SCHEDULE (NO CHANGES)						
SECTOR	MANUFACTURER	MODEL NO.	SIZE	AZIMUTH	RAD CENTER	
A	A1	KATHREIN	800-10964K	4'	90°	31'-6"
	A2	KATHREIN	800-10964K	4'	90°	31'-6"
	A3	QUINTEL	QS4658-3E	4'	90°	31'-6"
B	B1	KATHREIN	800-10964K	4'	200°	31'-6"
	B2	KATHREIN	800-10964K	4'	200°	31'-6"
	B3	QUINTEL	QS4658-3E	4'	200°	31'-6"
C	C1	KATHREIN	800-10964K	4'	350°	31'-6"
	C2	KATHREIN	800-10964K	4'	350°	31'-6"
	C3	QUINTEL	QS4658-3E	4'	350°	31'-6"

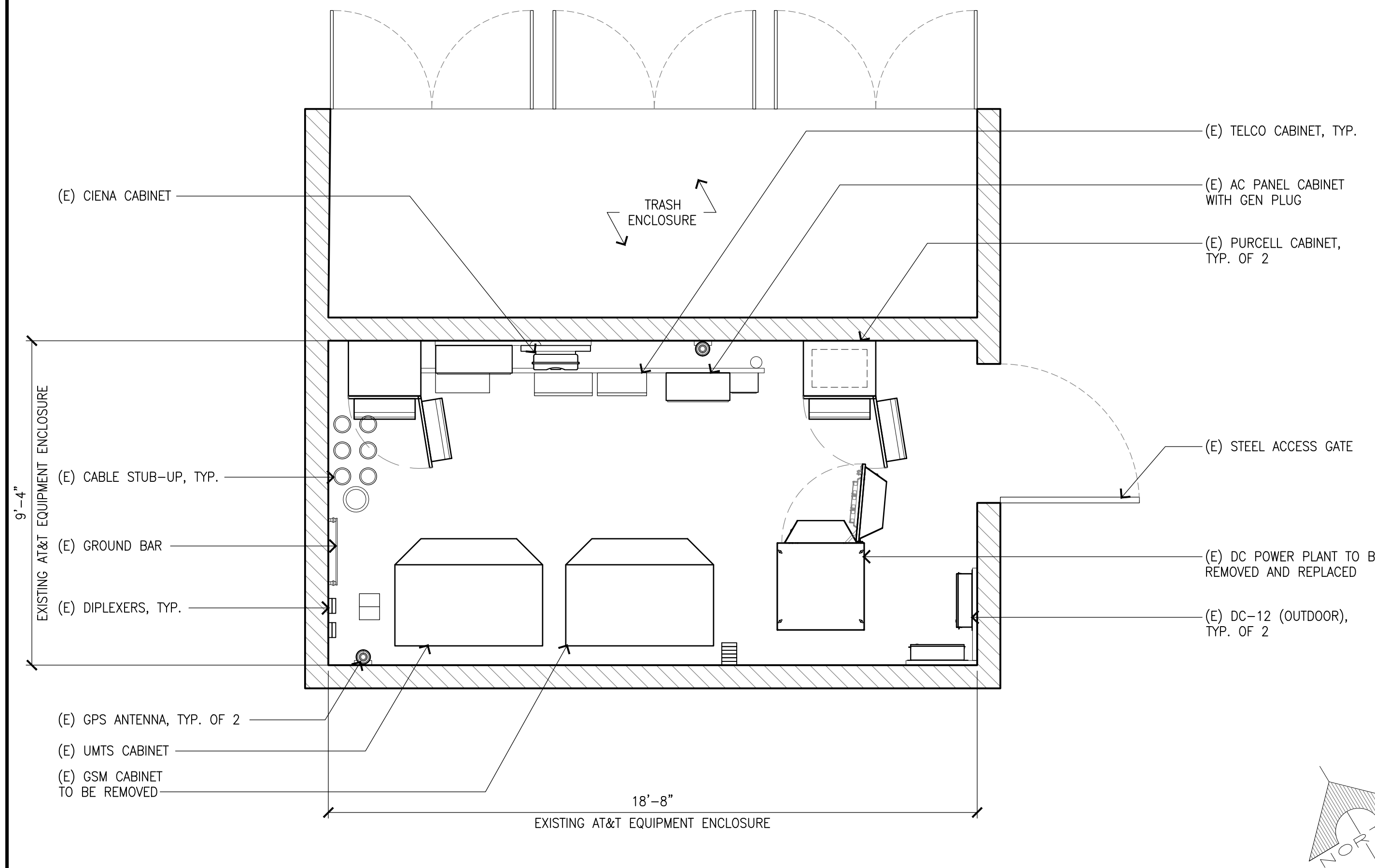
PANEL ANTENNA COUNT = 9

EXISTING REMOTE RADIO UNIT SCHEDULE																			
SECTOR	700 (BC)			2100 (AWS)			1900 (PCS)			2350 (WCS)			700 (D/E)			850 (6C)			
	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	
A	A1	1	RRUS-11 B12	UP	1	RRUS-4426 B66	UP												
	A2								2	RRUS-12 B2	UP						1	RRUS-4478 B14	UP
	A3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		
B	B1	1	RRUS-11 B12	UP	1	RRUS-4426 B66	UP												
	B2								2	RRUS-12 B2	UP						1	RRUS-4478 B14	UP
	B3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		
C	C1	1	RRUS-11 B12	UP	1	RRUS-4426 B66	UP												
	C2								2	RRUS-12 B2	UP						1	RRUS-4478 B14	UP
	C3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP		

REMOTE RADIO UNIT COUNT = 21

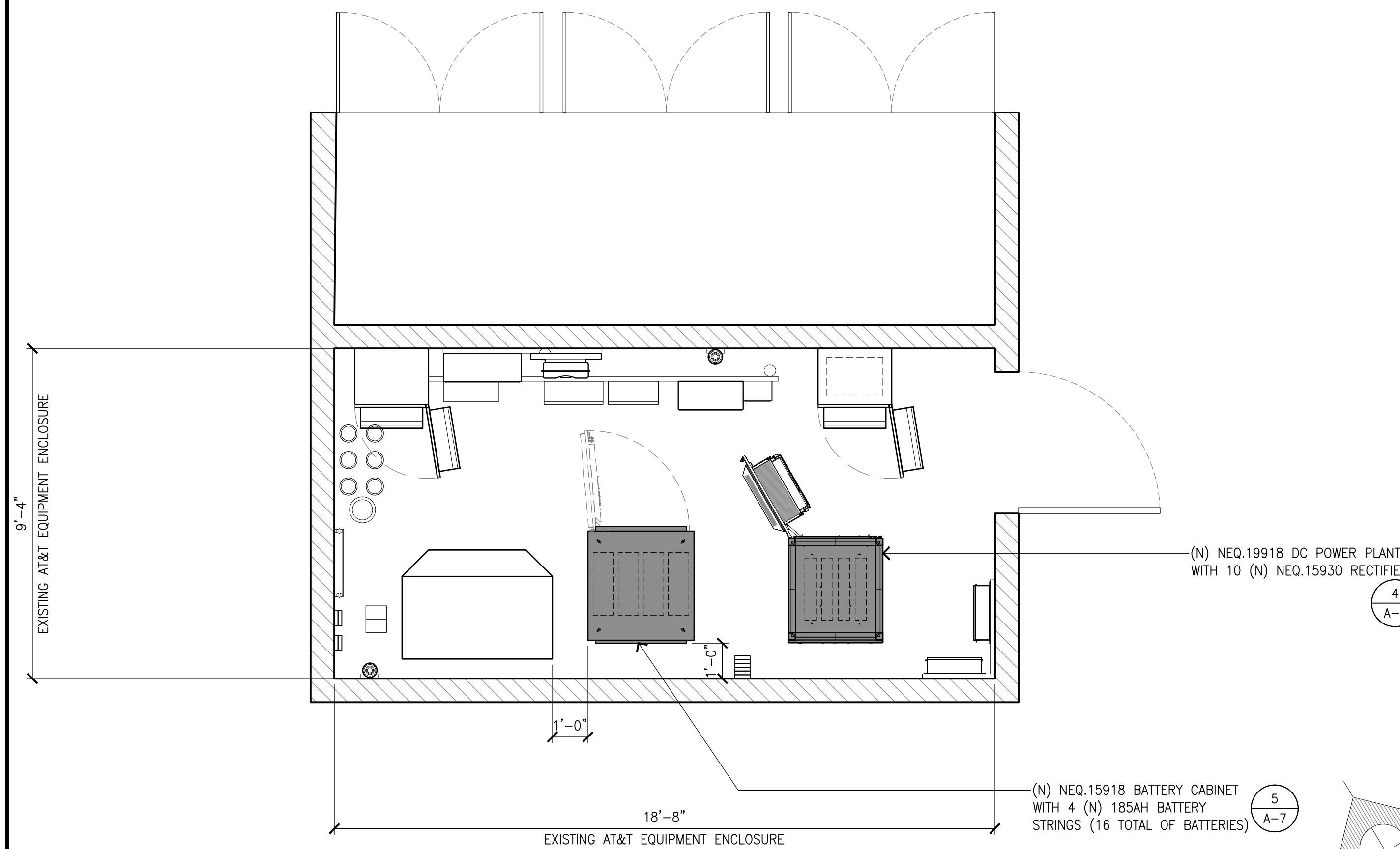
FINAL REMOTE RADIO UNIT SCHEDULE																		
SECTOR	NEW REMOTE RADIO UNITS						EXISTING REMOTE RADIO UNITS											
	700BC/850 (5G)			1900 (4T4R PCS)			2100 (AWS)			2350 (WCS)			700 (D/E)			850 (6C)		
	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION
A	A1	1	RRUS-4449 B5+B12	UP			1	RRUS-4426 B66	UP									
	A2				1	RRUS-4415 B25	UP									1	RRUS-4478 B14	UP
	A3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP	
B	B1	1	RRUS-4449 B5+B12	UP			1	RRUS-4426 B66	UP									
	B2				1	RRUS-4415 B25	UP									1	RRUS-4478 B14	UP
	B3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP	
C	C1	1	RRUS-4449 B5+B12	UP			1	RRUS-4426 B66	UP									
	C2				1	RRUS-4415 B25	UP									1	RRUS-4478 B14	UP
	C3											1	RRUS-32 B30	UP	1	RRUS-E2 B29	UP	

REMOTE RADIO UNIT COUNT = 18



**(E) EQUIPMENT PLAN**

SCALE: 3/8"=1'-0" 1



**(N) EQUIPMENT PLAN**

SCALE: 3/8"=1'-0" 2



3300 IRVINE AVENUE, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 861-2201  
FAX: (949) 468-0931



4430 E. MIRALOMA AVE. SUITE D  
ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDS PER PHOTOSIMULATION
1	02-05-21	REVISED CDS
-	05-28-20	REVISED CDS
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS



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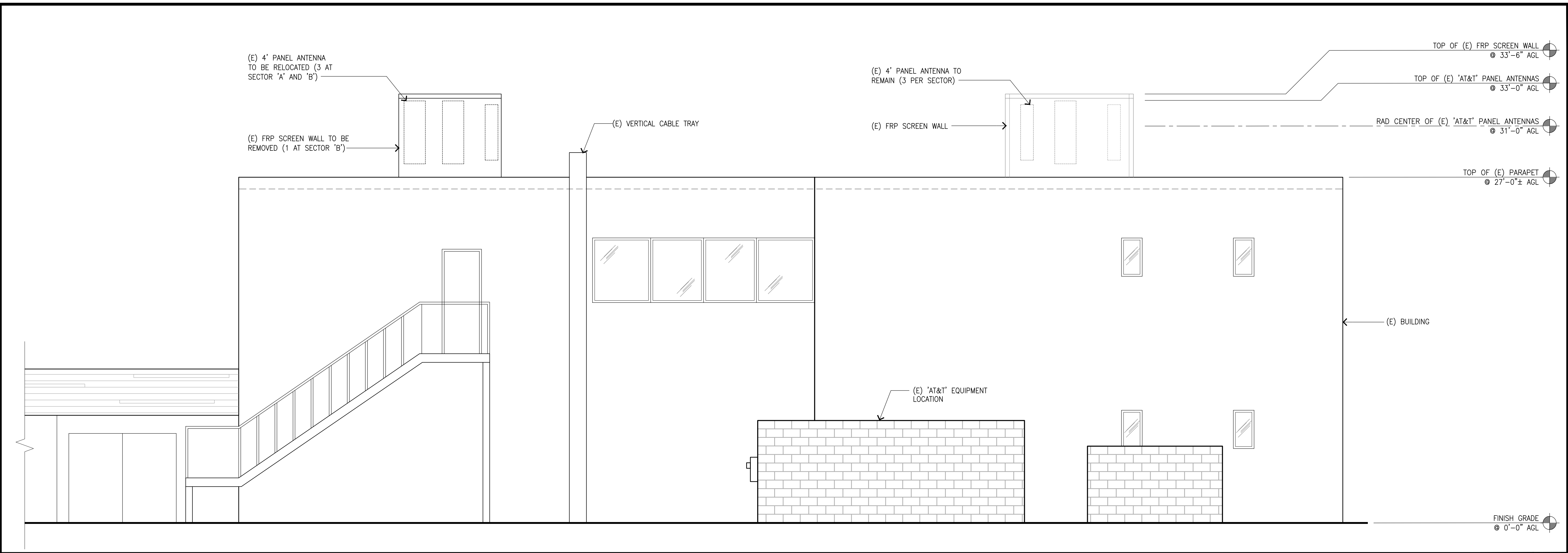
CLU2520  
DOWNEY DIALYSIS CENTER  
8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

SHEET TITLE  
**EQUIPMENT PLAN AND ANTENNA/RRU SCHEDULE**

SHEET NUMBER  
**A-4**

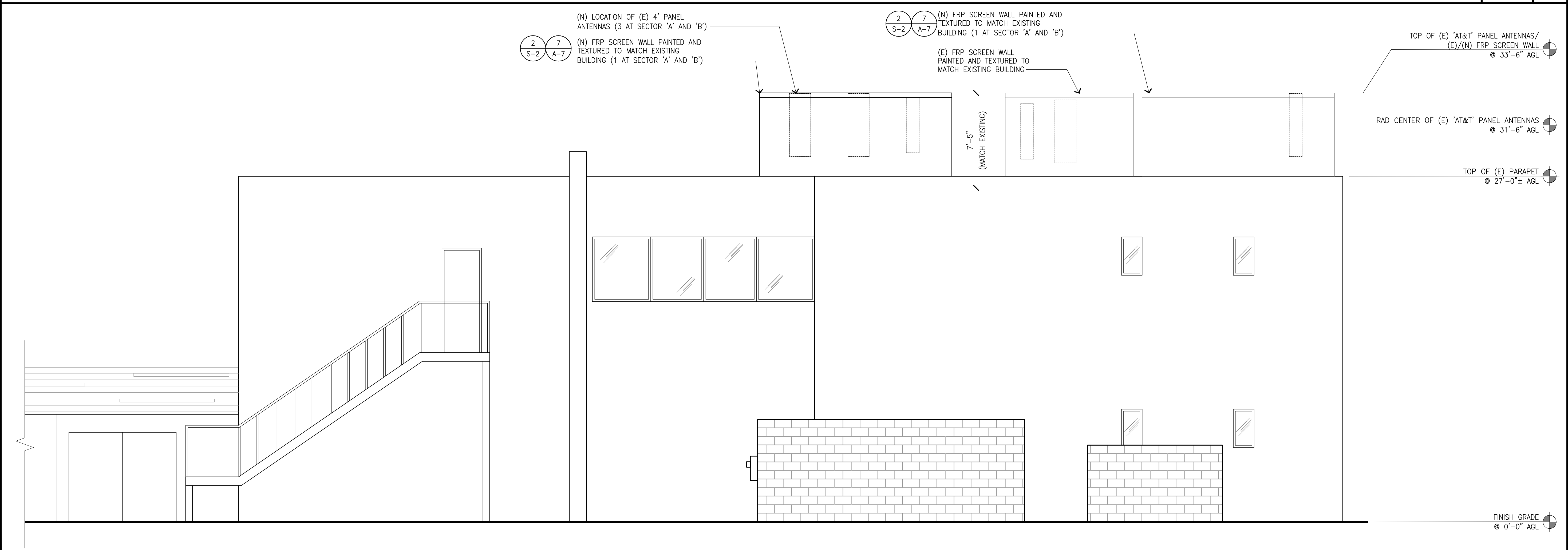
**ANTENNA/RRUS SCHEDULE**

3



**(E) SOUTHWEST ELEVATION**

SCALE: 1  
1/4"=1'-0"



**(N) SOUTHWEST ELEVATION**

SCALE: 2  
1/4"=1'-0"

**AT&T**  
1452 EDINGER AVE.  
TUSTIN, CALIFORNIA 92780

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**CASA INDUSTRIES**  
4430 E. MIRALOMA AVE. SUITE D  
ANAHEIM, CALIFORNIA 92807

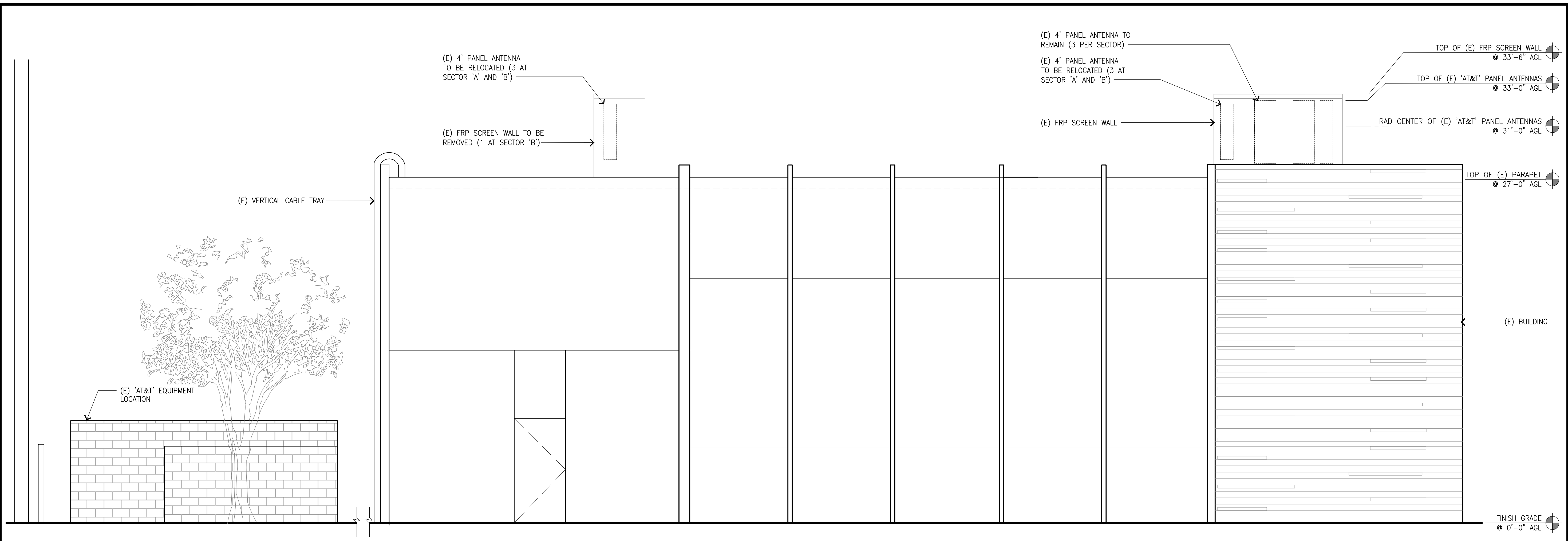
REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDs PER PHOTOSIMULATION
1	02-05-21	REVISED CDs
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0	04/20/20	100% CONSTRUCTION DRAWINGS
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CLU2520  
DOWNEY DIALYSIS CENTER  
8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

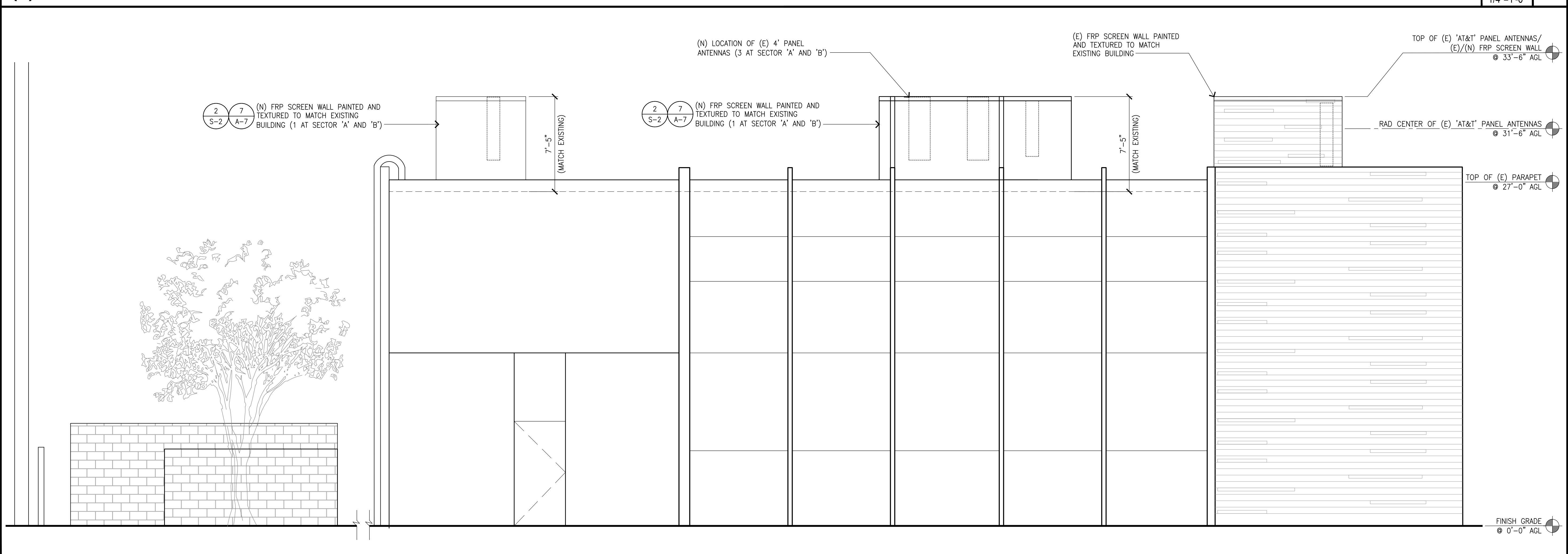
SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER  
**A-5**



**(E) SOUTHEAST ELEVATION**

SCALE: 1/4"=1'-0" 1



**(N) SOUTHEAST ELEVATION**

SCALE: 1/4"=1'-0" 2

**AT&T**  
1452 EDINGER AVE.  
TUSTIN, CALIFORNIA 92780

**smartlink**  
3300 IRVINE AVENUE, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 861-2201  
FAX: (949) 468-0931

**CASA INDUSTRIES**  
4430 E. MIRALOMA AVE. SUITE D  
ANAHEIM, CALIFORNIA 92807

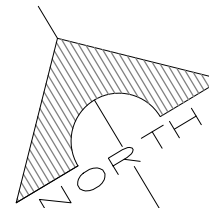
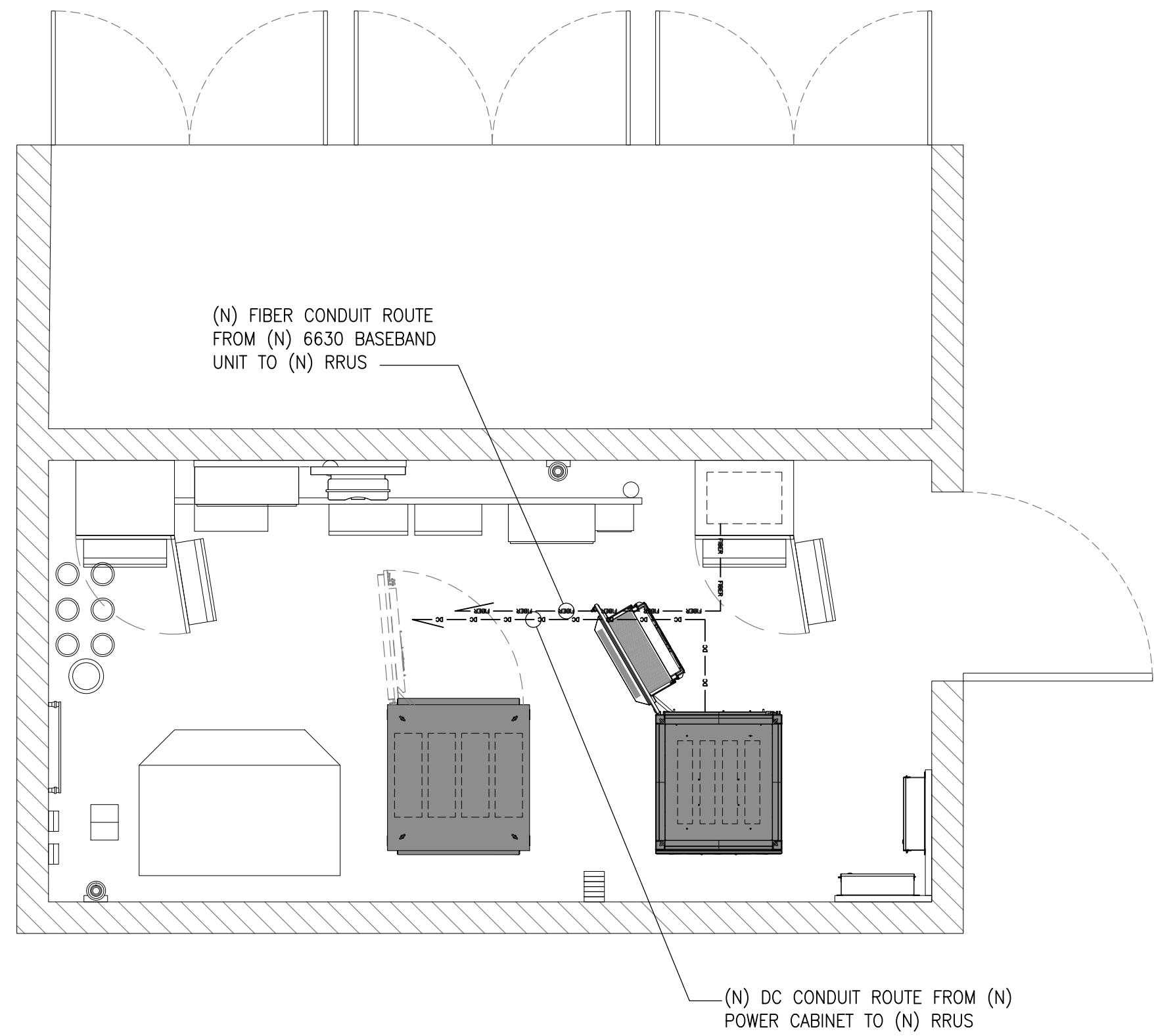
REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDs PER PHOTOSIMULATION
1	02-05-21	REVISED CDs
-	05-28-20	REVISED CDs
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CLU2520  
DOWNEY DIALYSIS CENTER  
8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

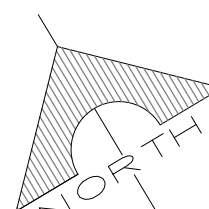
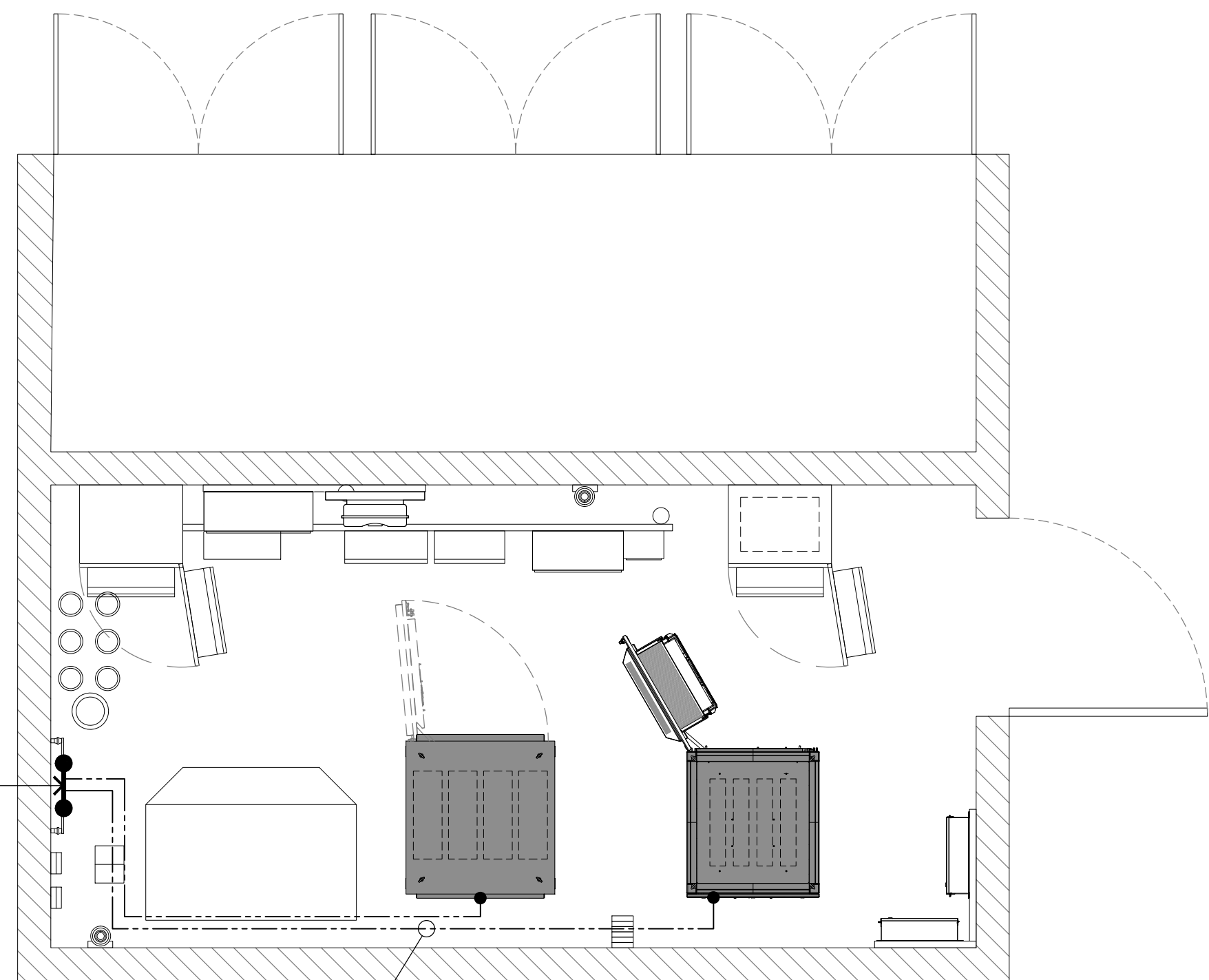
SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER  
**A-6**



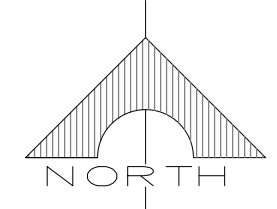
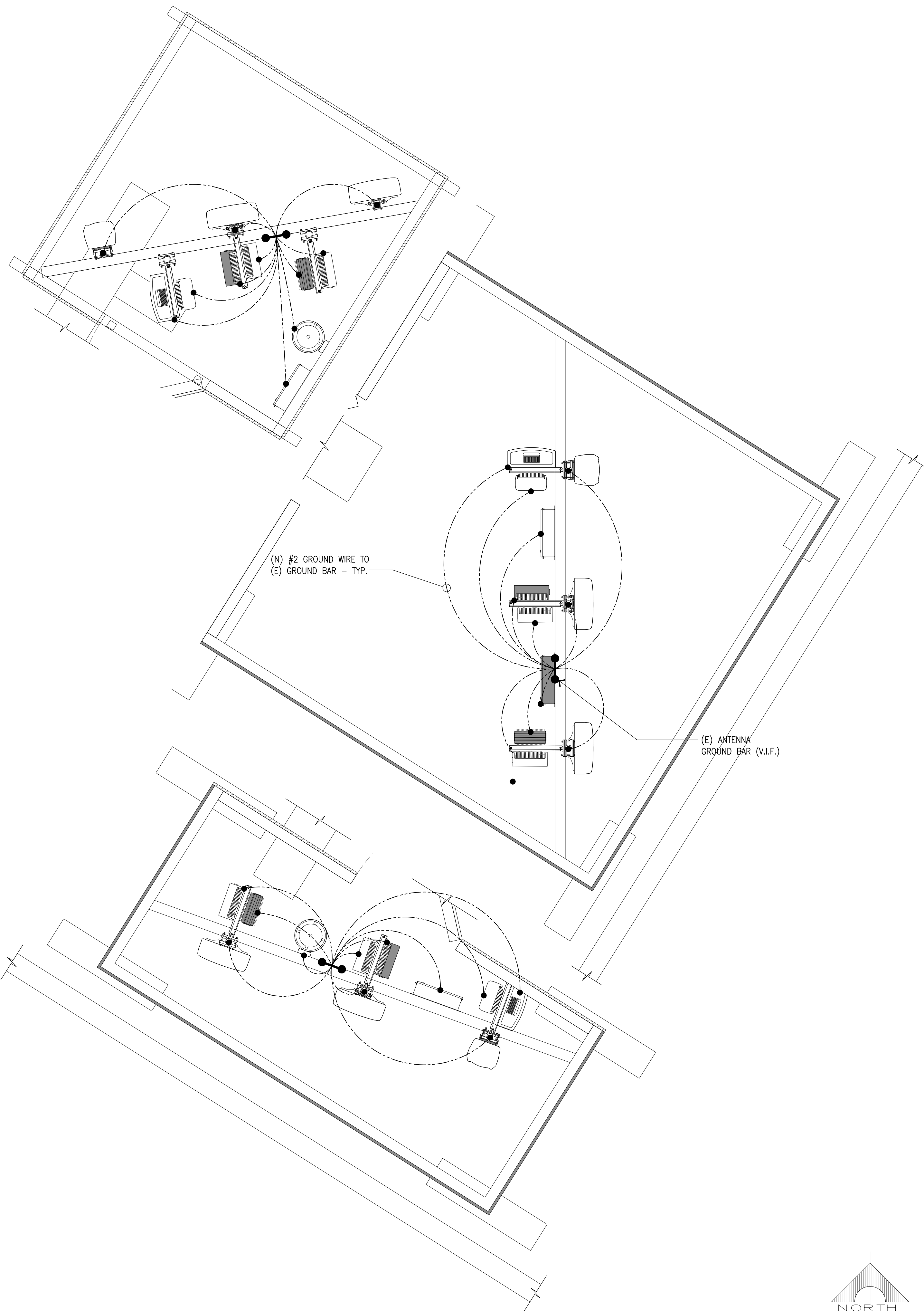
**EQUIPMENT ELECTRICAL PLAN**

SCALE:  
3/8"=1'-0" **2**



**EQUIPMENT GROUNDING PLAN**

**3**

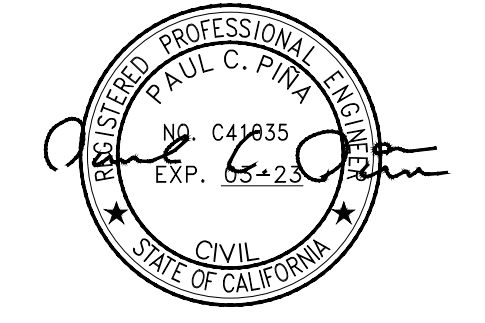


**ANTENNA GROUNDING PLAN**

SCALE:  
1/2"=1'-0" **1**



REV	DATE	DESCRIPTION
2	11/03/2022	REVISED CDs PER PHOTOSIMULATION
1	02-05-21	REVISED CDs
-	05-28-20	REVISED CDs
0	04/20/20	100% CONSTRUCTION DRAWINGS
A	02/03/20	90% CONSTRUCTION DRAWINGS



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CLU2520  
DOWNEY DIALYSIS CENTER  
8630 FLORENCE BLVD  
DOWNEY, CA 90240  
ROOFTOP (OUTDOOR)

SHEET TITLE  
**ELECTRICAL AND GROUNDING PLAN**

SHEET NUMBER  
**E-1**



**DATE:** FEBRUARY 15, 2023

**TO:** PLANNING COMMISSION

**SUBMITTED BY:** ART BASHMAKIAN, AICP, INTERIM CITY PLANNER *AB*

**PREPARED BY:** ABRAHAM LUNA, ASSISTANT PLANNER *AL*

**SUBJECT:** **PLN-22-00102 (SITE PLAN REVIEW) – A REQUEST TO CONSTRUCT A 4-UNIT MULTI-FAMILY DEVELOPMENT ON PROPERTY ZONED R-3 (MULTIPLE-FAMILY RESIDENTIAL) LOCATED AT 10538 LA REINA AVENUE**

**LOCATION:** 10538 LA REINA AVENUE

**ZONING:** R-3 (MULTIPLE-FAMILY RESIDENTIAL)

**REPORT SUMMARY**

This is a request for a Site Plan Review (SPR) to construct a multifamily development. The applicant proposes to construct four, three-story residences, with a front and rear building comprising of two attached residential units, each with a 2-car garage and two accessory dwelling units which are not part of this discretionary review. Each unit is 1,734 square feet in floor area. The development is intended for rental use by a single owner and therefore, there is no parcel map associated with this request.

Based on the analysis contained in this report, staff is recommending the Planning Commission adopt the following titled resolution:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A SITE PLAN REVIEW (PLN-22-00102), THEREBY ALLOWING THE CONSTRUCTION OF A MULTI-FAMILY DEVELOPMENT CONSISTING OF FOUR RESIDENTIAL UNITS LOCATED AT 10538 LA REINA AVENUE**

**BACKGROUND**

The subject site is currently developed with a single-family dwelling and a detached 2-car garage. All existing development is proposed to be demolished as a part of this project.

The subject site is 9,000 square feet, located within the R-3 Zone (Multiple-Family Residential), and has a General Plan land use designation of Medium Density Residential. The surrounding neighborhood to the north, east and south are developed with multi-family residential uses such as apartments and properties to the west, are developed as a single-family residential home similar to the subject site.

On August 2, 2022, the applicant filed a request for a Site Plan Review. Subsequently, the applicant was issued an incomplete letter on August 29, 2022 and November 28, 2022. Upon resubmittal on December 5<sup>th</sup>, 2022 staff reviewed all documents and issued a complete letter on January 17, 2023. On February 02, 2023, notice of the pending public hearing was published in the *Downey Patriot* and mailed to all property owners within 500 feet of the subject property.



Existing Front Elevation from La Reina Avenue

## **DISCUSSION**

The Site Plan Review process requires evaluations to the proposed site changes, landscaping, architecture, and compliance with the Downey Municipal Code. The proposed development includes demolition of the existing single-family dwelling and its detached 2-car garage and the construction of two buildings each consisting of two units and 2-car attached garages. Each unit will have private open space area of at least 200 square feet. The proposed development will reflect a Craftsman Style Architecture. Two guest parking spaces are shown on the project plans as required per the Downey Municipal Code. The existing driveway will be utilized and improved with pavers throughout the site to break-up the monotony of the concrete.

The proposed four-unit development will comply with all applicable development standards. As a point of reference, some major development standards for this project are as follows:

<b>Standard</b>	<b>Zoning Code Standards</b>	<b>Proposed</b>
Lot Coverage	50%	49.57%
Building Height	35 ft. / 3 stories	34'-9" / 3 stories
Setbacks: Front	15 ft. Min.	15 ft.
Rear (3 story building abutting a public alley)	26 ft. Min.	33'-10".
Side	5 ft. Min.	5 ft.
Parking	10 Spaces (8 covered, 2 guest parking)	10 spaces (8 covered, 2 guest parking)

All elements of the proposed Site Plan Review are in compliance with the Downey Municipal Code.

### *Architecture*

All buildings will utilize a uniform color and materials and incorporate elements of the Craftsman Style architecture. Its development will bring a unique architectural character to the neighborhood. The massing of the buildings will be minimized by the use of various materials and colors with façade breaks between each building story. The two front units will have street facing entries and a prominent porch enhancing the neighborhood appeal. The front of the building will have exposed wood beams, tapered columns, and a column base made of masonry to encapsulate both front entrances.

The primary wall façade finish will be “gray cloth” stucco, “infinite deep-sea” wood siding, exposed wood details stained “redwood natural tone”, and Coronado stone wrapping the front façade. The colors and materials used for this project are commonly found throughout Craftsman style architecture. The buildings will incorporate other details such as wooden shutters, roof brackets, wooden garage doors, and header details around windows and doors to further enhance the Craftsman style architecture on the building.

### *Landscape*

The project will include 1,731 square feet of landscape area consisting mostly of drought tolerant landscape. The proposed landscaping will provide a colorful landscape edge oriented towards the front and enhance the overall site. Landscaping will incorporate a tiered system consisting of grass, shrubs, and trees. The landscaping will include (2) two pacific madrone trees, Bermuda grass, dwarf bottle brush, dwarf kangaroo paw, and hummingbird sage.



Proposed Elevation from La Reina Avenue

### **DEVELOPMENT REVIEW COMMITTEE**

On August 18, 2022, the Development Review Committee (DRC) evaluated the project as it pertains to Planning, Police, Fire, Public Works, and Building and Safety matters and provided staff with comments and conditions. The Fire Department requires that the site install a fire hydrant with approved water supply capable of supplying the required fire flow for fire protection. No additional departments expressed concerns or opposition over the project, and issued standard conditions. Recommended conditions of approval have been included in the attached Resolution to address potential impacts.

### **ENVIRONMENTAL ANALYSIS**

Staff has reviewed the proposed Site Plan Review for compliance with the California Environmental Quality Act (CEQA). Upon completion of this review, staff has determined that this request is categorically exempt from CEQA, pursuant to Guideline Section No. 15303 (Class 3 – New Construction or Conversion of Small Structures). Class 3 exemptions consist of Multi-family residential structures of not more than 6 units in urbanized areas.

### **FINDINGS**

Pursuant to Municipal Code Section 9820.08, there are seven (7) findings that must be adopted prior to approving a Site Plan Review. The findings are as follows:

**A. The site plan is consistent with the goals and polices embodied in the General Plan and other applicable plans and policies adopted by the Council;**

The project's objective to revitalize the site helps achieve various long-term goals. Specifically, the following policies are promoted by the Site Plan Review:



*Policy 2.2. – Encourage infill development and recycling of land to provide adequate residential sites.*

*Policy 8.1.1 – Promote architectural design of the highest quality.*

*Policy 8.2.2 – Promote the upgrading of properties.*

The proposed architecture uses quality materials that provide different elements to achieve Craftsman style architecture. The site is compatible in that the surrounding properties consist of a variety of architectural styles; however, this development will be replacing an outdated craftsman style home with a newer multi-family development that will bring a significant upgrade to the immediate area. In efforts to maintain a neighborhood feel, the front unit is developed facing La Reina Avenue to conserve the neighborhood impression of that street. The site is also compatible with the zoning designation and the General Plan Land Use designation which both encourage multi-family residential. Additionally, the majority of the surrounding properties are also multi-family residential. This development will achieve a long-term goal of recycling land to providing more housing units as this development consists of three additional units than what currently exists on the site.

**B. The proposed development is in accordance with the purposes and objectives of this article and the zone in which the site is located;**

The purpose of the R-3 (Multiple-Family Residential) zone, as stated in the Downey Municipal Code, “is intended to provide for the development of multiple-family residential living areas compatible with the neighborhood environment and outdoor recreation potential of the community. Such areas are envisioned as being located and designed to be complementary to adjacent uses and at the same time provide suitable space for multiple-family living quarters.” The proposed development is in full conformance with the objectives stated above and the properties to the south, east, and west of the subject site are also developed as multiple-family residential.

**C. The proposed development’s site plan and its design features, including architecture and landscaping, will integrate harmoniously and enhance the character and design of the site, the immediate neighborhood, and the surrounding areas of the City;**

The proposed design of the project will integrate harmoniously with this area by providing aesthetically pleasing architecture and landscaping. The proposed development will enhance the neighborhood with its high-quality Craftsman Style Architecture. The proposed Craftsman architectural style is compatible and integrated to the style of landscaping and the overall site. In addition, the streetscape will be enhanced as well as the transition from the street onto the site through the proposed landscaping, pedestrian access, and upgraded driveway and driveway approach.

**D. The site plan and location of the buildings, parking areas, signs, landscaping, luminaries, and other site features indicate that proper consideration has been given to both the functional aspects of the site development, such as automobile and pedestrian circulation, and the visual effects of the development from the view of the public streets;**

The project has considered all functional aspects of the site and will be well integrated into the neighborhood. The landscaping around the front building façades creates a nice transitional buffer between the residences, the public right of way, and La Reina Avenue.

The added walkway and sidewalk to the street frontage will maintain an inviting appearance to the site and enhance the residential character along that street. Exterior light lamps are carefully placed near the front porch entrances to ensure both vehicles and pedestrians are able to move around the site in a safe manner. The front prominent porch brings an inviting attraction to the neighborhood that provides curb appeal and functions as a practical social space for its tenants. This project also incorporates a decorative paved driveway entrance to the subject site, thus preventing a long barren driveway with no visual appeal.

**E. The proposed development will improve the community appearance by preventing extremes of dissimilarity or monotony in new construction or in alterations of facilities;**

The proposed project reflects Craftsman style architecture, and reflects a high quality of architectural design. In staff's opinion, the development is neither dissimilar nor monotonous from other properties in the area and this project will improve the overall appearance of the neighborhood. Other developments along La Reina Avenue consist of a variety of architectural styles from California ranch, craftsman, Dutch colonial and mid-century modern. Lastly, this proposed development will be keeping with the quality of design, but will not mimic other properties.

**F. The site plan and design considerations shall tend to upgrade property in the immediate neighborhood and surrounding areas with an accompanying betterment of conditions affecting the public health, safety, comfort, and welfare;**

The proposed architecture is a significant upgrade to the immediate neighborhood and surrounding areas, in terms of use and density. In addition, the redevelopment of this site has the potential of serving as an example for higher quality architecture for future developments within the City of Downey. The project complies with all zoning codes and will comply with all building and safety, and engineering codes to ensure a safe and sound structure for its occupants and its surrounding neighbors. Lastly, the project was designed to ensure that any potential effects will not negatively harm or impact the surrounding sites and accompany the public health, safety, comfort and general welfare as much as possible.

**G. The proposed development's site plan and its design features will include graffiti-resistant features and materials in accordance with the requirements of Section 4960 of Chapter 10 of Article IV of this Code;**

The project has been conditioned to meet the requirements specified in Section 4960 of the Downey Municipal Code. Section 4960 discusses the installation of anti-graffiti materials and the appropriate allotted time limit for the removal of graffiti.

**CORRESPONDENCE**

As of the date that this report was printed, staff has not received any correspondence regarding this application.

**CONCLUSION**

Based on the analysis contained within this report, staff is concluding that all findings required for approval can be made in a positive manner. As such, staff is recommending that the

Planning Commission approve the application (PLN-22-00102), thereby approving a four-unit multifamily development.

**EXHIBITS**

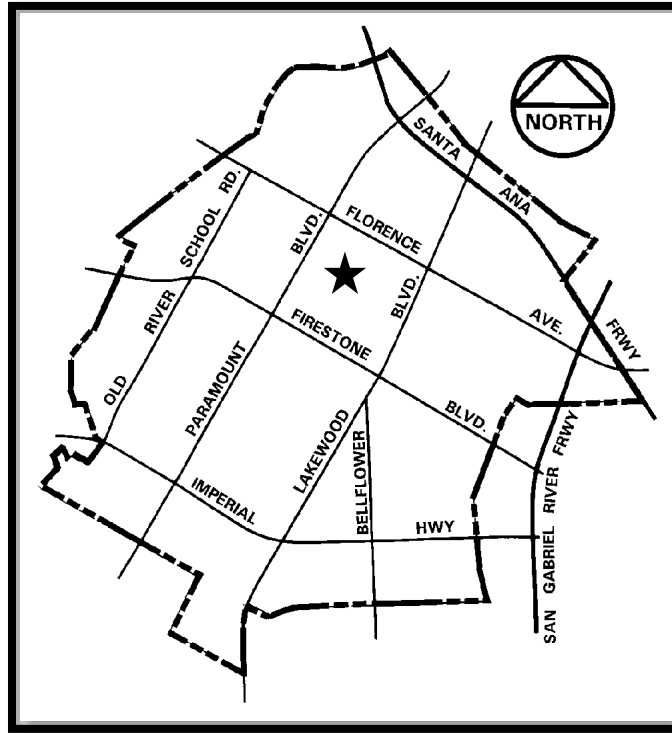
- A. Maps
- B. Draft Resolution
- C. Project Plans

Exhibit 'A' – Maps

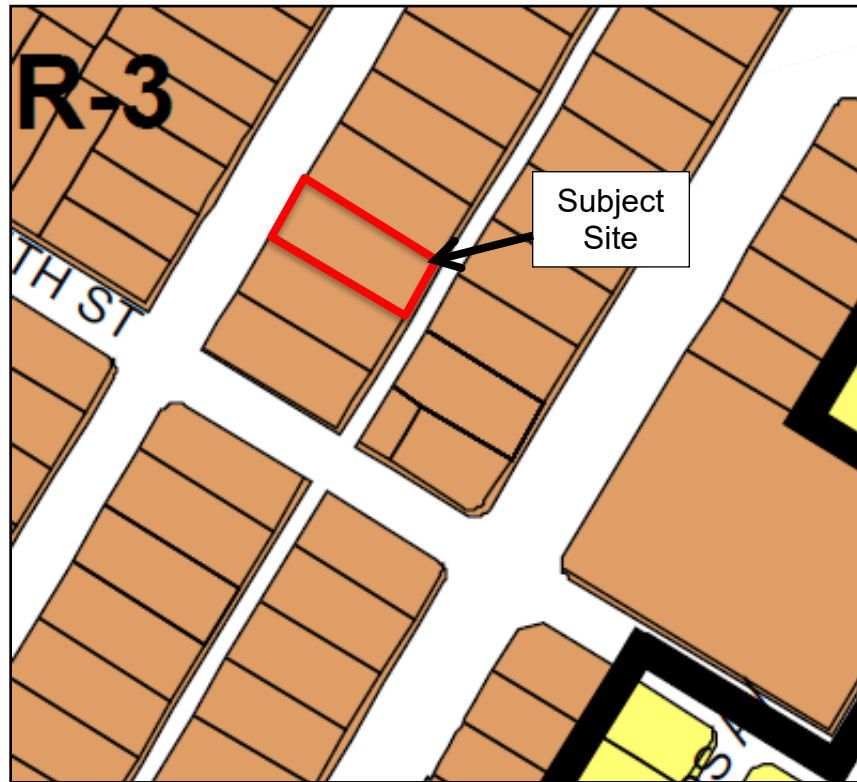
**AERIAL PHOTOGRAPH**



LOCATION MAP



ZONING MAP



**RESOLUTION NO. 23-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A SITE PLAN REVIEW (PLN-22-00102), THEREBY ALLOWING THE CONSTRUCTION OF FOUR MULTI-FAMILY RESIDENTIAL UNITS LOCATED AT 10538 LA REINA AVENUE**

THE PLANNING COMMISSION OF THE CITY OF DOWNEY DOES RESOLVE AS FOLLOWS:

**SECTION 1.** The Planning Commission of the City of Downey does hereby find, determine and declare that:

- A. On August 2, 2022, the application was filed by Willy Barrios (hereinafter referred to as the “applicant”) a request for Site Plan Review (PLN-22-00102) to construct four new dwelling units; and,
- B. The application was deemed incomplete due to missing information on August 29, 2022 and November 28, 2022. The applicant resubmitted additional information and the application was deemed complete for further processing on January 17 2023; and
- C. On February 02, 2023, a notice of the public hearing was sent to all property owners within 500’ of the subject site and the notice was published in Downey Patriot; and,
- A. The Planning Commission held a duly noticed public hearing on February 15, 2023 and after fully considering all oral and written testimony, facts, and opinions offered at the aforesaid public hearing adopted this resolution.

**SECTION 2.** The Planning Commission further finds, determines and declares that the proposed project was reviewed for compliance with the California Environmental Quality Act (CEQA), and is categorically exempt from CEQA, pursuant to Guideline Section 15303 (Class 3, New Construction or Conversion of small structures). Class 3 exemptions consist of Multi-family residential structures of not more than 6 units in urbanized areas.

**SECTION 3.** Having considered all of the oral and written evidence presented to it at said public hearings regarding the Site Plan Review, the Planning Commission further finds, determines and declares that:

- A. The site plan is consistent with the goals and polices embodied in the General Plan and other applicable plans and policies adopted by the Council. The project’s objective to revitalize the site helps achieve various long-term goals. Specifically, the following policies are promoted by the Site Plan Review. *Policy 2.2. – Encourage infill development and recycling of land to provide adequate residential sites. Policy 8.1.1 – Promote architectural design of the highest quality. Policy 8.2.2 – Promote the upgrading of properties.* The proposed architecture uses quality materials that provide different elements to achieve Craftsman style architecture. The site is compatible in that the surrounding properties consist of a variety of architectural styles; however, this development will be replacing an outdated craftsman style home with a newer multi-family development that will bring a significant upgrade to the immediate area. In efforts to maintain a neighborhood feel, the front unit is

developed facing La Reina Avenue to conserve the neighborhood impression of that street. The site is also compatible with the zoning designation and the General Plan Land Use designation which both encourage multi-family residential. Additionally, the majority of the surrounding properties are also multi-family residential. This development will achieve a long-term goal of recycling land to providing more housing units as this development consists of three additional units than what currently exists on the site.

- B. The proposed development is in accordance with the purposes and objectives of this article and the zone in which the site is located. The purpose of the R-3 (Multiple-Family Residential) zone, as stated in the Downey Municipal Code, "is intended to provide for the development of multiple-family residential living areas compatible with the neighborhood environment and outdoor recreation potential of the community. Such areas are envisioned as being located and designed to be complementary to adjacent uses and at the same time provide suitable space for multiple-family living quarters." The proposed application is in full conformance with the objectives stated above and the properties to the south, east, and west of the subject site are also developed as multiple-family residential.
- C. The proposed development's site plan and its design features, including architecture and landscaping, will integrate harmoniously and enhance the character and design of the site, the immediate neighborhood, and the surrounding areas of the City. The proposed design of the project will integrate harmoniously with this area by providing aesthetically pleasing architecture and landscaping. The proposed development will bring a unique character neighborhood. The proposed Craftsman architectural style is compatible and integrated to the style of landscaping and the overall site. In addition, the streetscape will be enhanced as well as the transition from the street onto the site through the proposed landscaping, pedestrian access, and upgraded driveway and driveway approach.
- D. The site plan and location of the buildings, parking areas, signs, landscaping, luminaries, and other site features indicate that proper consideration has been given to both the functional aspects of the site development, such as automobile and pedestrian circulation, and the visual effects of the development from the view of the public streets. The project has considered all functional aspects of the site and will be well integrated into the neighborhood. The landscaping around the front building façades creates a nice transitional buffer between the residences, the public right of way, and La Reina Avenue. The added walkway and sidewalk to the street frontage will maintain an inviting appearance to the site and enhance the residential character along that street. Exterior light lamps are carefully placed near the front porch entrances to ensure both vehicles and pedestrians are able to move around the site in a safe manner. The front prominent porch brings an inviting attraction to the neighborhood that provides curb appeal and functions as a practical social space for its tenants. This project also incorporates a decorative paved driveway entrance to the subject site, thus preventing a long barren driveway with no visual appeal.
- E. The proposed development will improve the community appearance by preventing extremes of dissimilarity or monotony in new construction or in alterations of facilities. The proposed project reflects Craftsman style architecture, and reflects a high quality of architectural design. In staff's opinion, the development is neither dissimilar nor monotonous from other properties in the area and this project will

improve the overall appearance of the neighborhood. Other developments along La Reina Avenue consist of a variety of architectural styles from California ranch, craftsman, Dutch colonial and mid-century modern. Lastly, this proposed development will be keeping with the quality of design, but will not mimic other properties.

- F. The site plan and design considerations shall tend to upgrade property in the immediate neighborhood and surrounding areas with an accompanying betterment of conditions affecting the public health, safety, comfort, and welfare. The proposed architecture is a significant upgrade to the immediate neighborhood and surrounding areas, in terms of use and density. In addition, the redevelopment of this site has the potential of serving as an example for higher quality architecture for future developments within the City of Downey. The project complies with all zoning codes and will comply with all building and safety, and engineering codes to ensure a safe and sound structure for its occupants and its surrounding neighbors. Lastly, the project was designed to ensure that any potential effects will not negatively harm or impact the surrounding sites and accompany the public health, safety, comfort and general welfare as much as possible.
  
- G. The proposed development's site plan and its design features will include graffiti-resistant features and materials in accordance with the requirements of Section 4960 of Chapter 10 of Article IV of this Code. The project has been conditioned to meet the requirements specified in Section 4960 of the Downey Municipal Code. Section 4960 discusses the installation of anti-graffiti materials and the appropriate allotted time limit for the removal of graffiti.

**SECTION 4.** Based upon the findings set forth in Sections 1 through 3 of this Resolution, the Planning Commission of the City of Downey hereby approves a Site Plan Review (PLN-22-00102), subject to conditions of approval attached hereto as Exhibit 'A', which are necessary to preserve the health, safety and general welfare of the community and enable the Planning Commission to make the findings set forth in the previous sections. The conditions are fair and reasonable for the accomplishment of these purposes.

**SECTION 5.** The Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 15<sup>th</sup> day of February 2023.

---

Horacio Ortiz, Chairman  
City Planning Commission



I HEREBY CERTIFY that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Downey at a regular meeting thereof held on the 15<sup>th</sup> day of February 2023, by the following vote, to wit:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:
ABSTAIN:	COMMISSIONERS:

---

Linda Thai,  
Deputy City Clerk

**PLN-22-00102  
(SITE PLAN REVIEW)  
EXHIBIT A - CONDITIONS**

**PLANNING**

1. The approval of this Site Plan Review (PLN-22-00102) allows for the construction of four three-story residential dwelling units, each designed with an attached 2-car garage located at 10538 La Reina Avenue.
2. No later than March 8, 2023, the applicant and the property owner shall sign and return an affidavit of Acceptance of Conditions, as provided by the City of Downey.
3. The site shall remain in substantial conformance with this request and the approved set of plans.
4. Approval of the Site Plan Review (PLN-22-00102) shall not be construed to mean any waiver of applicable and appropriate zoning regulations, or any Federal, State, County, and City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Downey Municipal Code shall apply.
5. The Owner/Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the approval of this resolution, to challenge the determination made by City under the California Environmental Quality Act or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition.
6. The City Planner is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
7. All buildings and walls must be finished with graffiti resistant materials pursuant to Downey Municipal Code Section 4960.
8. Any graffiti applied to the site shall be removed within 48 hours.
9. The approved Craftsman architectural style, finish material, and colors shall remain in strict conformance with the approved elevations and materials board reflecting stucco, wood siding, stone veneer, and exposed wood trim. Changes to the facades and/or colors shall be subject to the review and approval of the City Planner. At his/her discretion, the City Planner may refer changes to the facades and/or colors to the Planning Commission for consideration.

10. The applicant shall comply with the art in public places requirements set forth in Downey Municipal Code 8950 et seq. This shall include payment of all required fees prior to the issuance of building permits. Should the applicant exercise their right to install public art on site, the public art application (including payment of all deposits) shall be submitted prior to the issuance of building permits.
11. The Applicant shall incorporate a copy of this Exhibit A - Conditions of Approval, into the approved set of building plans.
12. Driveways and driveway approaches shall be improved with concrete and pavers throughout, as approved on the project plans. Any changes or modification to the approved driveway must be approved by the City Planner.
13. All landscaping must remain in compliance with the Downey Municipal Code, be composed of drought tolerant plants, and strictly conform to the approved set of plans. Any revisions to the proposed landscape plans will first require approval from the City Planner.
14. Open space requirements must comply with the provisions set forth in section 9312.08(b)(10)(iv) of the Downey Municipal Code. The private open space patio areas for each unit shall have no dimension less than eight (8) feet with a minimum area of two hundred (200) square feet.
15. Prior to the final of building permits, all landscaping and irrigation shall be installed. The type, size and number of landscaping shall be as noted on the final approved landscape plan. All landscape shall be installed and permanently maintained.
16. Prior to the final of building permits, all installed landscaping shall be certified by a licensed Landscape Architect. The licensed Landscape Architect shall be on-site during the delivery of all trees to certify that all trees and plants are the right species and size.
17. All exterior lights on the property shall be LED and shall be directed, positioned, and/or shielded such that they do not illuminate surrounding properties and the public right-of-way.
18. All above grade back-flow preventers, check valves, shall be screened from view from the public right-of-way by a decorative metal-cut-out screen subject to approval of the City Planner.
19. All exterior mechanical and utility equipment shall be designed and located five feet from property line so as to not transmit noise or vibration to abutting properties. All utility equipment shall be located along the sides and/or rear of the buildings and shall be screened from public view through the use of landscape screens, walls, or other devices architecturally compatible with the buildings. Electrical panels and/or transformers are expressly prohibited from being located between the buildings and the public street.

## **BUILDING**

20. All construction shall comply with the most recent adopted City and State building codes:
  - a) 2022 California Building Code

- b) 2022 California Residential Code
  - c) 2022 California Electrical Code
  - d) 2022 California Mechanical Code
  - e) 2022 California Plumbing Code
  - f) 2022 California Fire Code
  - g) 2022 California Green Code
21. Special Inspections – As indicated by California Building Code Section 1704, the owner shall employ one or more special inspectors who shall provide special inspections when required by CBC section 1704. Please contact the Building Division at time of plan submittal to obtain application for special inspections.
22. The Title Sheet of the plans shall include:
- a) Occupancy Group
  - b) Occupant Load
  - c) Description of use
  - d) Type of Construction
  - e) Height of Building
  - f) Floor area of building(s) and/or occupancy group(s)
23. School impact fees shall be paid prior to permit issuance.
24. Dimensioned building setbacks and property lines, street centerlines and between buildings or other structures shall be designed on plot plan.
25. All property lines and easements must be shown on plot plan. A statement that such lines and easements are shown is required.
26. The project design will conform with energy conservation measures articulated in Title 24 of the California Code of Regulations and address measures to reduce energy consumption such as flow restrictors for toilets, low consumption light fixtures, and insulation and shall use to the extent feasible draught landscaping.
27. A design professional will be required at time of construction drawings, to prepare plans for proposed improvements per the Business and Professions' Code.
28. Public and private site improvements shall be designed in accordance with the Americans with Disabilities Act and Chapter 11 of the California Building Code. Site plan shall include a site accessibility plan identifying exterior routes of travel and detailing running slope, cross slope, width, pedestrian ramp, curb ramps, handrails, signage and truncated domes. Path of travel shall be provided from the public right of way and accessible parking to building. The design professional shall ensure that the site accessibility plan is compliance with the latest Federal and State regulations.

## **FIRE**

The following comments pertain to a limited fire review of a design review plan submittal. The comments contained herein shall not be construed as complete or encompassing all fire-life safety code requirements set forth in local, State, and/or National local codes.

29. Deferred automatic fire sprinkler plan submittal required for new Residential Group R occupancy. Automatic fire sprinkler system design, installation, and testing shall be per NFPA 13D or 13R based on the building construction type, height, fire separation, etc. [CFC § 903.2.8; DMC 3318]
30. Fire sprinklers shall be required in proposed Accessory Dwelling Units.
31. Premises shall be appropriately addressed. An approved address identification shall be provided that is legible and placed in a position that is visible from the street/road. Sizing shall be approved and at a minimum meet requirement of CA Fire Code [CA Fire Code §505.1]
32. Smoke alarms shall be installed in Residential Group R occupancies on the ceiling or wall or each separate sleeping areas, rooms used for sleeping, in each story within the dwelling [CA Fire Code §907.2.11.2]
33. Carbon monoxide detection shall be installed in R-occupancies dwelling units in the following locations: (1) Outside each separate sleeping area in the immediate vicinity of bedroom, (2) On every occupiable level of the dwelling unit, (3) where fuel-burning equipment is located [915.2.1]
34. Project construction shall comply with requirements set forth in the CA Building and Residential Codes for egress, construction type and height, etc.
35. Additional fire hydrant(s) shall be required such that the hydrant spacing on La Reina Ave. is in compliance with Article III, Chapter 6, Section 3610 of the Downey Municipal Code (... "One hundred fifty feet (150') is the maximum distance from any point on street or frontage to a hydrant.").

## **PUBLIC WORKS**

### **Streets**

36. All public utilities shall be installed underground.
37. Proposed public improvements shall comply with the latest edition of Standard Plans and Specifications for Public Works Construction, City of Downey standards and the Americans with Disabilities Act (ADA).
38. Obtain permits from the Public Works Department for all improvements within the public right of way at least two weeks prior to commencing work. Contact Brian Aleman, Assistant Civil Engineer I, at (562) 904-7110 for information.
39. Remove and replace damaged, uneven or sub-standard curb, gutter, sidewalk, driveway, disabled ramps, and pavement to the satisfaction of the Public Works Department. Contact the Public Works Inspector at (562) 904-7110 to identify the limits of the areas to be removed and replaced at least 48 hours prior to commencing work.
40. Submit public improvement plan(s) for review and approval by Public Works Department.

41. Construct (1) parkway tree. 24-inch box street trees at the parkway on La Reina Avenue frontage. The species of any new street trees to be planted shall be in accordance with the City's Tree Master Plan (contact City arborist for tree species.)
42. Remove all Underground Service Alert (USA) temporary pavement markings immediately following the completion of the work / Final permit inspection.
43. Paint property address numbers (4" height) on the curb face in front of the proposed development to the City's satisfaction.
44. Driveway approaches shall match driveway width as specified in City Standard Drawing No. 19.

### **Water & Sewer**

45. The owner/applicant shall furnish and install separate water service lines, meters, and boxes for each tenant space. Connect new separate water service lines to existing 6-inch main located on La Reina Avenue.
46. The owner/applicant shall provide a fire sprinkler system(s) in accordance with Fire Department and Building and Safety standards. Should such fire sprinkler system(s) require the installation of dedicated fire service lateral(s), such lateral(s) shall be constructed in accordance with the latest Department of Public Works and Fire Department standards including backflow devices, fire department connections and other appurtenances as required. New fire service lateral(s) shall be connected to existing 6-inch main located on La Reina Avenue and shall be dedicated for fire service only.
47. If required, the owner/applicant shall furnish and install irrigation, domestic, and fire water backflow devices in accordance with City of Downey standards and as required by State and LA County Department of Public Health. Backflow devices shall be located on private property, readily accessible for emergency and inspection purposes, and screened from view by providing sufficient landscaping.
48. Backflow devices shall be certified in the field by a licensed LA County Department of Public Health certified tester prior to placing into service and such certification provided to City.
49. Owner or tenant must establish accounts with the City Cashier prior to the City activating and the tenant using any fire and potable water service and meter.
50. The owner/applicant shall provide separate off-site water improvement plan sets for review and approval from Public Works. The plan shall consist of the following:
  - a. Potable Water Improvement Plans (all City-owned potable water and fire service lateral improvements). Improvement plans for potable water main improvements shall be plan and profile.

Final City approved potable water main improvement plans shall be submitted on mylars and shall be signed and stamped by a State of California licensed Civil Engineer.

51. The owner/applicant shall provide and record utility easement(s) for access to, and inspection and maintenance of, public water lines, meters, and appurtenances.
52. The owner/applicant shall furnish and install a new 6 - inch sewer lateral(s) (from the 8" sewer main on La Reina Avenue to the front property line) for each house in the lot. New sewer laterals shall be constructed with Vitrified Clay Pipe (VCP). The existing sewer lateral can be used for one of the house. The design and improvements of sewers shall be in accordance with the latest standards of the Department of Public Works. Septic systems shall not be allowed.
53. Utility plans for proposed new sewer lateral(s) shall be submitted to and approved by the Department of Public Works prior to the issuance of the grading plan permit.
54. Submit a copy of the sewer plans to the City and to the Sanitation Districts of Los Angeles County for review and approval. Approval must be assured prior to the start of construction. Contact Los Angeles County Sanitation District for their requirement.
55. The lot shall be served by adequately sized water supply facilities, which shall include fire hydrants of the size, type and location approved by the Fire Chief.
56. The owner/applicant shall retrofit any existing fire hydrant(s) within the property frontage in accordance to latest Fire Department and Department of Public Works standards including but not limited to furnishing and installation of a new riser, fire hydrant head, and associated fittings.
57. Any deviation from the city standards in constructing the water and sewer lines shall be approved by the Los Angeles County Health Department.

### **Grading**

58. Submit an engineered grading plan and/or hydraulic calculations and site drainage plan for the site (prepared and sealed by a registered civil engineer in the State of California) accompanied by a soil and geology report for approval by the Engineering Division and Building and Safety Division. Lot(s) shall not have less than one (1%) percent gradient on any asphalt or non-paved surface, or less than one quarter (1/4%) percent gradient on any concrete surface. Provide the following information on plans: topographic site information, including all building pad and other elevations, dimensions/location of existing/proposed public improvements adjacent to project (i.e. street, sidewalk, parkway and driveway widths, catch basins, pedestrian ramps); the width and location of all existing and proposed easements, the dimensions and location of proposed dedications; (for alley dedications, show elevations of the four corners of the dedication and centerline of alley, existing and proposed underground utility connections); the location, depth and dimensions of potable water, reclaimed water and sanitary sewer lines; chemical and hazardous material storage, if any, including containment provisions; and the type of existing use, including the gross square footage of the building and its disposition; construction details of drainage devices and details of Low Impact Development (LID) plan.
59. Include any other applicable site-specific conditions.

60. The drainage plan must provide for each lot having an independent drainage system to the public street, to a public drainage facility, or by means of an approved drainage easement.

### **NPDES**

61. The owner/applicant shall comply with the National Pollutant Discharge Elimination System (NPDES); Ordinance 1142 of the Downey Municipal Code (DMC); and the Low Impact Development (LID) Plan. Furthermore, the applicant shall be required to Certify and append Public Works standard "Attachment A" to all construction and grading plans as required by the LACoDPW Stormwater Quality Management Plan (SQMP).
62. If any hazardous material is encountered on the site that has the potential to reach the ground water supply, the owner/applicant shall secure a permit for the State Regional Water Quality Control Board.
63. If any hazardous material is encountered on the site, the owner/applicant shall secure an ID number from the EPA.
64. The owner/applicant shall deploy Best Management Practices during and after construction.
65. Owner/applicant shall comply with the Low Impact Development requirements for small scale Residential LID Category. The owner/applicant shall incorporate one of the two options (Vegetated Bio swale or Cultec System) in the site plan with detail.

- a) Include the following statement into your plan:

*"As the designer/architect of the project, I have designed the LID System in accordance with the design criteria of the City of Downey's LID Technical Guidance Manual for Small Site Developments."*

### **Assessment District**

66. The owner/applicant hereby consents to the annexation of the property into the Downey City Lighting Maintenance District in accordance with Division 15 of the Streets and Highways Code, and to incorporation or annexation into a new or existing Benefit Assessment or Municipal Improvement District in accordance with Division 10 and Division 12 of the Streets and Highways Code and/or Division 2 of the Government Code of the State of California.

### **Recycling**

67. Complete a construction & demolition (C&D) waste management plan per Article V, Chapter 8 of the Downey Municipal Code.

### **General**

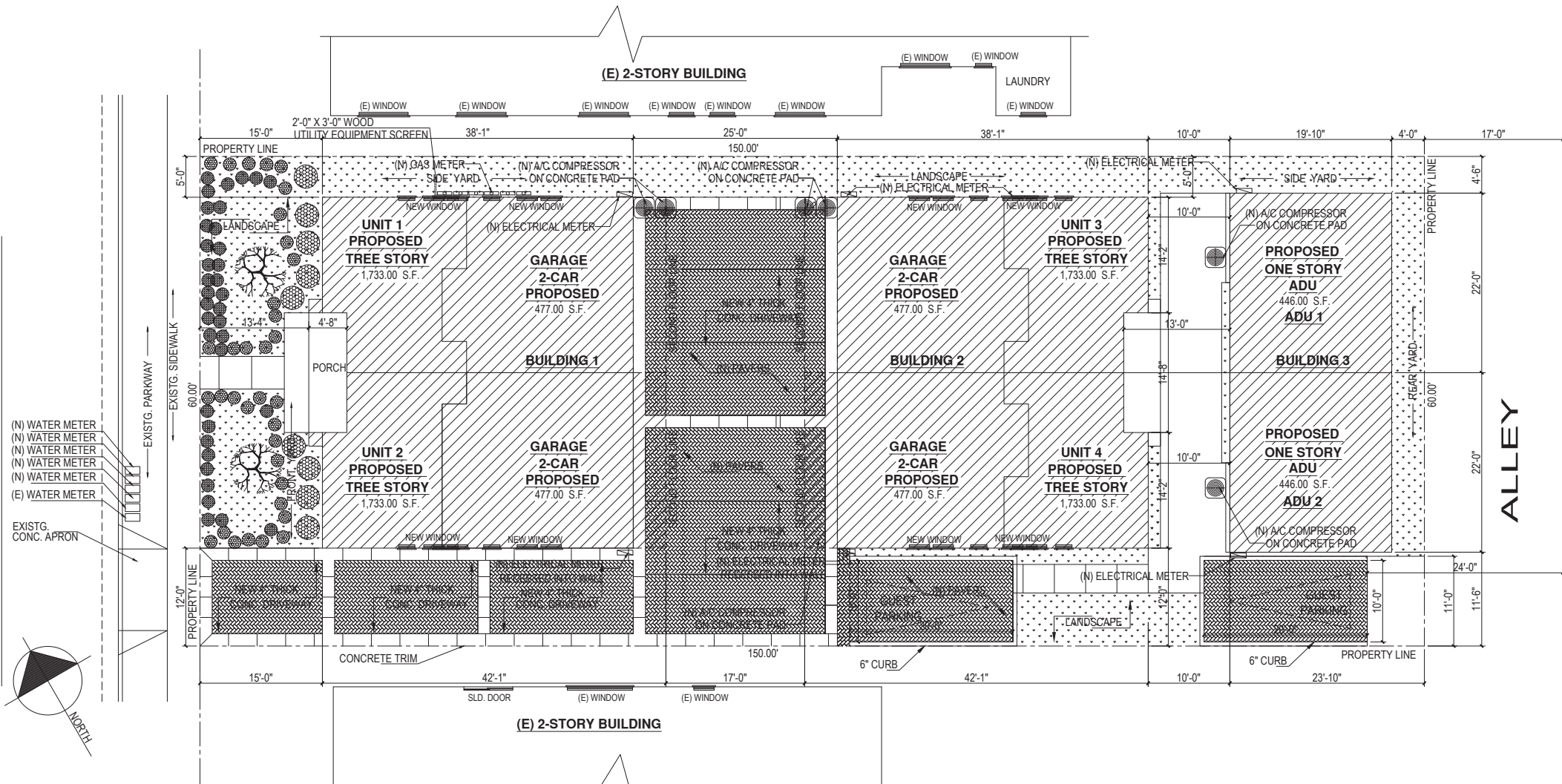
68. Remove all construction-related Underground Service Alert (USA) temporary pavement markings created as part of this project within the public-right-of-way in a timely manner.



69. The owner/applicant must comply with all applicable Federal, State and local rules and regulations, American Disabilities Act (ADA), including compliance with South Coast Air Quality Management District (SCAQMD) regulations.

**[End of Conditions]**

10538 LA REINA AVE.



PLOT PLAN  
SCALE 1/8"=1'-0"



**PROJECT INFORMATION**

ZONE R-3 MULTIPLE FAMILY RESIDENCE	
LOT AREA	9,000.00 SQ.FT.
PROPOSED FOUR (4) 3-STORY UNITS AND 2 ADU	
PROPOSED AREA UNIT 1	FIRST FLOOR = 320.00 SQ.FT. SECOND FLOOR = 661.00 SQ.FT. THIRD FLOOR = 753.00 SQ.FT. TOTAL LIVING AREA UNIT 1 = 1,734.00 SQ.FT. PROPOSED GARAGE AREA UNIT 1 = 477.00 SQ.FT. OPEN SPACE = 200.00 SQ.FT.
PROPOSED AREA UNIT 2	FIRST FLOOR = 320.00 SQ.FT. SECOND FLOOR = 661.00 SQ.FT. THIRD FLOOR = 753.00 SQ.FT. TOTAL LIVING AREA UNIT 2 = 1,734.00 SQ.FT. PROPOSED GARAGE AREA UNIT 2 = 477.00 SQ.FT. OPEN SPACE = 200.00 SQ.FT.
PROPOSED AREA UNIT 3	FIRST FLOOR = 320.00 SQ.FT. SECOND FLOOR = 661.00 SQ.FT. THIRD FLOOR = 753.00 SQ.FT. TOTAL LIVING AREA UNIT 3 = 1,734.00 SQ.FT. PROPOSED GARAGE AREA UNIT 3 = 477.00 SQ.FT. OPEN SPACE = 200.00 SQ.FT.
PROPOSED AREA UNIT 4	FIRST FLOOR = 320.00 SQ.FT. SECOND FLOOR = 661.00 SQ.FT. THIRD FLOOR = 753.00 SQ.FT. TOTAL LIVING AREA UNIT 4 = 1,734.00 SQ.FT. PROPOSED GARAGE AREA UNIT 4 = 477.00 SQ.FT. OPEN SPACE = 200.00 SQ.FT.
PROPOSED AREA ADU 1	FIRST FLOOR = 465.00 SQ.FT.
PROPOSED AREA ADU 2	FIRST FLOOR = 465.00 SQ.FT.

LOT COVERAGE:

TOTAL COVER AREA=	4,462.00 / 9,000.00 X 100 = 49.57% < 50%
ZONING	R3
OCCUPANCY GROUP	R3
CONSTRUCTION TYPE:	TYPE VB-SPRINKLERED (NFPA 13R)
3-STORY	
BUILDING SIZE	SEE PLAN
BUILDING HEIGHT	35'-0"
EXTERIOR FINISH:	WOOD SIDING AND STUCCO
ROOFING:	SHINGLES ROOFING
FRAME:	WOOD FRAME
PARKING SPACES:	10 PARKING
TOTAL LANDSCAPE:	2,424.00 SQ FT

**LEGAL DESCRIPTION**

DOWNNEY HOME TRACT LOT 16 BLK 6  
APN. 6252-025-017

**SCOPE OF WORK**

DEMO OF (E) SFD AND (E) 2-CAR GARAGE.  
PROPOSED (4) 3-STORY APARTMENT UNITS  
WITH (4) 2-CAR GARAGES. AND (2) 1-STORY  
ADU

**FIRE DEPARTMENT NOTES**

An approved fire sprinkler system shall be installed.  
Plans must be submitted separately to the Downney  
Fire Department.  
DEFERRED SUBMITTAL : Fire Sprinklers  
BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION  
THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD  
FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH  
BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A  
MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2". (R319.1 CRC)

**CODES**

THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2019  
CALIFORNIA BUILDING CODE (CBC), CALIFORNIA  
MECHANICAL CODE (CMC), CALIFORNIA PLUMBING  
CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND  
CALIFORNIA ENERGY CODE, C.R.C. AND C.G.C., TYPE OF  
FIRE SPRINKLER INSTALLED (NFPA 13R) AS AMENDED  
BY CHAPTER 35

**SHEET INDEX**

A-1	PLOT PLAN
A-2	FIRST FLOOR PLANS (BUILDINGS 1 AND 2)
A-3	SECOND FLOOR PLANS (BUILDINGS 1 AND 2)
A-4	THIRD FLOOR PLANS (BUILDINGS 1 AND 2)
A-5	FLOOR PLAN (BUILDING 3), ELEVATIONS (BUILDING 3)
A-6	BUILDING 1 ELEVATIONS,
A-7	BUILDING 2 ELEVATIONS
A-8	LANDSCAPE PLAN, CONCEPTUAL LID PLAN
A-9	DEMO PLANS
A-10	RENDERINGS
P1	PHOTOMETRIC PLAN 1
P2	PHOTOMETRIC PLAN 2
P3	PHOTOMETRIC PLAN 3

**PROPOSED 3-STORY  
4-UNITS  
APARTMENTS AND  
2-ADU**  
10538 LA REINA AVE.  
DOWNEY, CA. 90241

CONTACT:  
Mr. WILLIE BARRIOS  
Mobile: (323) 495 7208  
OWNER:  
Mr. WILLIE  
Mobile: (323) 495 7208  
10224 LA REINA AVE.  
DOWNEY, CA. 90241

CONSULTANT

**C&C**  
Drafting Design  
Edgar Cortes

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& Commercial # 200w, Anaheim  
Design Ca. 92801  
(562) 916 7505 | (714) 813 6555  
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**ISSUES AND REVISIONS**

NO.	DATE	BY	CHECK

1. VERIFY MEASUREMENTS WITH CORRESPONDING  
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PROCEEDING WITH THE WORK, AND NOTIFY THE  
ARCHITECT IMMEDIATELY OF SIGNIFICANT  
DISCREPANCIES.  
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL  
DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH  
FLOOR ELEVATION. THE CONTRACTOR MUST  
COORDINATE DATUM-BASED ARCHITECTURAL  
ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS  
SHOWN ON CIVIL DRAWINGS.  
3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL  
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**SITE PLAN, GENERAL  
ELEVATIONS**

SEAL:

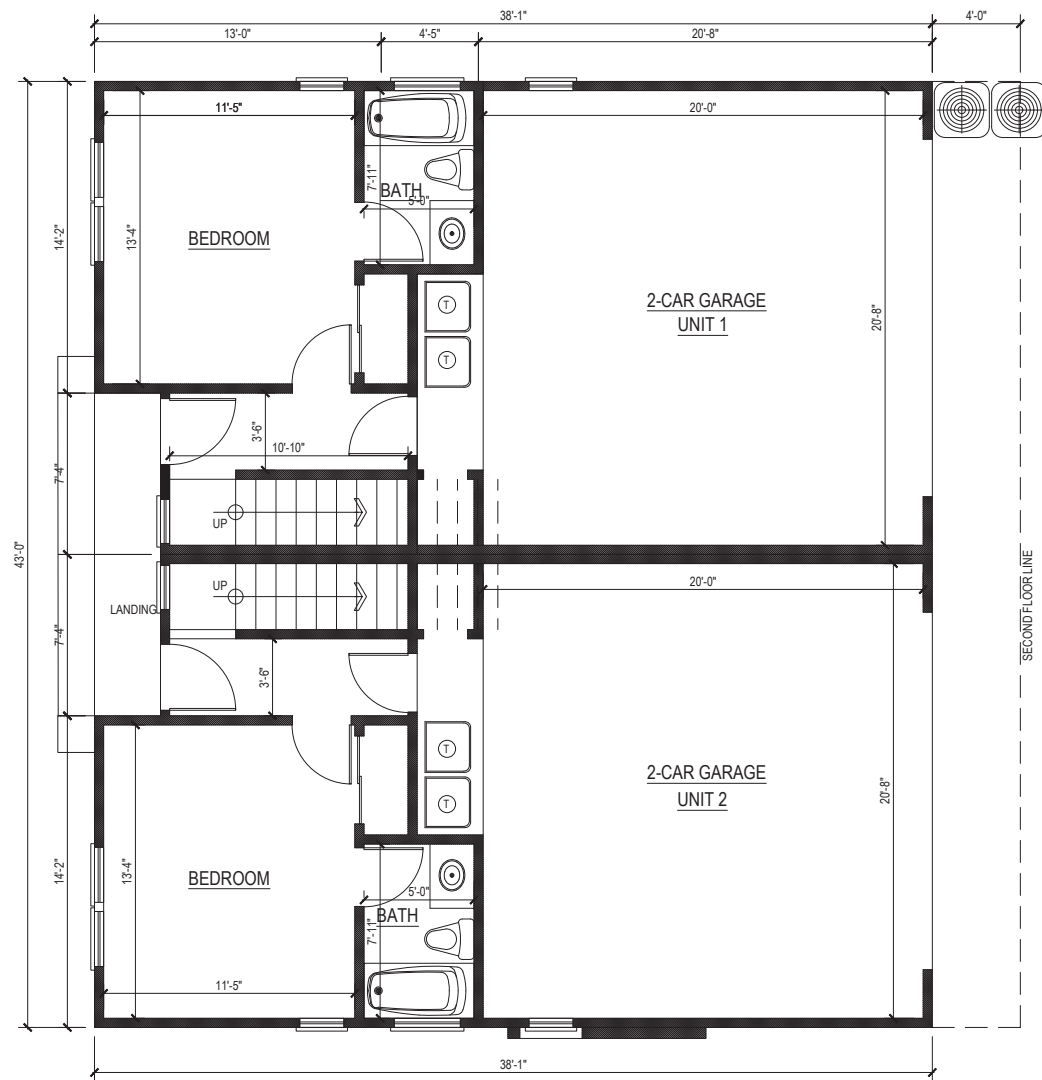
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Project Number \_\_\_\_\_

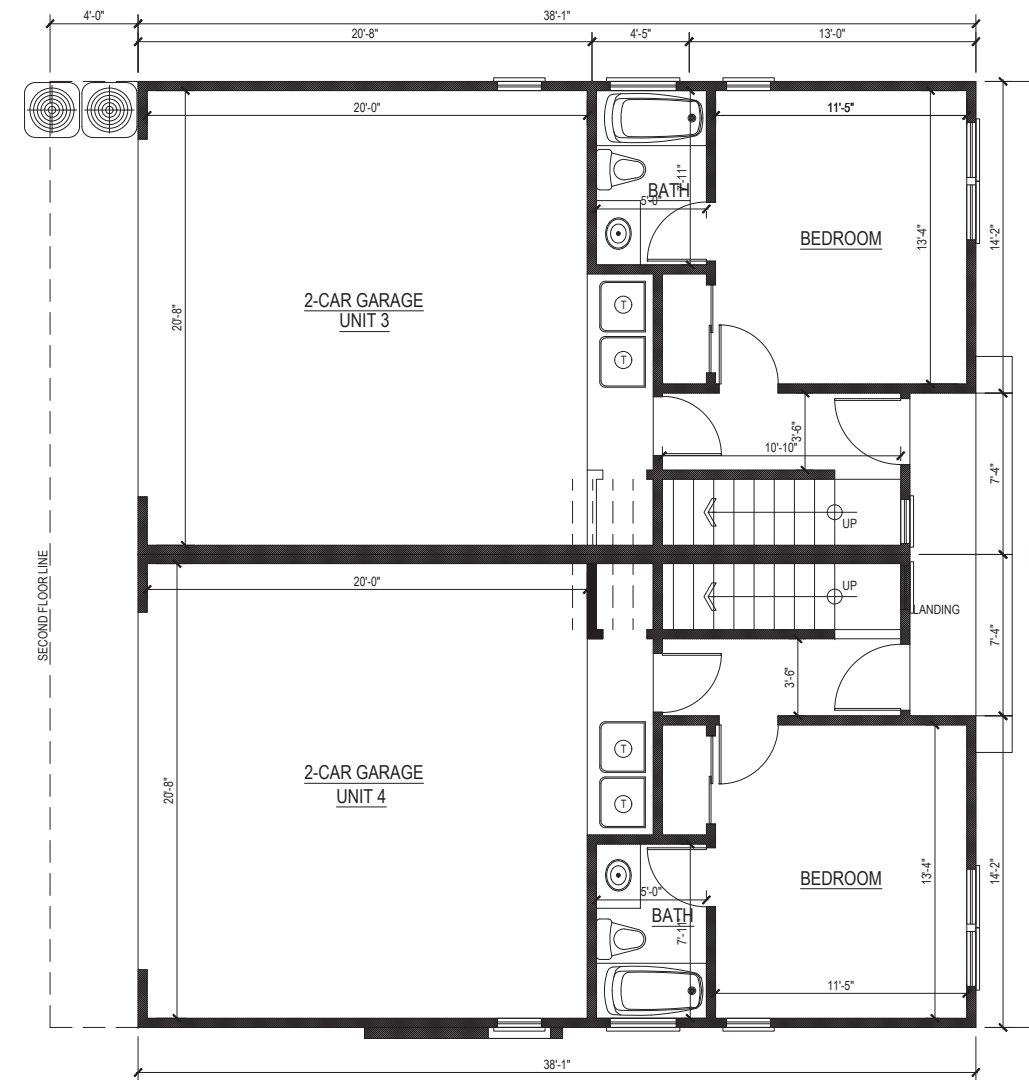
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**FIRST FLOOR PLAN (BUILDING 1)** 320.00 SQ.FT.  
**UNIT 1 & 2**  
 SCALE 1/4"=1'-0"



**FIRST FLOOR PLAN (BUILDING 2)** 320.00 SQ.FT.  
**UNIT 3 & 4**  
 SCALE 1/4"=1'-0"

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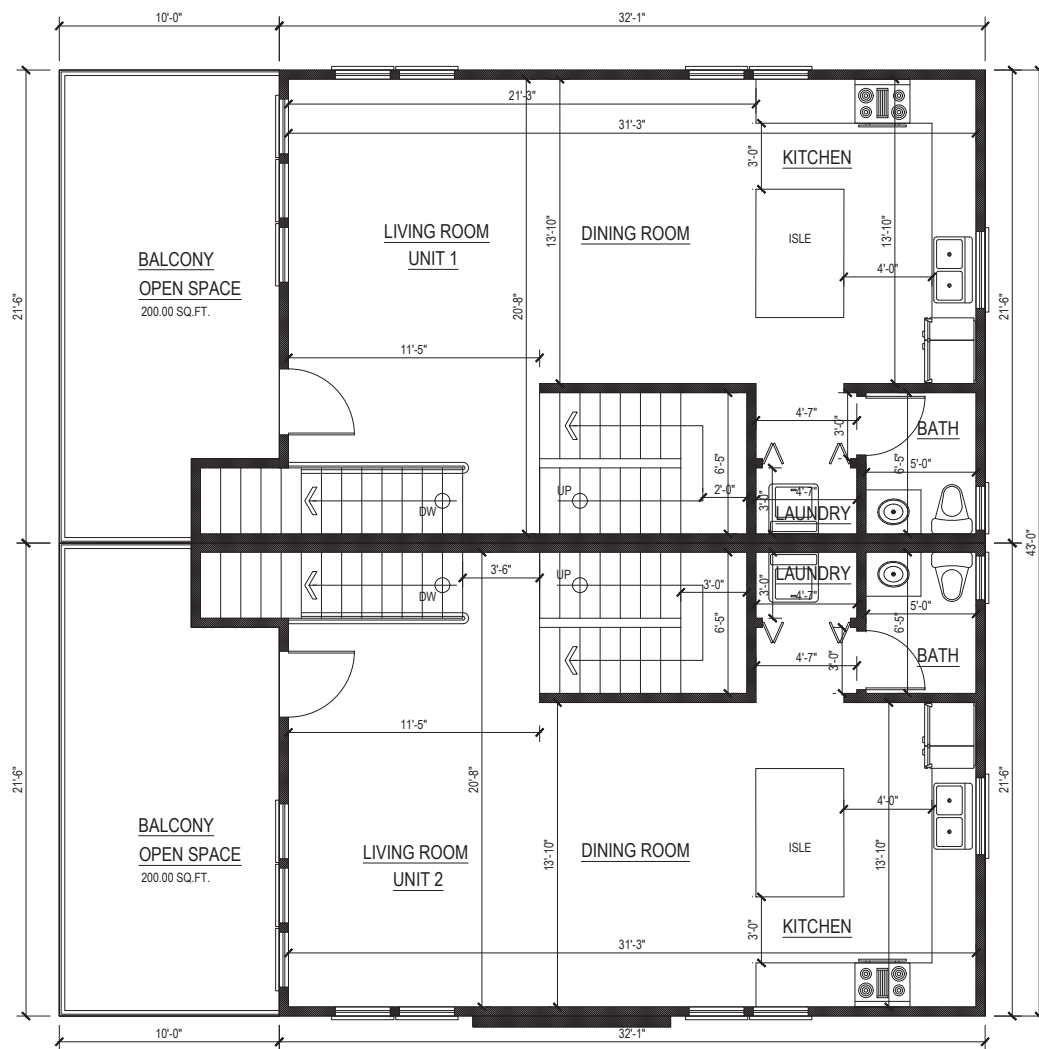
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**FIRST FLOOR PLAN  
 (BUILDINGS 1 AND 2)**

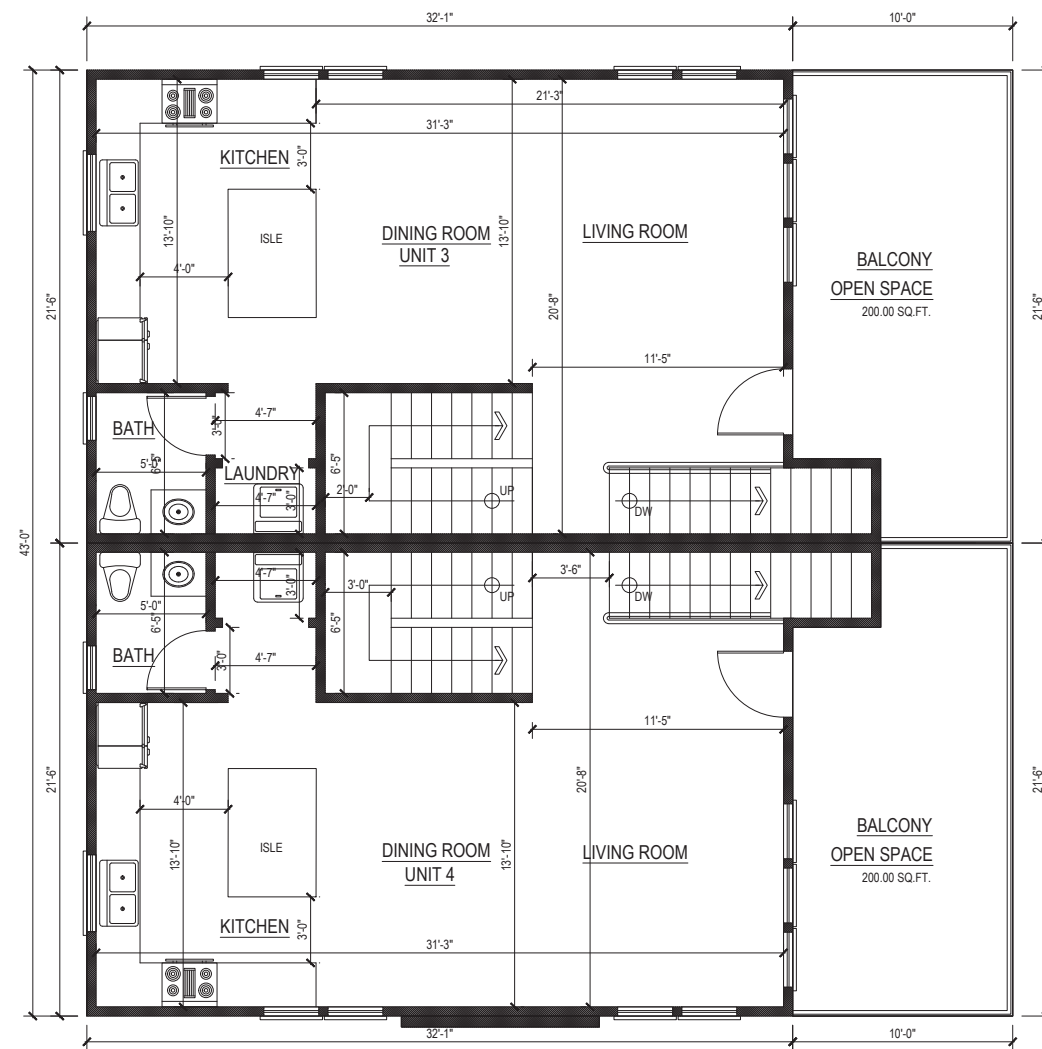
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 Project Number \_\_\_\_\_  
 Description \_\_\_\_\_  
 Computer File \_\_\_\_\_  
 Scale \_\_\_\_\_

SHEET:



SECOND FLOOR PLAN (BUILDING 1) 661.00 SQ.FT.  
 UNIT 1 & 2  
 SCALE 1/4"=1'-0"



SECOND FLOOR PLAN (BUILDING 2)  
 UNIT 3 & 4  
 SCALE 1/4"=1'-0" 661.00 SQ.FT.

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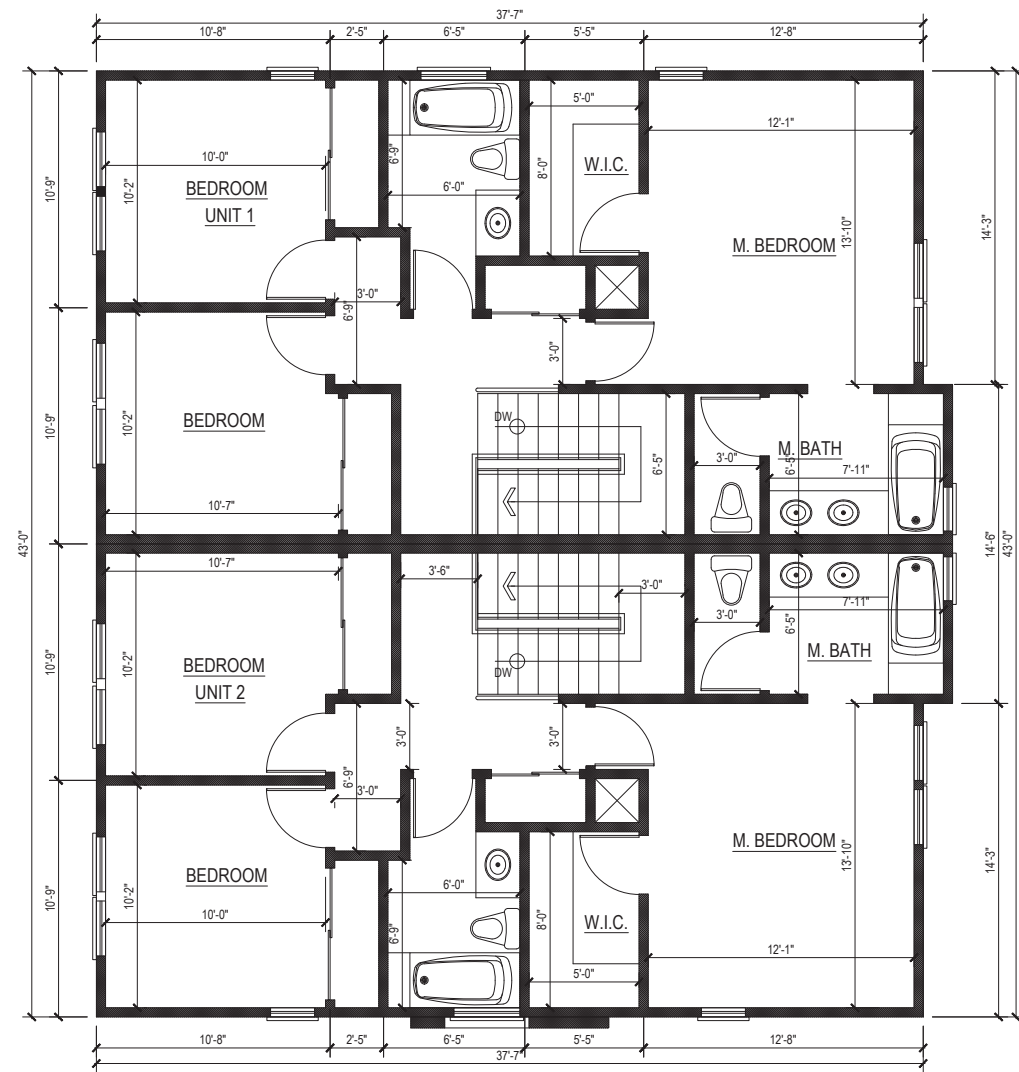
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**SECOND FLOOR PLANS  
 (BUILDING 1 AND 2)**

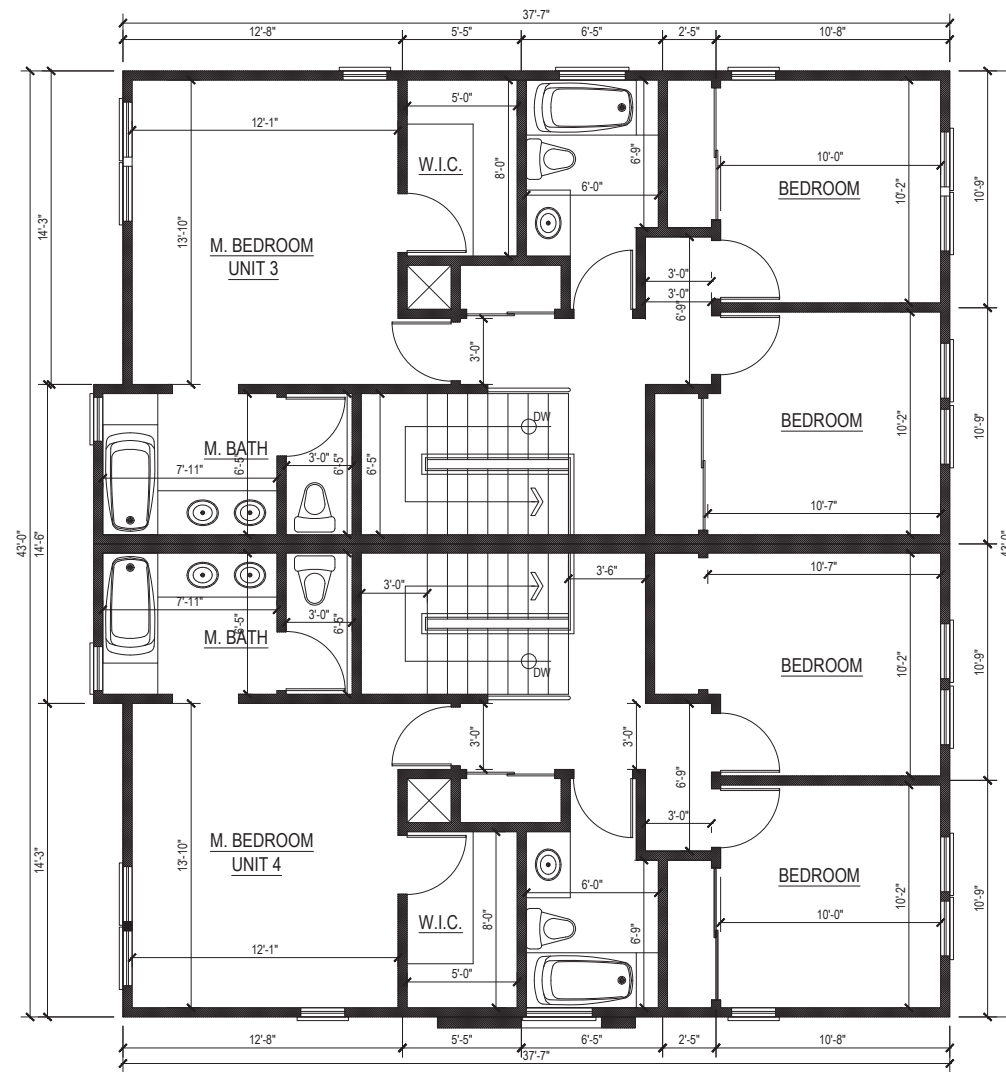
SEAL:

Project Name \_\_\_\_\_  
 Project Number \_\_\_\_\_  
 Description \_\_\_\_\_  
 Computer File \_\_\_\_\_  
 Scale \_\_\_\_\_

SHEET:



THIRD FLOOR PLAN (BUILDING 1) 753.00 SQ.FT.  
 UNIT 1 & 2  
 SCALE 1/4"=1'-0"



THIRD FLOOR PLAN (BUILDING 2) 753.00 SQ.FT.  
 UNIT 3 & 4  
 SCALE 1/4"=1'-0"

PROPOSED 3-STORY  
 4-UNITS  
 APARTMENTS AND  
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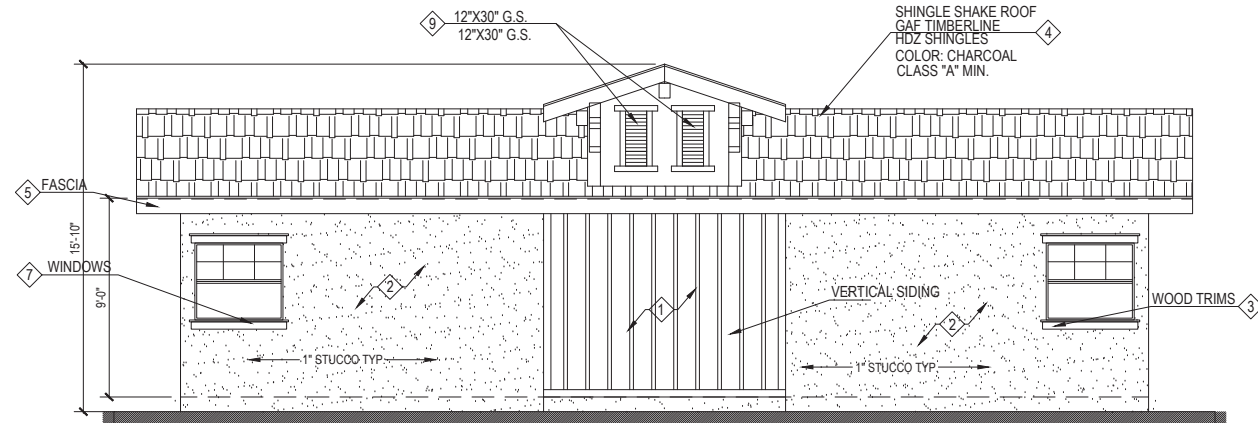
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THIRD FLOOR PLANS  
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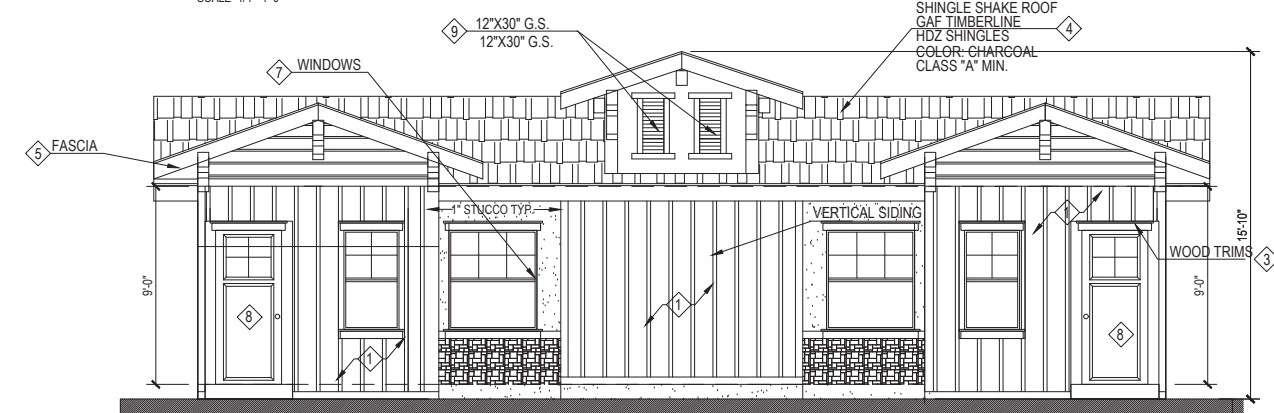
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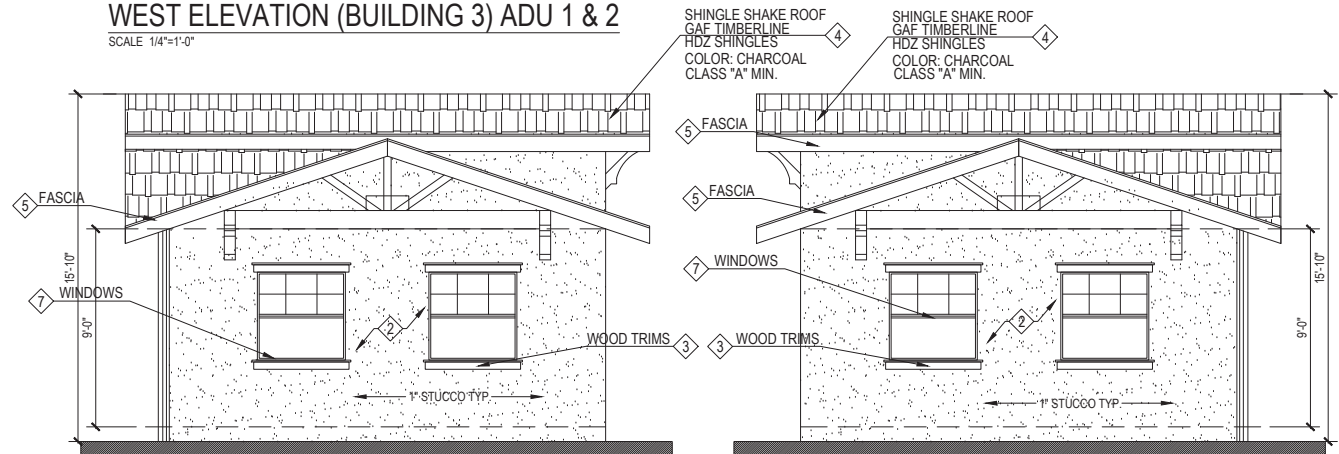
SHEET:



**EAST ELEVATION (BUILDING 3) ADU 1 & 2**  
SCALE 1/4"=1'-0"

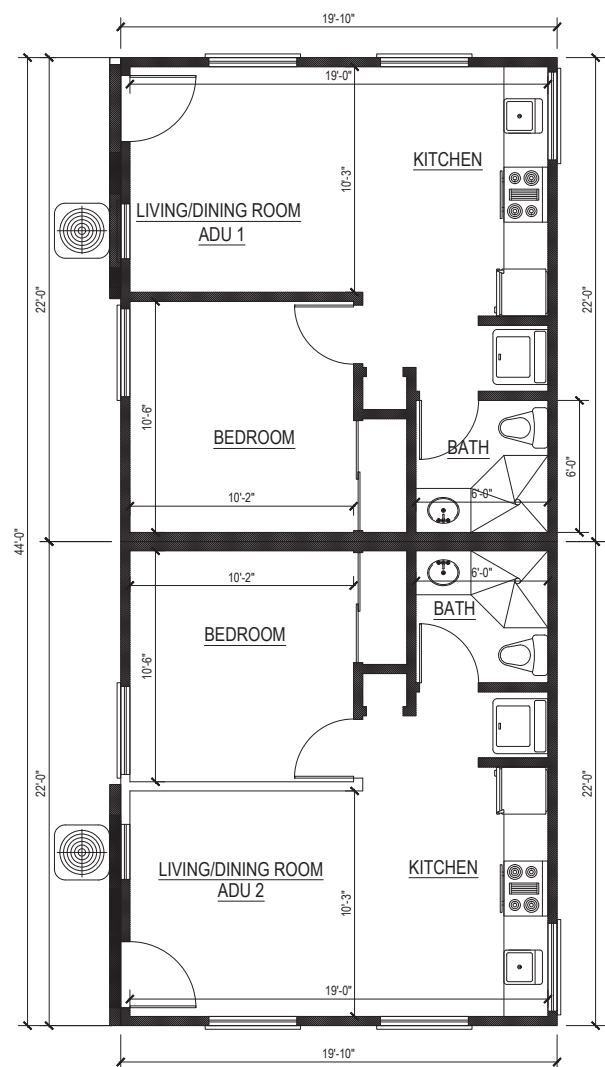


**WEST ELEVATION (BUILDING 3) ADU 1 & 2**  
SCALE 1/4"=1'-0"



**SOUTH ELEVATION (BUILDING 3) ADU 1 & 2**  
SCALE 1/4"=1'-0"

**NORTH ELEVATION (BUILDING 3) ADU 1 & 2**  
SCALE 1/4"=1'-0"



**FIRST FLOOR PLAN (BUILDING 3) 465.00 SQ.FT.**  
SCALE 1/4"=1'-0"

**PROPOSED 3-STORY  
4-UNITS  
APARTMENTS AND  
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**ADU (BUILDING 3) FLOOR PLAN, ELEVATIONS**

SEAL:

Project Name \_\_\_\_\_  
Project Number \_\_\_\_\_  
Description \_\_\_\_\_  
Computer File \_\_\_\_\_  
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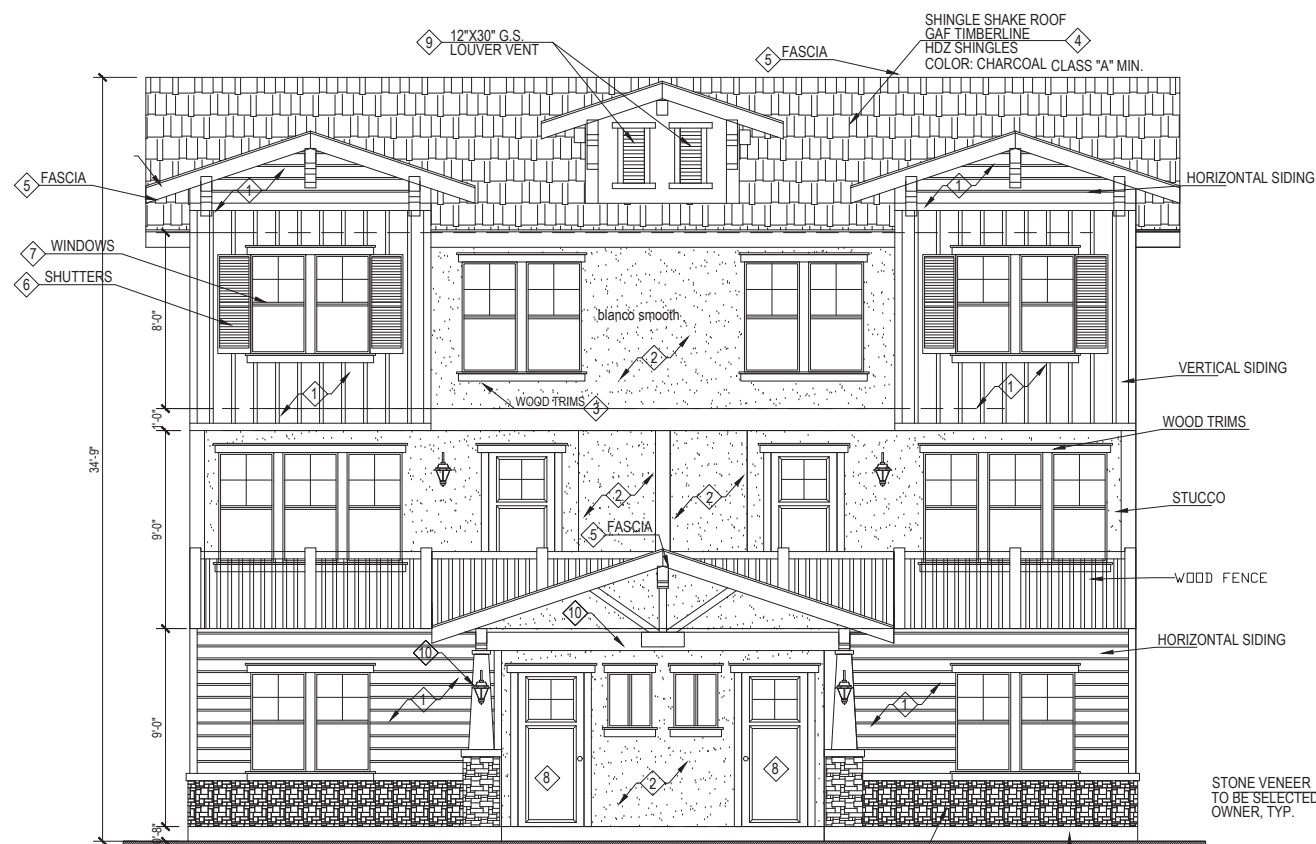
**ELEVATIONS (BUILDING 1)  
UNITS 1 AND 2**

SEAL:

Project Name \_\_\_\_\_  
Project Number \_\_\_\_\_  
Description \_\_\_\_\_  
Computer File \_\_\_\_\_  
Scale \_\_\_\_\_

SHEET:

**A-6**



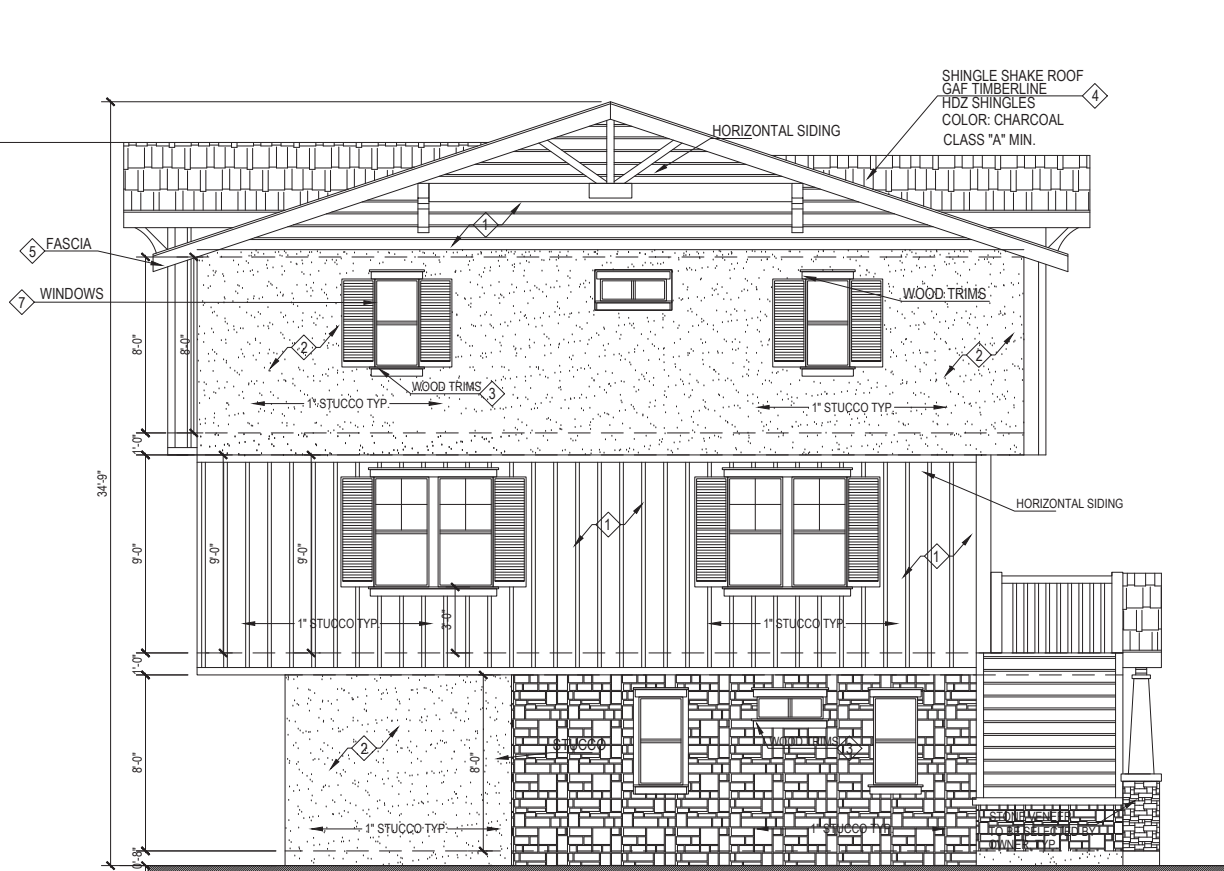
**WEST ELEVATION (BUILDING 1) UNIT 1 & 2**  
SCALE 1/4"=1'-0"

STONE VENEER  
ESR-2598  
COUNTRY CASTLE- MADISON  
COUNTY BY CORONADO STONE

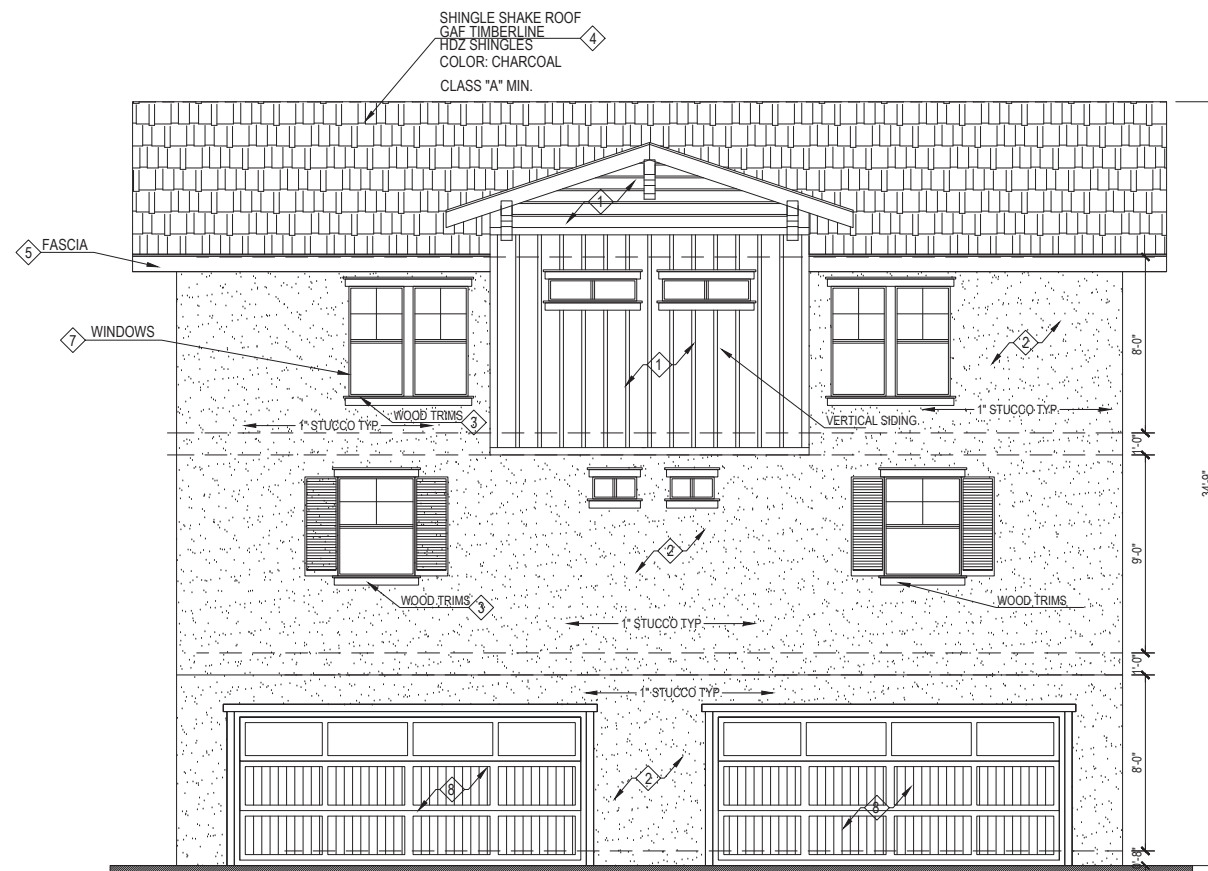


**SOUTH ELEVATION (BUILDING 1) UNIT 1 & 2**  
SCALE 1/4"=1'-0"

STONE VENEER  
ESR-2598  
COUNTRY CASTLE- MADISON  
COUNTY BY CORONADO STONE



**NORTH ELEVATION (BUILDING 1) UNIT 1 & 2**  
SCALE 1/4"=1'-0"



**EAST ELEVATION (BUILDING 1) UNIT 1 & 2**  
SCALE 1/4"=1'-0"

**PROPOSED 3-STORY  
4-UNITS  
APARTMENTS AND  
2-ADU**

10538 LA REINA AVE.  
DOWNEY, CA. 90241

CONTACT:  
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Mobile: (323) 495 7208  
OWNER:  
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e\_mail: ccdraftingdesign@yahoo.com

**ISSUES AND REVISIONS**

NO.	DATE	BY	CHECK

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**ELEVATIONS (BUILDING 2)  
UNIT 3 & UNIT 4**

SEAL:

Project Name \_\_\_\_\_  
Project Number \_\_\_\_\_  
Description \_\_\_\_\_  
Computer File \_\_\_\_\_  
Scale \_\_\_\_\_

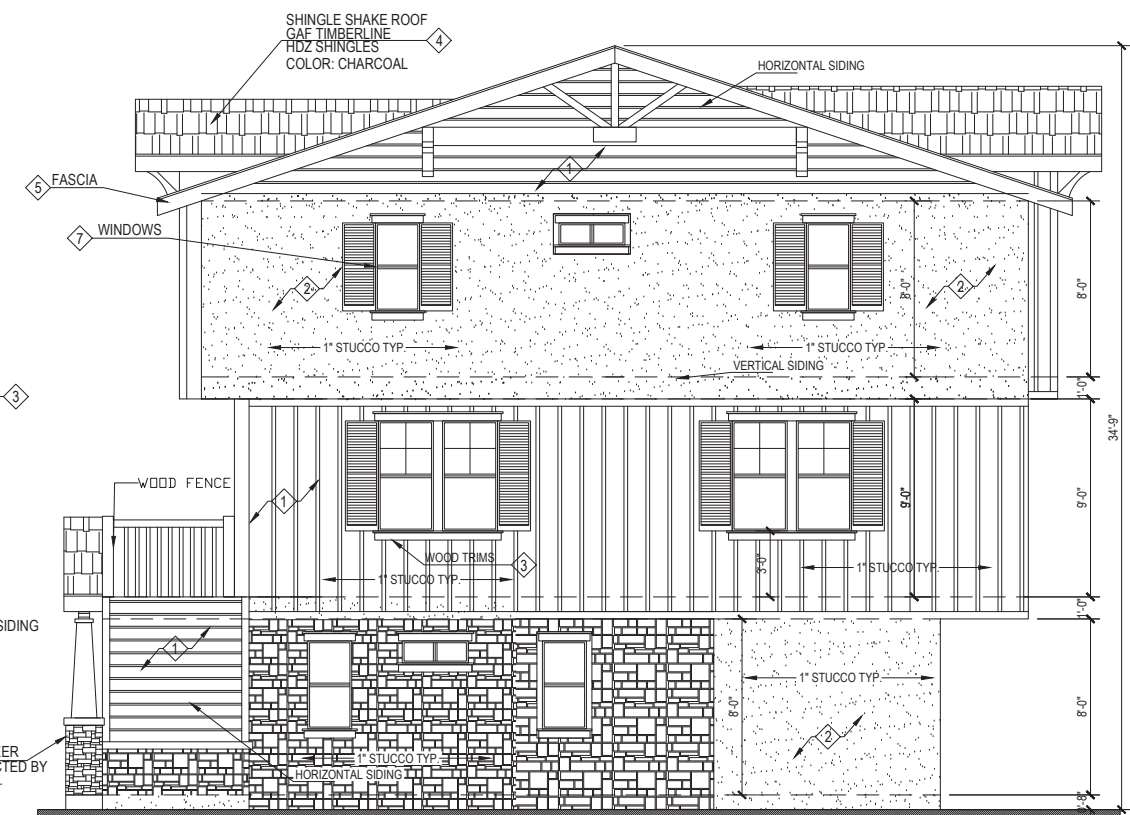
SHEET:

**A-7**



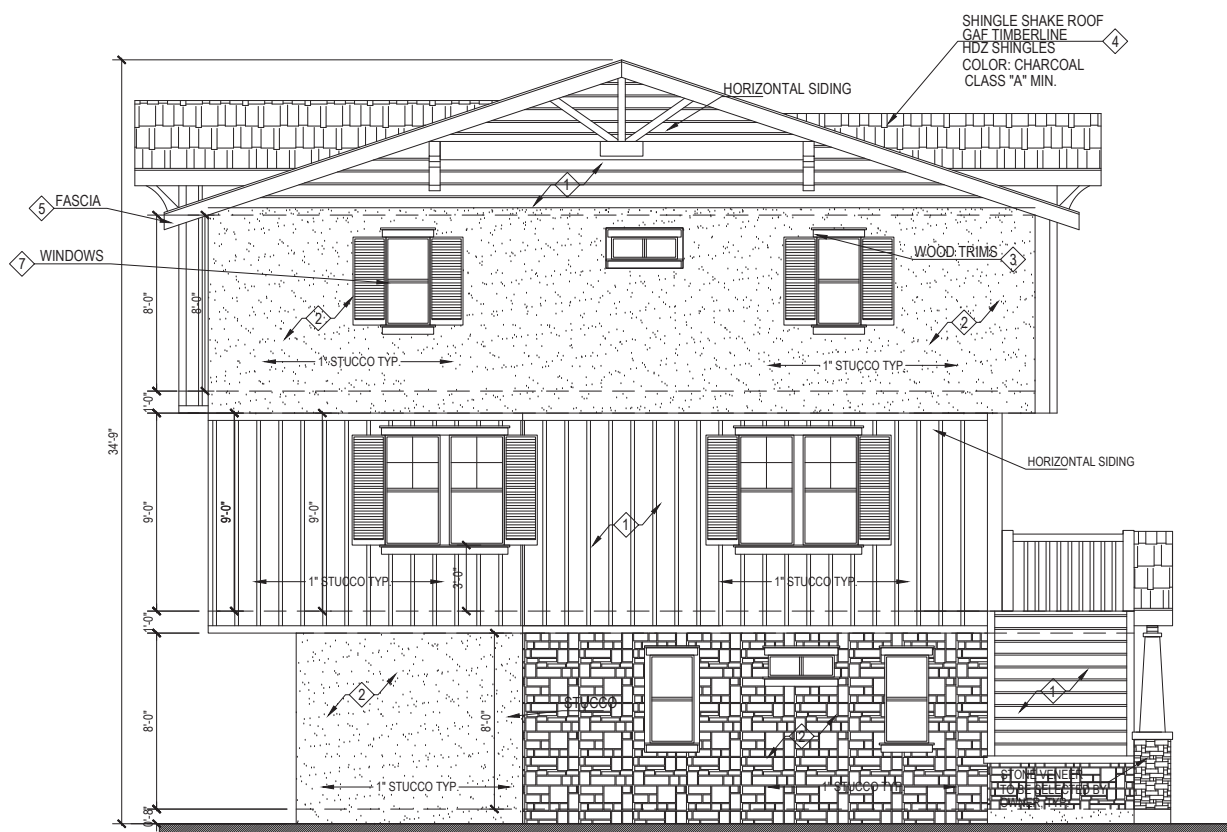
**EAST ELEVATION (BUILDING 2) UNIT 3 & 4**

SCALE 1/4"=1'-0"



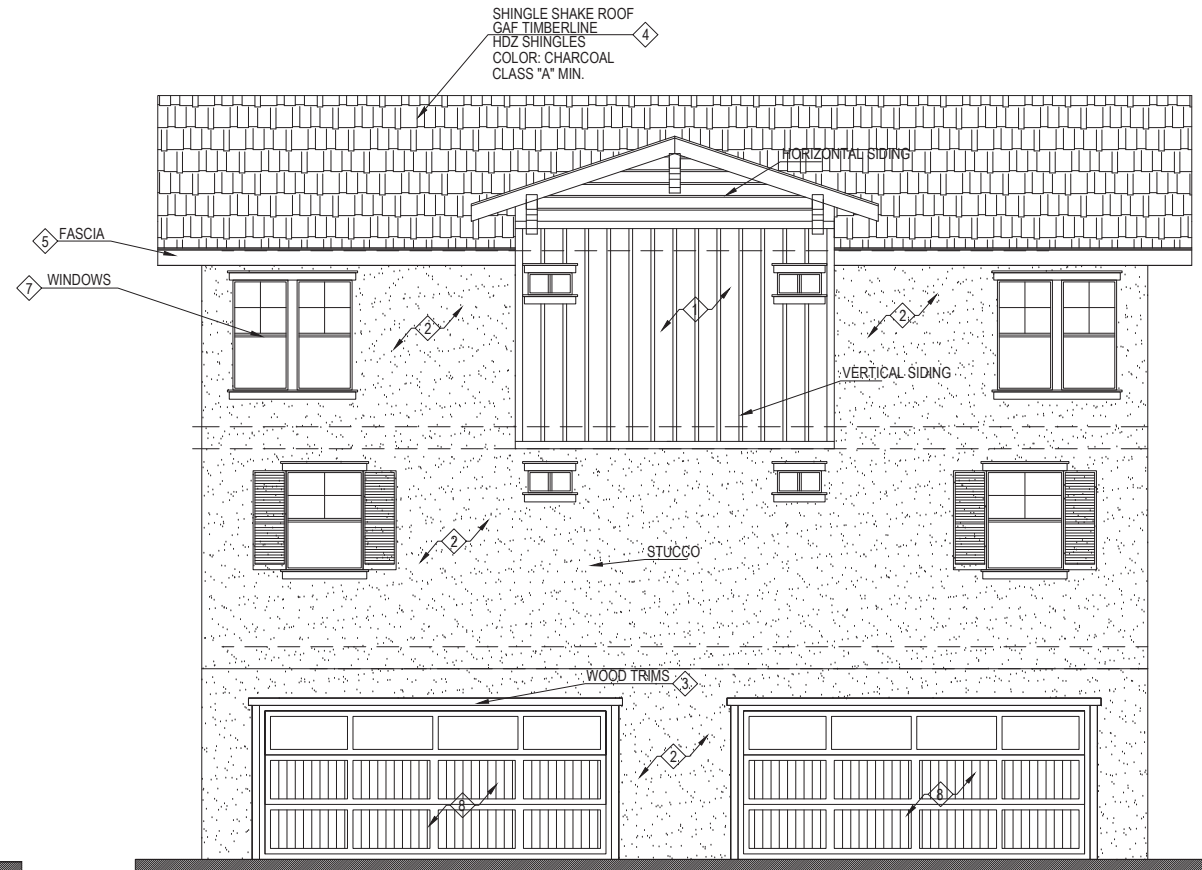
**NORTH ELEVATION (BUILDING 2) UNIT 3 & 4**

SCALE 1/4"=1'-0"



**SOUTH ELEVATION (BUILDING 2) UNIT 3 & 4**

SCALE 1/4"=1'-0"



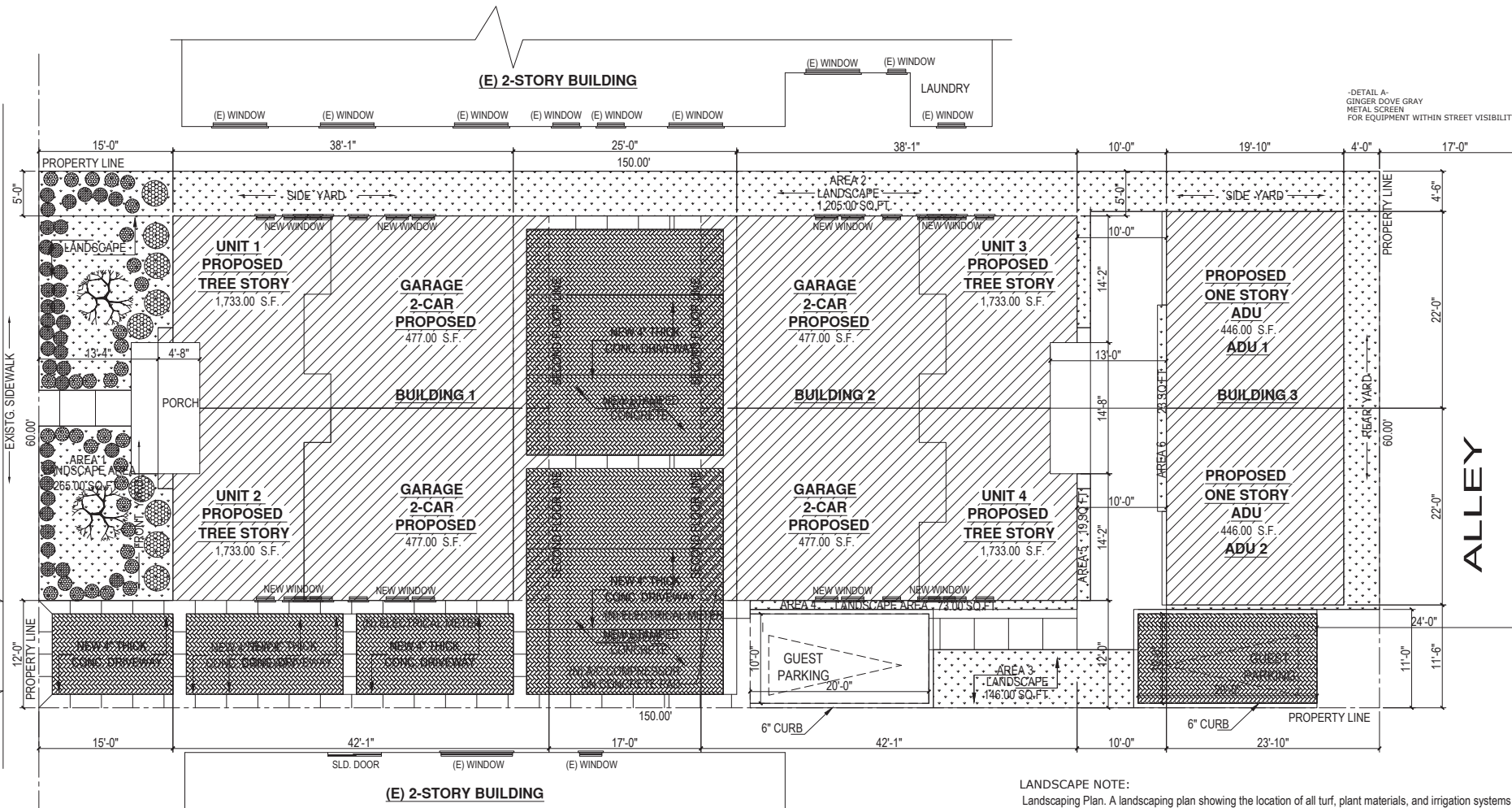
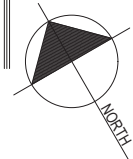
**WEST ELEVATION (BUILDING 2) UNIT 3 & 4**

SCALE 1/4"=1'-0"



10538 LA REINA AVE.

LANDSCAPE PLAN  
SCALE 1/8"=1'-0"



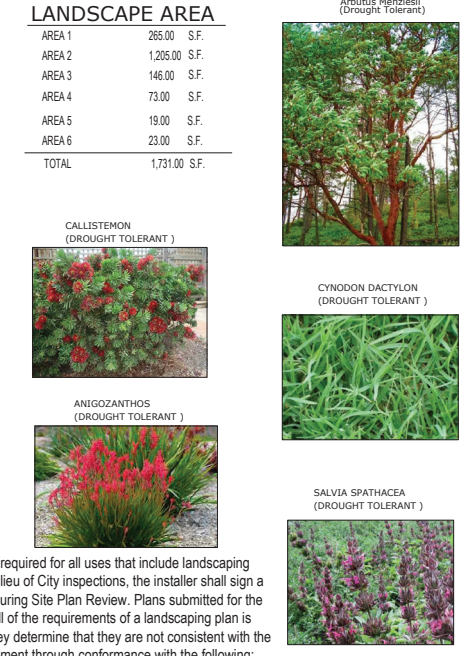
NOTE: NO EXISTING TREES CURRENTLY ON THE PROPERTY. ALL NEW TREES.

PLANTING LEGEND:

SYMBOL:	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:
	Arbutus Menziesii (Drought Tolerant)	PACIFIC MADRONE (Drought Tolerant)	15 GAL.	2
	CYNODON DACTYLON (DROUGHT TOLERANT)	BERMUDA GRASS COOL SEASON GRASS	1,731.00 SQ FT	
	SALVIA SPATHACEA (DROUGHT TOLERANT)	HUMMINGBIRD SAGE	5 GAL.	9
	ANIGOZANTHOS (DROUGHT TOLERANT)	DWARF KANGAROO PAW	2 GAL.	37
	CALLISTEMON (DROUGHT TOLERANT)	DWARF BOTTLEBRUSH	2 GAL.	33

LANDSCAPE AREA

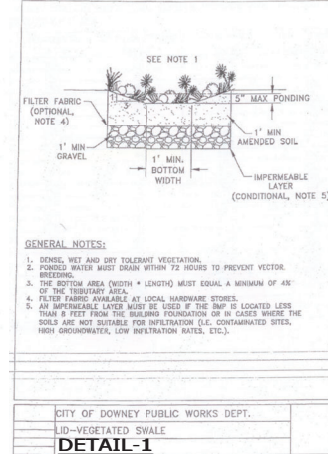
AREA	S.F.
AREA 1	265.00 S.F.
AREA 2	1,205.00 S.F.
AREA 3	146.00 S.F.
AREA 4	73.00 S.F.
AREA 5	19.00 S.F.
AREA 6	23.00 S.F.
TOTAL	1,731.00 S.F.



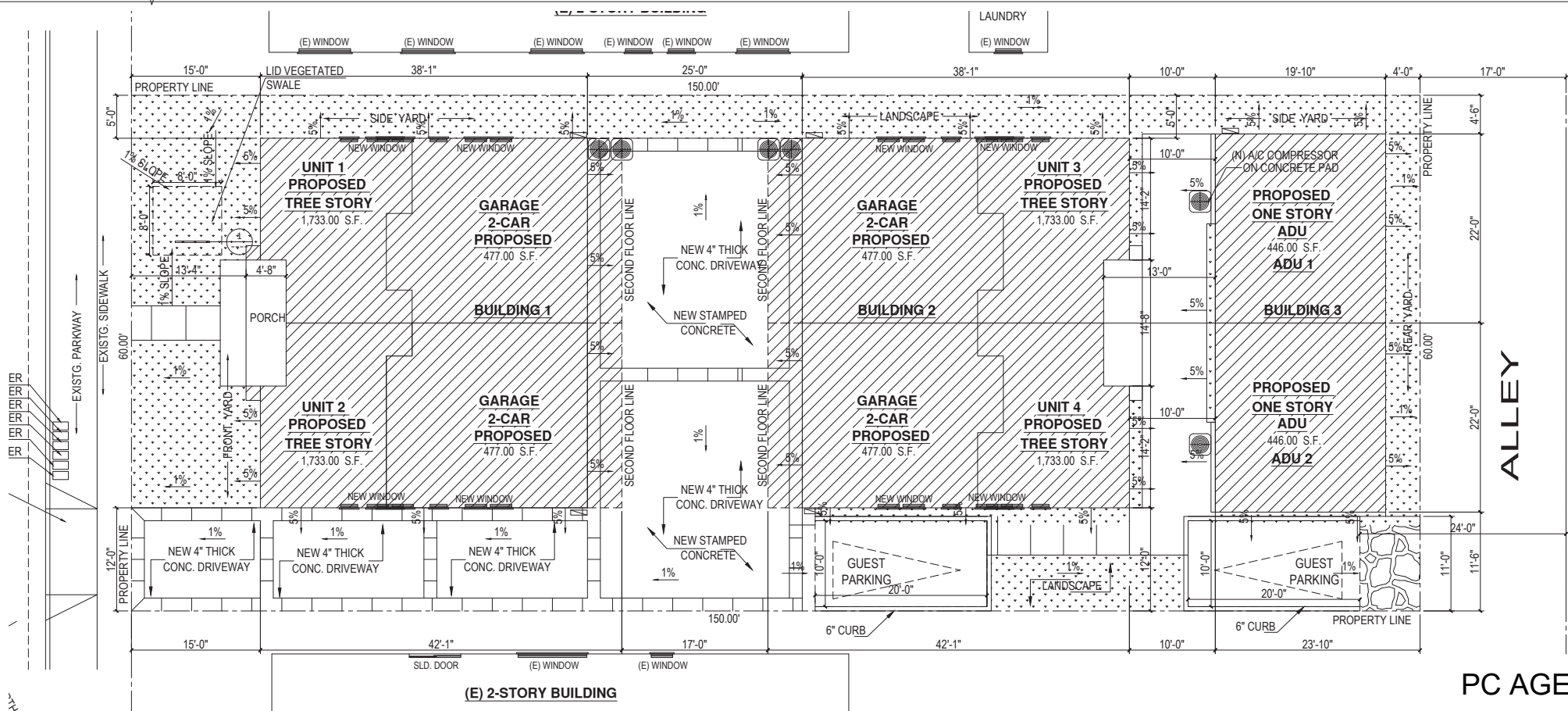
LANDSCAPE NOTE:  
Landscape Plan. A landscaping plan showing the location of all turf, plant materials, and irrigation systems shall be required for all uses that include landscaping projects. Landscaping plans for projects within the R-1, R-2, and R-3 Zones shall be reviewed by the City Planner. In lieu of City inspections, the installer shall sign a self-certification certificate. Landscaping projects for all other zones shall be approved by the Planning Commission during Site Plan Review. Plans submitted for the issuance of a building permit or a site plan may be used in lieu of a landscaping plan provided that compliance with all of the requirements of a landscaping plan is achieved to the satisfaction of the Commission during Site Plan Review. The Commission may reject such plans if they determine that they are not consistent with the purpose of this chapter. Landscaping plans shall demonstrate a recognizable pattern or theme for the overall development through conformance with the following:

LID INFORMATION AND DETAIL

Tributary Area (sq. ft.)	Minimum BMP Size (sq. ft.)*	Tributary Area (sq. ft.)	Minimum BMP Size (sq. ft.)*
800	37	3100	134
900	38	3200	138
1000	40	3300	142
1100	41	3400	146
1200	42	3500	149
1300	43	3600	153
1400	44	3700	156
1500	45	3800	160
1600	46	3900	163
1700	47	4000	166
1800	48	4100	169
1900	49	4200	172
2000	50	4300	175
2100	51	4400	178
2200	52	4500	181
2300	53	4600	184
2400	54	4700	187
2500	55	4800	190
2600	56	4900	193
2700	57	5000	196
2800	58		199
2900	59		202
3000	60		205



\*Calculated from 4% of the tributary area.



PROPOSED 3-STORY  
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2-ADU

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& Commercial | # 200w, Anaheim  
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e\_mail: ccdraftingdesign@yahoo.com

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LANDSCAPE PLAN  
CONCEPTUAL LID PLAN

SEAL:

Project Name \_\_\_\_\_

Project Number \_\_\_\_\_

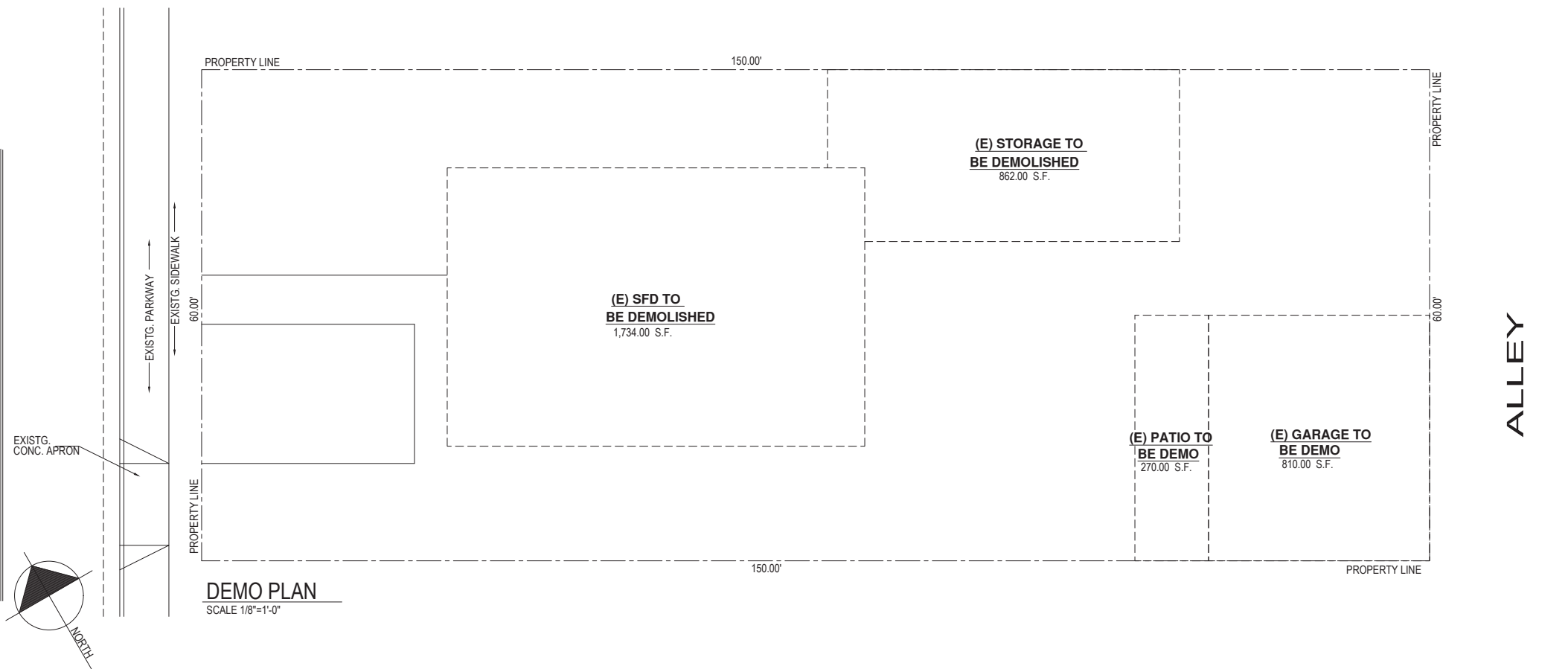
Description \_\_\_\_\_

Computer File \_\_\_\_\_

Scale \_\_\_\_\_

SHEET: \_\_\_\_\_

10538 LA REINA AVE.



**DEMO PLAN**  
SCALE 1/8"=1'-0"

ALLEY

**PROPOSED 3-STORY  
4-UNITS  
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**DEMO PLAN**

SEAL:

**MATERIAL SAMPLE BOARD**

<p><b>SIDING</b></p> <p>1 BEHR #S500-7 INFINITE DEEP SEA</p>	<p><b>STUCCO</b></p> <p>2 BEHR #PPU26-09 GRAYCLOTH</p>	<p><b>WINDOW TRIM</b></p> <p>3 BEHR #N520-7 CARBON SATIN</p>	<p><b>ROOF SHINGLES</b></p> <p>4 HDZ SHINGLES BY: GAF TIMBERLINE COLOR: CHARACOAL</p>	<p><b>FASCIA</b></p> <p>5 BEHR ULTRA PURE WHITE</p>	<p><b>WINDOW SHUTTERS</b></p> <p>6 BEHR #N520-7 CARBON SATIN</p>	<p><b>WINDOW</b></p> <p>7 ALUMINUM SLIDING WINDOW BY ANDERSON COLOR: BLACK</p>
<p><b>DOOR/GARAGE DOOR</b></p> <p>8 BEHR #S500-7 INFINITE DEEP SEA</p>	<p><b>VENT</b></p> <p>9 BEHR #N520-7 CARBON SATIN</p>	<p><b>EXPOSED WOOD</b></p> <p>10 BEHR #SC-122 REDWOOD NATURAL TONE STAINED WOOD FINISH</p>				

Project Name \_\_\_\_\_  
Project Number \_\_\_\_\_  
Description \_\_\_\_\_  
Computer File \_\_\_\_\_  
Scale \_\_\_\_\_  
SHEET: \_\_\_\_\_



**PROPOSED 3-STORY  
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**C&C**  
*Drafting Design*  
Edgar Cortes

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**RENDERINGS**

SEAL:

Project Name \_\_\_\_\_  
 Project Number \_\_\_\_\_  
 Description \_\_\_\_\_  
 Computer File \_\_\_\_\_  
 Scale \_\_\_\_\_

SHEET:



**DATE:** FEBRUARY 15, 2023

**TO:** PLANNING COMMISSION

**SUBMITTED BY:** ART BASHMAKIAN, AICP, INTERIM CITY PLANNER *AB*

**PREPARED BY:** IRVING ANAYA, ASSOCIATE PLANNER *IA*

**SUBJECT:** PLN-22-00147 (CONDITIONAL USE PERMIT) – A REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW ON-SITE CONSUMPTION OF BEER AND WINE, UNDER ALCOHOL BEVERAGE CONTROL (ABC) TYPE 41 (ON-SALE BEER & WINE – EATING PLACE) LICENSE AT AN EXISTING RESTAURANT.

**LOCATION:** 7956 FLORENCE AVENUE

**ZONING:** C-2 (GENERAL COMMERCIAL)

**REPORT SUMMARY**

Downey AI, Inc. (hereinafter “the applicant”) is requesting a Conditional Use Permit (CUP) to allow the existing restaurant “Sakana Japanese Restaurant” to operate with a State of California, Department of Alcoholic Beverage Control (ABC) Type 41 license (On Sale Beer and Wine – Eating Place), located at 7956 Florence Avenue. Pursuant to Downey Municipal Code (DMC) Section 9314.04, restaurants, cafes, and other eating establishments with alcohol sales are permitted with the approval of a CUP in the C-2 zone.

Based on the analysis contained in this report, staff is recommending that the Planning Commission adopt the following titled resolution:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING PLN-22-00147 (CONDITIONAL USE PERMIT), THEREBY ALLOWING THE ON-SITE CONSUMPTION OF BEER AND WINE UNDER ALCOHOL BEVERAGE CONTROL (ABC) TYPE 41 (ON-SALE BEER & WINE - EATING PLACE) LICENSE FOR AN EXISTING EATING PLACE LOCATED AT 7956 FLORENCE AVENUE, ZONED C-2 (GENERAL COMMERCIAL)**

**BACKGROUND**

The subject site is improved with a multi-tenant commercial building located on the southwest corner of Florence Avenue and Paramount Boulevard. The site is zoned C-2 (General Commercial) and has a General Plan Land Use designation of GC (General Commercial). The site is accessible from two street frontages, Florence Avenue and Paramount Boulevard with majority of its parking at the front of the site. The properties directly to the north have a zoning designation of C-2 (General Commercial) with similar uses such as restaurants, fast-food

service, and retail and properties to the south are zoned R-1 (single family residential) and C-2. The properties to the west are zoned C-2 with restaurants and the properties to the east are also zoned C-2 with a variety of uses such as a bank, professional office, and restaurant.



*North view of subject property along Paramount Boulevard*

On October 26, 2022, the applicant submitted an application for a Conditional Use Permit requesting to allow the sale and on-site consumption of beer and wine (Type 41 ABC License) at an existing restaurant. On November 23, 2022, Staff deemed the application incomplete due to insufficient information. Subsequently, after submittal of revised plans and additional information, staff deemed the application complete for further processing on December 30, 2022.

The notice of pending public hearing was published in the *Downey Patriot* and mailed to all property owners within 500' of the subject site on February 2, 2023.

## **DISCUSSION**

As previously stated, the subject property is improved with a 24,482 square foot multi-tenant commercial building with a total of thirteen (13) tenant spaces occupied by uses ranging from dental office, fast-food restaurant, and retail. Uses surrounding the commercial site include commercial uses to the north, east, west, and south. Residential uses can be found southwest of the subject. The subject site is also improved with a total of 156 shared parking spaces including seven (7) ADA parking stalls. Based on staff's parking analysis, the existing parking is sufficient for all existing uses within the commercial site. No additional parking is required for the proposed request.

If the request is approved, restaurant patrons will be allowed to consume beer and wine with their meals. More specifically, all alcohol will be consumed within the restaurant's dining area which includes standard table seating and an existing sushi bar area. The restaurant will not have a separate bar explicitly for alcohol consumption. Staff has included conditions that restricts alcohol beyond the interior tenant space and the sale of alcohol to be supplemented with food. The permitted hours of operation of the business are as follows:

Monday through Sunday: 11:00 a.m. -11:00 p.m.

As a reference, below is the California State Department of Alcoholic Beverage Control's classification of a Type 41 license:

**“On-Sale Beer and Wine – Eating Place”** – (Restaurant) Authorizes the sale of beer and wine for consumption on or off the premises where sold. Distilled spirits may not be on the premises (except brandy, rum, liqueurs for use solely for cooking purposes). Must operate and maintain the licensed premises as a bona fide eating place. Must maintain suitable kitchen facilities, and must make actual and substantial sales of meals for consumption on the premises. Minors are allowed on the premises.”

Although the property is adjacent to residentially developed parcels, no impacts are anticipated related to noise levels. Conditions of approval have been incorporated in an effort to mitigate any potential nuisance. Conditions include prohibiting live entertainment, sign regulation related to noise in parking lot, and all activity shall be maintained inside the tenant space. In addition, the activities associated with a typical restaurant shall remain much the same even after incorporating the sale of alcoholic beverage.

Lastly, upon review of the application materials, staff supports the request for a Conditional Use Permit to allow on-site sale of beer and wine for the existing Sakana Japanese restaurant.

### **DEVELOPMENT REVIEW COMMITTEE**

The project was reviewed by the Development Review Committee (DRC) and standard comments were provided. Staff included conditions in order to address the department's comments. Other departments had no other concerns and standard conditions were provided.

### **ENVIRONMENTAL ANALYSIS**

Staff has reviewed the proposed use for compliance with the California Environmental Quality Act (CEQA). Upon completion of this review, it has been determined that this request is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1, Existing Facilities). Categorical Exemptions are projects, which have been determined not to have a significant effect on the environment and have been exempted from the requirements of CEQA. Class 1 consists of projects that involve interior alterations to an existing structure. The proposed ABC Type 41 license for the sale of alcoholic beverages is ancillary service of the eating place.

### **FINDINGS**

Pursuant to the requirements of DMC Section 9824.06 (Conditional Use Permit), staff recommends that the Planning Commission make the following findings to approve the overall request:

- 1. That the requested Conditional Use Permit will not adversely affect the intent and purpose of Article IX or the City's General Plan or the public convenience or general welfare of persons residing or working in the neighborhood thereof.***

The requested Conditional Use Permit for the sale of beer and wine in conjunction with a restaurant will not adversely affect the purpose and intent of the Downey Municipal

Code. The subject property is located within the C-2 zone, which is intended to provide for and encourage the orderly development of commercial uses, with a wide variety of goods and services for the residents of the entire City, with provisions designed to ensure that such commerce will be efficient, functionally related, and compatible with adjacent noncommercial development. The requested Conditional Use Permit will allow a Type 41 (On-Sale Beer and Wine - Eating Place) alcohol license for the new restaurant but will not adversely affect the purpose and intent of the Zoning Code or the City's General Plan or the public convenience or general welfare of persons residing or working in the neighborhood in that this site has already been approved and improved for commercial development to serve the surrounding neighborhood. The added sale of alcohol will complement the existing restaurant use.

**2. *That the requested use will not adversely affect the adjoining land uses and the growth and development of the area in which it is proposed to be located.***

The requested Conditional Use Permit will not adversely affect the adjoining land uses since the proposed use conforms to its C-2 zone development standards. The alcohol license will complement the restaurant and surrounding commercial uses and will serve the public with a use that the Zoning Code deems appropriate for uses within the C-2 zone. In addition, conditions have been included to ensure that consumption of alcohol is conducted within the restaurant space and no live entertainment is allowed on site.

**3. *That the size and shape of the site proposed for the use is adequate to allow the full development of the proposed use in a manner not detrimental to the particular area.***

The subject site is approximately 109,750 square feet in size. The existing tenant space is 2,095 square feet in size and is situated at the east end of the multi-tenant commercial building along Paramount Boulevard. A total of 156 parking spaces are provided for onsite parking. Based on the parking calculations, the commercial site is currently meeting the minimum required parking spaces when analyzing all existing uses of the subject site. The request to serve beer and wine will not modify or affect the existing use and will not require additional parking spaces. Therefore, it will not be an adverse impact to the area.

**4. *That the traffic generated by the proposed use will not impose an undue burden upon the streets and highways in the area.***

The traffic generated by the existing use is not expected to significantly increase with the approval of the CUP, as the use is currently existing and on-site parking spaces are provided for customers. In addition, Florence Avenue is classified as a major arterial that can support high volume of vehicles. The added component of the sale of beer and wine is not expected to generate significantly more traffic or impose an undue burden upon the streets and highways in the area because the availability of beer and wine for consumptions with meals will not significantly increase the volume of visitors to the restaurant resulting in undue burden on existing streets or highways. The alcohol sales will not be permitted without sale of food and the food establishment will continue to operate as part of the existing commercial site which has been adequately served by surrounding streets and highways.

## **CORRESPONDENCE**

As of the date that this report was printed, staff has not received any correspondence regarding this matter.

## **CONCLUSION**

Based on the analysis contained in this report, staff recommends that the Planning Commission adopt the resolution approving the Conditional Use Permit (PLN-22-00147), subject to the conditions of approval as stated in the Planning Commission Resolution.

## **EXHIBITS**

- A. Aerial Photograph, Location Map & Zoning Map
- B. Draft Resolution
- C. Project Plans

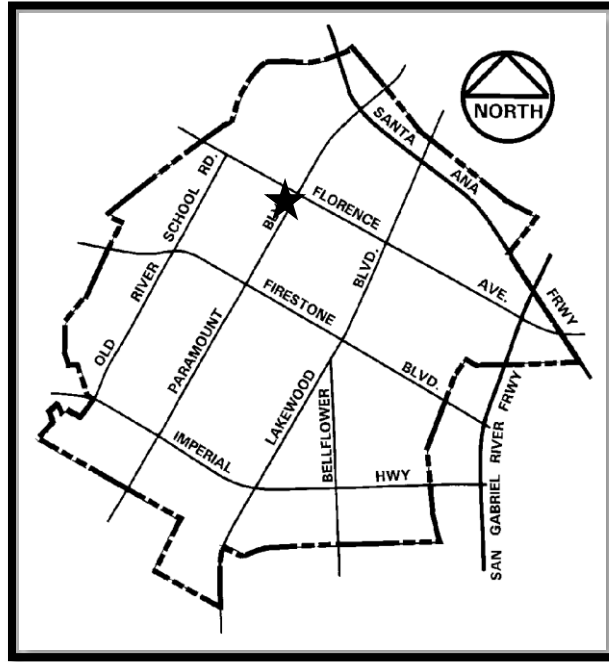


Exhibit 'A' – Maps

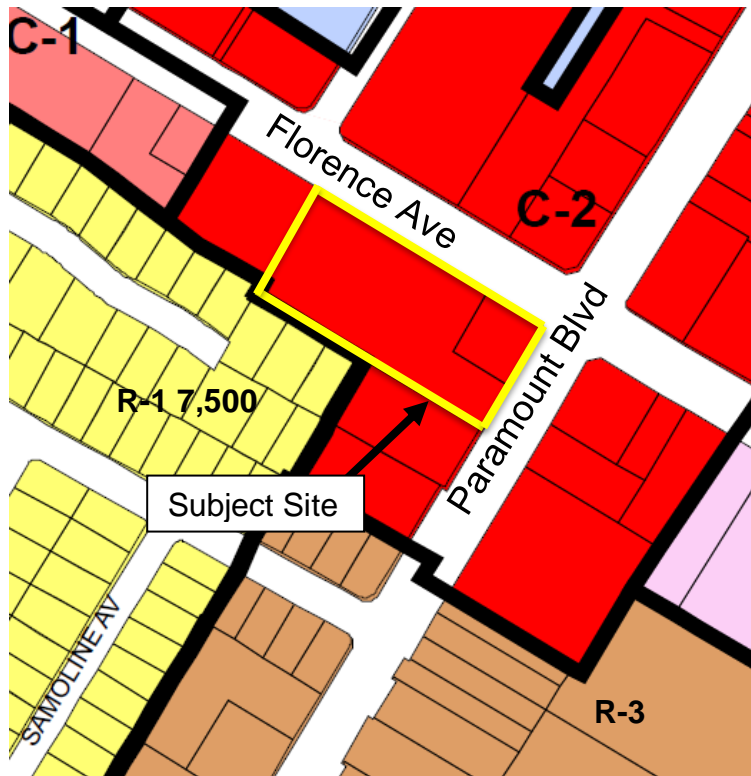
**AERIAL PHOTOGRAPH**



### LOCATION MAP



### ZONING MAP



## RESOLUTION NO.

### A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING PLN-22-00147 (CONDITIONAL USE PERMIT), THEREBY ALLOWING THE ON-SITE CONSUMPTION OF BEER AND WINE UNDER ALCOHOL BEVERAGE CONTROL (ABC) TYPE 41 (ON-SALE BEER AND WINE - EATING PLACE) LICENSE FOR AN EXISTING EATING PLACE LOCATED AT 7956 FLORENCE AVENUE, ZONED C-2 (GENERAL COMMERCIAL)

THE PLANNING COMMISSION OF THE CITY OF DOWNEY DOES RESOLVE AS FOLLOWS:

**SECTION 1.** The Planning Commission of the City of Downey does hereby find, determine and declare that:

- A. On October 26, 2022, an application was filed by Downey AI, Inc. (Sakana Japanese Restaurant), requesting approval of a Conditional Use Permit (PLN-22-00147), to allow a full-service restaurant to operate under an ABC Type 41 license, on the property located at 7956 Florence Avenue, Downey, and zoned C-2 (General Commercial); and,
- B. Staff deemed the application complete on December 30, 2022; and,
- C. On February 2, 2023, notice of the pending public hearing was sent to all Downey property owners within 500 feet of the subject site and the notice was published in the *Downey Patriot*; and,
- D. The Planning Commission held a duly noticed public hearing on February 15, 2023 and after fully considering all oral and written testimony, facts, and opinions offered at the aforesaid public hearing adopted this resolution.

**SECTION 2.** The Planning Commission further finds, determines and declares the environmental impact of the proposed project has been reviewed and has been found to be in compliance with the California Environmental Quality Act (CEQA) and is categorically exempt from CEQA, pursuant to Guideline Section No. 15301 (Class 1), Existing Facilities.

**SECTION 3.** Having considered all of the oral and written evidence presented to it at said public hearing, the Planning Commission further finds, determines and declares that:

- A. The requested Conditional Use Permit for the sale of beer and wine in conjunction with a restaurant will not adversely affect the purpose and intent of the Downey Municipal Code. The subject property is located within the C-2 zone, which is intended to provide for and encourage the orderly development of commercial uses, with a wide variety of goods and services for the residents of the entire City, with provisions designed to ensure that such commerce will be efficient, functionally related, and compatible with adjacent noncommercial development. The requested Conditional Use Permit will allow a Type 41 (On-Sale Beer and Wine - Eating Place) alcohol license for the existing restaurant but will not adversely affect the purpose and intent of the Zoning Code or the City's General Plan or the public convenience or general welfare of persons residing or working in the neighborhood in that this site has already been approved and improved for commercial development to serve the surrounding neighborhood. The added sale of alcohol will complement the existing restaurant use.
- B. The requested Conditional Use Permit will not adversely affect the adjoining land uses since the proposed use conforms to its C-2 zone development standards. The alcohol

license will complement the restaurant and surrounding commercial uses and will serve the public with a use that the Zoning Code deems appropriate for uses within the C-2 zone. In addition, conditions have been included to ensure that consumption of alcohol is conducted within the restaurant space and no live entertainment is allowed on site.

- C. The subject site is approximately 109,750 square feet in size. The existing tenant space is 2,095 square feet in size and is situated at the east end of the multi-tenant commercial building along Paramount Boulevard. A total of 156 parking spaces are provide for onsite parking. Based on the parking calculations, the commercial site is currently meeting the minimum required parking spaces when analyzing all existing uses of the subject site. The request to serve beer and wine will not modify or affect the existing use and will not require additional parking spaces. Therefore, it will not be an adverse impact to the area.
- D. The traffic generated by the existing use is not expected to significantly increase with the approval of the CUP, as the use is currently existing and on-site parking spaces are provided for customers. In addition, Florence Avenue is classified as a major arterial that can support high volume of vehicles. The added component of the sale of beer and wine is not expected to generate significantly more traffic or impose an undue burden upon the streets and highways in the area because the availability of beer and wine for consumptions with meals will not significantly increase the volume of visitors to the restaurant resulting in undue burden on existing streets or highways. The alcohol sales will not be permitted without sale of food and the food establishment will continue to operate as part of the existing commercial site which has been adequately served by surrounding streets and highways.

**SECTION 4.** Based upon the findings set forth in Sections 1 through 3 of this Resolution, the Planning Commission of the City of Downey hereby approves the Conditional Use Permit (PLN-22-00147), subject to the Conditions of Approval attached hereto as Exhibit A – Conditions, which are necessary to preserve the health, safety and general welfare of the community and enable the Planning Commission to make the findings set forth in the previous sections. The conditions are fair and reasonable for the accomplishment of these purposes.

**SECTION 5.** The Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 15<sup>th</sup> day of February 2023.

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Horacio Ortiz, Chairman  
City Planning Commission

I HEREBY CERTIFY that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Downey at a regular meeting thereof held on the 15<sup>th</sup> day of February 2023, by the following vote, to wit:

AYES:            COMMISSIONERS:  
NOES:            COMMISSIONERS:  
ABSENT:        COMMISSIONERS:  
ABSTAIN:       COMMISSIONERS:

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Linda Thai  
Deputy City Clerk

**CONDITIONS OF APPROVAL  
CONDITIONAL USE PERMIT  
(PLN-22-00147)**

**PLANNING**

- 1) The approval of Conditional Use Permit (PLN-22-00147) allows the restaurant “Sakana Japanese Restaurant” to operate with a Type 41 (On-Sale Beer and Wine– Eating Place) ABC license for on-site consumption, on property located at 7956 Florence Avenue.
- 2) Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning regulations, or any Federal, State, County, and City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Downey Municipal Code shall apply.
- 3) The City Planner is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
- 4) All conditions of approval set forth in this resolution shall be complied with before the Conditional Use Permit becomes valid.
- 5) The use approved herein must be executed within one year of approval or shall be subject to revocation where this approval will be deemed null and void.
- 6) The Owner/Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the approval of this resolution, to challenge the determination made by City under the California Environmental Quality Act or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition.
- 7) Deliveries to the premises are prohibited between 12:00 A.M. and 7:00 A.M.
- 8) The permitted hours of operation of the business are as follows:
  - a. Monday – Sunday, 11:00 a.m. to 11:00 p.m.
- 9) Customers shall not be within the business one after specified closing time.
- 10) There shall be no live entertainment of any form, this includes, but is not limited to, a disc jockey, bands, musicians, and karaoke.
- 11) The subject property and surrounding area must be maintained free of trash, litter, and debris at all times.

- 12) Alcoholic beverages shall not be sold for off-site consumption unless packed in a sealed container.
- 13) The sale of alcohol shall be incidental to the sale of food. Gross sales of alcohol shall not exceed the gross sales of food. At the request of the Director of Community Development, the applicant shall provide evidence that the gross sales of food exceed 50% the gross sales of alcohol.
- 14) The kitchen shall remain open to serve a full menu at all times the business is open. The service/sale of prepackaged foods, salads, or sandwiches is not considered to be in compliance with this condition.
- 15) "Last call" for alcohol purchases shall occur thirty (30) minutes prior to closing.
- 16) The business shall comply with the City of Downey's noise ordinance, but in any case, no greater than 65 dBA as measured at the property line. Upon receiving complaints regarding noise levels, the Director of Community Development may order the preparation of a noise study. The City will hire a consultant to prepare a noise study, and said noise study shall be paid by the business owner. All mitigation measures identified in the noise study shall be implemented and become part of this Conditional Use Permit and shall have the force of conditions of approval.
- 17) All signs shall comply with the requirements set forth in the Downey Municipal Code and shall require separate permits.
- 18) Signs must be posted in parking lot notifying patrons to remain courteous of nearby residential properties.
- 19) All rules and regulations set forth by the California Department of Public Health and the Los Angeles County Department of Public Health shall be enforced and complied with. The applicant shall be subject to any and all applicable orders issued by these agencies to protect the public health such as the most recent orders for social distancing and operational restrictions related to the COVID-19 coronavirus pandemic.
- 20) A copy of this Resolution shall be maintained on the premises at all times. A copy of the Conditions of Approval and any Police Permit shall be prominently posted on the premises at all times. The applicant shall make available said copies upon request by any Police Officer or other City official charged with the enforcement of the City's laws, ordinances, or regulations.
- 21) The Licensee shall be responsible for monitoring the business to prevent anyone under the age of 21 from purchasing alcohol.
- 22) The owner/applicant shall comply with and strictly adhere to all conditions of any permit issued by the Alcohol Beverage Control ("ABC") to the applicant and any applicable regulations of ABC.

## **BUILDING**

- 23) If new construction is proposed it shall comply with the most recent version of the California Building Code and Downey Municipal Code, as adopted by the City of Downey. Prior to the commencement of any construction, the applicant shall obtain all required City permits. Once permits are issued, the applicant shall obtain all necessary inspections and permit final prior to occupancy of the business.

## **POLICE**

- 24) Prior to selling alcoholic beverages, the owner/applicant shall obtain any and all required Police Department permits for this Conditional Use Permit.
- 25) The business owner shall consent to and provide access to all areas of the subject premises without charge during normal business hours to any Police Department or City Official for purposes of verifying compliance with any of the Conditions of Approval of this approval, as well as with any Police Permit.
- 26) Signs shall be posted at all entrances to the premises and business identifying a zero-tolerance policy for nuisance behavior at the premises (including the parking lot). Signs shall be posted along the entry/ exit ways and shall also include verbiage prohibiting the possession and consumption of alcohol outside the premises.
- 27) The owner/applicant shall not permit any loitering on the property.
- 28) A copy of this conditional use permit and any Police permit shall be prominently posted on the premises at all times. The applicant shall make available said copies upon request by any Police Officer or other City official charged with the enforcement of the City's laws, ordinances, or regulations.
- 29) The Licensee shall be responsible for monitoring the business to prevent anyone under the age of 21 from purchasing or consuming alcohol.
- 30) The owner/applicant shall comply with and strictly adhere to all conditions of any permit issued by the Alcohol Beverage Control ("ABC") to the applicant and any applicable regulations of ABC.
- 31) The restaurant shall not charge patrons a cover charge at any time.

## **FIRE**

- 32) Deferred plan submittal for commercial cooking hood/exhaust automatic fire extinguishing system. Automatic fire extinguishing system design, installation, and testing shall be per NFPA 96 and be UL 300 complainant. [CFC § 904.2.2; §904.12; §609]
- 33) Clearance around kitchen hood exhaust shall adhere to CA Mechanical Code.
- 34) If applicable, storage of commercial kitchen cooking oil shall adhere to current Fire Code requirements. [CFC § 610]
- 35) Provide key boxes (e.g. Knox Boxes) to occupancy [CA Fire Code §506.1]



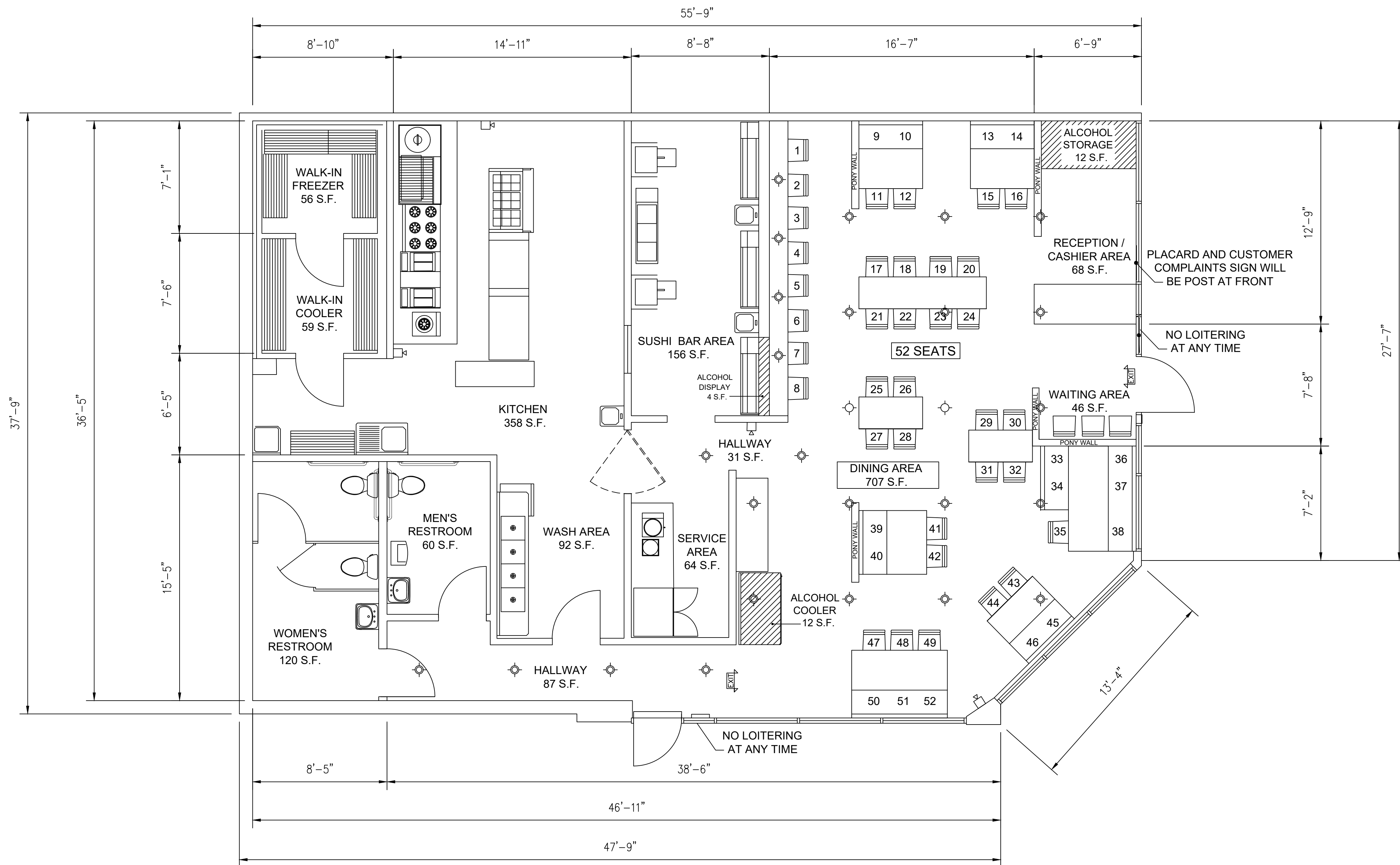
- 36) Approved fire lanes identification/markings shall be provided. [CA Fire Code §503.1.1]
- 37) Premises shall be appropriately addressed. An approved address identification shall be provided that is legible and placed in a position that is visible from the street/road. Sizing shall be approved and at a minimum meet requirement of CA Fire Code. [CA Fire Code §505.1]
- 38) Egress shall be designed to meet requirements of CA Building Code and Chapter 10 of the CA Fire Code for number of egress, egress sizing, means of egress, etc.
- 39) The establishment shall comply with all current code requirements for the occupancy use and type.

**PUBLIC WORKS**

- 40) If any hazardous material is encountered on the site that has the potential to reach the ground water supply, the owner/applicant shall secure a permit for the State Regional Water Quality Control Board.
- 41) The owner/applicant must comply with all applicable Federal, State and local rules and regulations, American Disabilities Act (ADA), including compliance with South Coast Air Quality Management District (SCAQMD) regulations.

**END OF CONDITIONS**





**FLOOR AREA: (2,095 S.F.)**

DINING AREA:	707 S.F.
SUSHI BAR AREA:	154 S.F.
RECEPTION CASHIER AREA:	68 S.F.
WAITING AREA:	45 S.F.
KITCHEN:	358 S.F.
WASH AREA:	92 S.F.
WALK-IN COOLER:	59 S.F.
WALK-IN FREEZER:	56 S.F.
RESTROOMS:	180 S.F.
HALLWAY:	118 S.F.
SERVICE AREA:	64 S.F.
ALCOHOL DISPLAY:	4 S.F.
ALCOHOL STORAGE:	12 S.F.
ALCOHOL COOLER:	12 S.F.
OTHERS:	166 S.F.
<b>TOTAL:</b>	<b>2,095 S.F.</b>

**INDOOR SEATING PROVIDED: 52 SEATS**

PARKING PROVIDED:	
STANDARD PARKING:	105 SPACES
COMPACT PARKING:	44 SPACES
H.C. PARKING:	7 SPACES
<b>TOTAL:</b>	<b>156 PARKING SPACE</b>

**ALCOHOLIC BEVERAGES SOLD: BEER & WINE & SAKE**

**EXISTING FLOOR PLAN (2,095 SQ.FT.)**

EXISTING WALLS  
 EXISTING LIGHT  
 EXISTING EMERGENCY EXIT SIGN W/ EMERGENCY LTG.  
 EXISTING FIRE EXTINGUISHER

SCALES: 1/4" = 1'-0"

1' 2' 3' 4' 5' 10' 15' 20' 25'

REVISIONS	BY

**GENESIS CONSULTING INC.**  
 3435 WILSHIRE BLVD. STE. 1030  
 LOS ANGELES, CA 90010  
 OFFICE 213-228-3288  
 WWW.GCI-COM

OWNER INFORMATION:  
**SAKANA**  
 7956 FLORENCE AVE,  
 DOWNEY, CA 90241  
 TEL: 562-776-8002

PROJECT INFORMATION:  
**SAKANA SUSHI & IZAKAYA**  
 7956 FLORENCE AVE,  
 DOWNEY, CA 90241

DATE 11-29-2022  
 SCALE 1/4" = 1'-0"  
 DRAWN  
 JOB  
 SHEET

**A-2**



# STAFF REPORT

PLANNING DIVISION

**DATE:** FEBRUARY 15, 2022

**TO:** PLANNING COMMISSION

**SUBMITTED BY:** ART BASHIMAKIAN, AICP, INTERIM CITY PLANNER *AB*

**PREPARED BY:** ABRAHAM LUNA, ASSISTANT PLANNER *A*

**SUBJECT:** **PLN-21-00175 (FINAL PARCEL MAP) – A REQUEST FOR APPROVAL OF A FINAL PARCEL MAP TO SUBDIVIDE ONE PARCEL INTO TWO LOTS**

**LOCATION:** 11613 ADENMOOR AVENUE

**ZONING:** R-3 (MULTIPLE-FAMILY RESIDENTIAL)

## DISCUSSION

On November 2, 2022, the Planning Commission approved Tentative Parcel Map No. 74786 and Site Plan Review to subdivide an existing 8,450 square foot parcel for the development of a primary dwelling and a detached accessory dwelling unit. The lot is located in the vicinity of Hall Road, Bellflower Blvd, and Stewart & Gray Road. The subject property is R-3 (Multiple-Family Residential) with a General Plan designation of Low Medium Density (LMDR).

The final map consists of single ownership per each lot. Municipal Code Section 9924 required that the Planning Commission and City Council approve the final map prior to it being recorded. Both the Public Works and Planning Division have reviewed the final map and have determined that the map complies with requirements of Subdivision Map Act, the City's Municipal Code, and the project approvals.

Staff is recommending that the Planning Commission adopt a minute action, thereby recommending the City Council approval Final Parcel Map No. 74786.

## EXHIBITS

- A. Public Works Memorandum, dated February 8, 2023
- B. Final Parcel Map No. 74786



City of Downey

**MEMORANDUM**  
PUBLIC WORKS DEPARTMENT

**Date:** February 8, 2023  
**To:** Art Bashmakian, Interim City Planner  
**From:** Edwin J. Norris, PE, Interim Public Works Director/City Engineer  
**Subject:** **Final Parcel Map 74786 – 11613 Adenmoor Avenue**

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Attached herewith are ten (10) prints of the subject map revision, which has been completed and certified by Willdan Engineering. The Engineering Division has checked the revised map for conformance with the revised tentative map as approved by the Planning Commission through Resolution No. 22-3193 on November 2, 2022.

Engineering Division offsite improvements have been guaranteed via Refundable Cash Deposit to the satisfaction of this office.

Should you have any questions, please contact Office Engineering at (562) 904-7110.