



- I. **CALL TO ORDER: A REGULAR PLANNING COMMISSION MEETING - 6:30 P.M.**
- II. **FLAG SALUTE**
- III. **ROLL CALL:** Chair Ortiz, Vice Chair Uva, Duarte, and Guerra
- IV. **PLANNING COMMISSIONER ANNOUNCEMENTS; REQUEST FOR FUTURE AGENDA ITEMS; AND CONFERENCE/MEETING REPORTS:**
- V. **REPORT ON CITY COUNCIL ACTIONS**
- VI. **PRESENTATIONS:** None
- VII. **PUBLIC COMMENTS: CONSENT CALENDAR/ OTHER BUSINESS/ NON-AGENDA**

Persons wishing to address the Planning Commission on City business not listed on the agenda may do so at this time.

Persons wishing to address the Planning Commission on any item listed on the Agenda, other than public hearing items, may do so at this time. Persons wishing to address public hearing items shall do so at the time of the public hearing.

It is requested, but not required, that you state your name, address and subject matter upon which you wish to speak. Please limit your comments to no more than four (4) minutes. Pursuant to the Brown Act, no discussion or action, other than a brief response, referral to the City Planning staff or schedule for a subsequent agenda, shall be taken by the Planning Commission on any issue brought forth that is not listed on the Agenda.

- VIII. **CONSENT CALENDAR ITEMS:** None
- IX. **OTHER BUSINESS:** None
- X. **PUBLIC HEARINGS:**

- 1. **PLN-23-00096 (Site Plan Review)**
  - Location: 10736 La Reina Ave.
  - Request: A request for a Site Plan Review (SPR) to construct a multi-family development. The project consists of two attached, three-story units located within the front portion of the property (each unit approximately 1,574 square feet) and one (1), two-story unit located toward the rear of the property (1,439 square feet); three, two (2) car garages; and two on-site guest parking spaces. The development is designed as a multi-family development on a single parcel.
  - CEQA: Categorical Exemption – Section 15303 (Class 3, New Construction or Conversion of Small Structures)
  - Staff: Associate Planner, Abraham Luna
  - Recommendation: Approve



XI. ITEMS TO BE PLACED ON FUTURE AGENDAS:

XII. STAFF MEMBER COMMENTS:

XIII. ADJOURNMENT: To Wednesday, October 18, 2023 at 6:30 pm, at Downey City Hall, 11111 Brookshire Avenue, Downey, CA. 90241.

**NOTICE: SECTION 9806 – APPEALS**

*Any person aggrieved or affected by any final determinations of the Commission concerning an application for action of an administrative nature, including a variance or a permit, or any condition or requirement thereon, or upon the failure of the Commission to make its findings and determinations within thirty (30) days after the closure of the hearing thereon, no later than fifteen (15) calendar days, (Exception: subdivisions. no later than ten (10) calendar days) after the date of the decision or of the Commission's failure to make a determination, may file with the City Planner a written notice of appeal there from to the Council. Such appeal shall set forth specifically wherein it is claimed the Commission's findings were in error, and wherein the decision of the Commission is not supported by the evidence in the matter, and wherein the public necessity, convenience, and welfare require the Commission's decision to be reversed or modified*

The City of Downey prohibits discrimination on the basis of disability in any of its program and services. For questions, concerns, complaints, or for additional information regarding the ADA, contact the City's ADA/Section 504 Coordinator at [ADACoordinator@downeyca.org](mailto:ADACoordinator@downeyca.org); Phone: (562) 299-6619; or TTY at 7-1-1.

In compliance with Title VI of the Civil Rights Act, the City of Downey prohibits discrimination of any person in any of its program and services. If written language translation of City agendas or minutes, or for oral language interpretation at a City meeting is needed, contact (562) 299-6619, **48 business hours prior to the meeting.**

En cumplimiento con el Título VI de la Ley de Derechos Civiles, la Ciudad de Downey prohíbe la discriminación de cualquier persona en todos sus programas y servicios. En caso de necesitar una traducción escrita de los órdenes del día o las actas de las reuniones de la ciudad, o para solicitar un intérprete oral para una reunion de la ciudad, comuníquese con el (562) 299-6619 en el horario de atención comercial, **48 horas antes de la reunión.**

I, Alfonso Hernandez, Principal Planner, City of Downey, do hereby certify, under penalty of perjury under the laws of the State of California that the foregoing notice was posted pursuant to Government Code Section 54950 Et. Seq. and City of Downey Ordinance at the following locations: Downey City Hall, Downey City Library, and Barbara J. Riley Senior Center.

Dated this 28<sup>th</sup> day of September, 2023

*Alfonso Hernandez*  
\_\_\_\_\_  
Alfonso Hernandez  
Principal Planner



**DATE:** OCTOBER 4, 2023

**TO:** PLANNING COMMISSION

**SUBMITTED/  
REVIEWED BY:** IRMA HUITRON, DIRECTOR OF COMMUNITY DEVELOPMENT

**PREPARED BY:** ABRAHAM LUNA, ASSOCIATE PLANNER

**SUBJECT:** **PLN-23-00096 – A SITE PLAN REVIEW (SPR) APPLICATION FOR A THREE (3) UNIT MULTI-FAMILY DEVELOPMENT ON A PROPERTY ZONED R-3 (MULTIPLE-FAMILY RESIDENTIAL) LOCATED AT 10736 LA REINA AVENUE**

**LOCATION:** 10736 LA REINA AVENUE

**ZONING:** R-3 (MULTIPLE-FAMILY RESIDENTIAL)

**GENERAL PLAN  
DESIGNATION:** MDR (MEDIUM DENSITY RESIDENTIAL)

**REPORT SUMMARY**

This is a request for a Site Plan Review (SPR) to construct a multi-family development consisting of three dwelling units, each with an enclosed two-car garage. The project consists of two attached, three-story units located within the front portion of the property (each approximately 1,574 square feet) and one (1), two-story unit located toward the rear of the property (1,439 square feet); three, two (2) car garages; and two, on-site guest parking spaces. The development is designed as a multi-family development on a single parcel.

Based on the analysis contained in this report, staff is recommending the Planning Commission adopt the following titled resolution:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APPROVING A SITE PLAN REVIEW (PLN-23-00096), THEREBY ALLOWING THE CONSTRUCTION OF A MULTI-FAMILY DEVELOPMENT CONSISTING OF THREE RESIDENTIAL UNITS LOCATED AT 10736 LA REINA AVENUE**

**REQUEST**

On June 12, 2023, the applicant filed an application for a Site Plan Review (SPR) for a new multi-family development as required by Downey Municipal Code (DMC) Section 9820, which requires Planning Commission review and approval.

## **BACKGROUND**

The subject site is 7,238 square feet, located within the R-3 Zone (Multiple-Family Residential), and has a General Plan land use designation of Medium Density Residential. The site is developed with a 1,424 square foot single-family dwelling and a 361 square-foot detached two (2)-car garage. All existing structures on the property are proposed to be demolished as a part of the development proposal.

The surrounding neighborhood to the north, east and west are zoned R-3 (Multiple-Family Residential) and are developed with single-family homes. Approximately 200-feet in each direction, the prevalent development pattern consists of multiple-family residential developments such as multi-unit apartments and duplexes (Exhibit A - Maps). Properties to the south consist of a mix of R-3, R-2 and Downtown-Downey Specific Plan (DDSP) zoned properties that are developed with mix of single-family homes and multi-family residential developments.

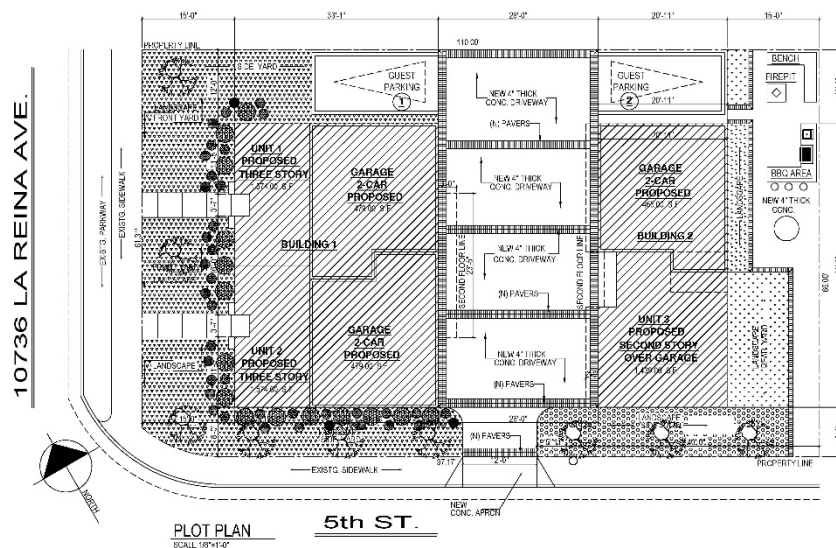
## **DISCUSSION**

The Site Plan Review process requires evaluations of the proposed site changes, architecture, landscaping, and compliance with applicable sections of the Downey Municipal Code.

### *Site Changes*

The project consists of two attached, three-story dwelling units located within the front portion of the property (each approximately 1,574 square feet) and one (1), two-story dwelling unit located toward the rear of the property (1,439 square feet); three, two (2)-car garages; and two on-site guest parking spaces. The development is designed as a multi-family development on a single parcel. The proposal includes the demolition of the existing single-family dwelling and detached two (2)-car garage.

Each dwelling unit is designed to provide an enclosed two (2)-car garage for each unit and would provide a total of two (2) on-site guest parking spaces as required per the DMC. The project site has been designed with a single vehicular driveway ingress and egress access point located along 5<sup>th</sup> Street. No driveway access points are proposed along La Reina Avenue.



**PLOT PLAN**  
SCALE 1/8"=1'-0"  
**Proposed Site Plan Layout**  
**Figure 1**

As shown on the table below, the proposed multi-family development project has been designed to comply with the applicable development standards as required by the DMC.

<b>Table 1 - R-3 Zone Property Development Standards</b>			
<b>Description</b>	<b>Required</b>	<b>Proposed</b>	<b>Complies with DMC?</b>
Lot Coverage	50% Max.	36.19%	Yes
Building Height	35 ft. / 3 stories Max.	Front Bldg.: 34'-2" (three- stories)	Yes
		Rear Bldg.: 22'-11" (two-stories)	Yes
<b>Setbacks:</b>			
Front (La Reina Ave.)	15 ft. Min.	15 ft.	Yes
Rear	15 ft. Min.	15 ft.	Yes
Street Side	7.5 ft. Min.	8 ft.	Yes
Side	5 ft. Min	12 ft. (exceeds by 7 ft.)	Yes
Side (Front units, third story only)	5 ft. Min.	22 ft. (exceed by 17 ft.)	Yes
Parking	7.5 Spaces (6 covered, 1.5 guest parking)	8 spaces (6 covered, 2 guest parking)	Yes

*Architecture*



*Proposed Elevation from La Reina Avenue & 5<sup>th</sup> Street  
Figure 2*

The proposed design for the project reflects a Tuscan architectural style with its smooth stucco finishes, arched doorways and windows, terracotta style roof, and details such as wrought iron railing, stone walls, and cornices to resemble exposed rafter tails. The colors and materials proposed for this project are common in the Tuscan-style architecture. The primary building

elevations will be finished will be a “Milky Quartz” smooth stucco, accented by the lower Country Castle stone finished building walls. The two front balconies are accented with cast stone and complementary wrought iron railing.

**Two attached front units:** The layout of the two front units are designed to mirror each other. The building, standing at three-stories tall, has been designed to provide massing relief by providing a greater side yard setback than the required for the second and third stories. The second story setback adjacent to the existing single-family home to the north is proposed at 12-feet which exceeds the DMC requirement by 7-feet, and the third story exceeds the setback by 17-feet. The west and south elevations of the three-story units are adjacent to the public right of way, including 5<sup>th</sup> Street and La Reina Avenue.

**Rear single-unit:** The rear single unit, is two stories and shares similar architectural features and finishes. The massing of the unit is substantially reduced based on its height of 22'-11". The rear unit provides a setback of fifteen feet from the adjacent property which meets the R-3 development standard.

The proposal provides a well-designed project with upgraded building materials and finishes, plenty of wall articulation to break up the building massing while adding visual interest. This project meets the R-3 development standards and would be a great addition to the neighborhood.

#### *Landscaping*

The project will include 1,988 square feet of landscaping with a vibrant color palette consisting of drought tolerant landscaping material consisting of a three-tiered system of grass, shrubs, and trees within the front and street side setback areas. The greenery will include nine (9) Pacific Madrone trees, Bermuda grass, dwarf bottle brush, dwarf kangaroo paw, and hummingbird sage. The landscape palette will complement the earth tone colors of the building and enhance the overall site.

#### **DEVELOPMENT REVIEW COMMITTEE**

The project was reviewed by the Development Review Committee (DRC) which is composed of Building & Safety Division, Fire Department, Public Works Department, and the Planning Division. As a result of the project review, Fire Department is requiring that the curb immediately adjacent to the project along La Reina Avenue be designated as “No Parking” and painted red. This condition of approval will ensure that the Fire Department can access La Reina Avenue with its equipment and ensure that there is adequate ladder access for the project. The other departments provided standards comments and conditions of approval.

#### **PUBLIC NOTICE**

On September 21, 2023, a notice of the public hearing was mailed to all property owners within 500-feet of the subject property and noticed in the Downey Patriot for the October 4, 2023 Planning Commission meeting.

#### **ENVIRONMENTAL ANALYSIS**

Staff has reviewed the proposed SPR application for compliance with the California Environmental Quality Act (CEQA). Upon completion of this review, staff has determined that this request is categorically exempt from CEQA, pursuant to Guideline Section No. 15303

(Class 3 – New Construction or Conversion of Small Structures). Class 3 exemptions consist of Multi-family residential structures of not more than 6 units in urbanized areas.

### **PUBLIC COMMENTS**

As of the date of the publishing of this report, staff has not received any correspondence regarding this application.

### **CONCLUSION**

Based on the analysis contained within this report, staff is concluding that all findings required for approval can be made in a positive manner (Exhibit B – Findings). As such, staff is recommending that the Planning Commission approve the application (PLN-23-00096), thereby approving a three-unit multifamily development in an R-3 zone.

### **EXHIBITS**

- A. Maps
- B. Draft PC Resolution No. 23-4015
- C. Project Plans

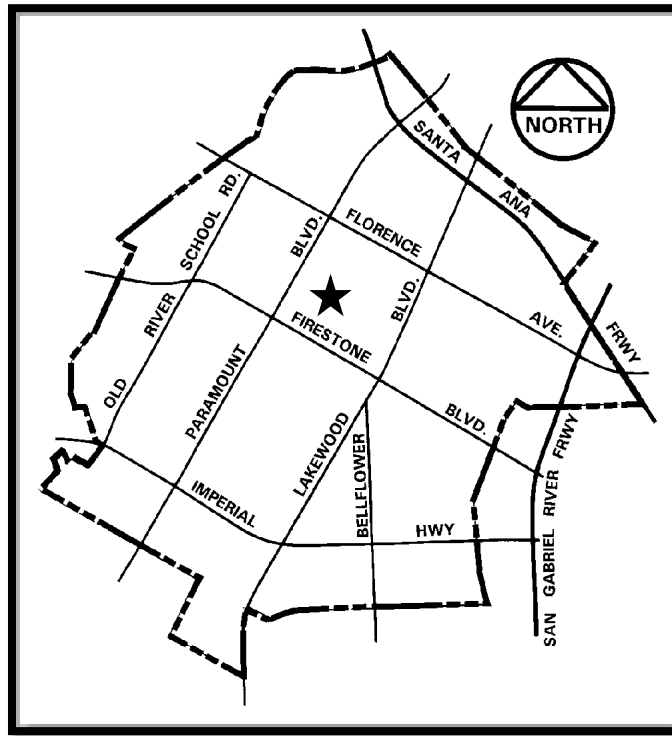
**Exhibit 'A' – Maps**

**AERIAL PHOTOGRAPH**

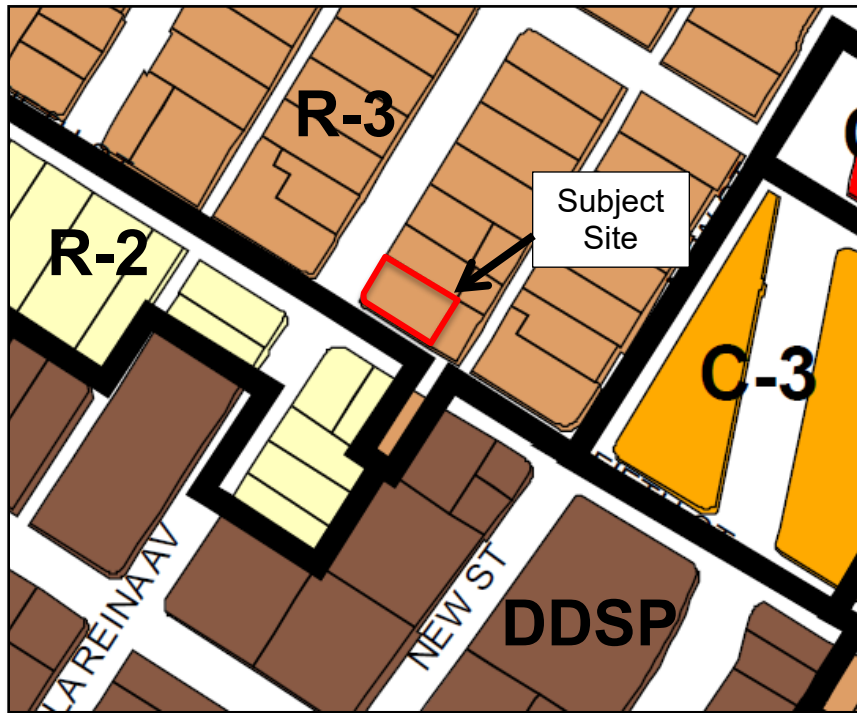




**LOCATION MAP**



**ZONING MAP**



**RESOLUTION NO. 23-4015**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DOWNEY APROVING A SITE PLAN REVIEW (PLN-23-00096), THEREBY ALLOWING THE CONSTRUCTION OF A MULTI-FAMILY DEVELOPMENT CONSISTING OF THREE RESIDENTIAL UNITS LOCATED AT 10736 LA REINA AVENUE**

THE PLANNING COMMISSION OF THE CITY OF DOWNEY DOES RESOLVE AS FOLLOWS:

**SECTION 1.** The Planning Commission of the City of Downey does hereby find, determine and declare that:

- A. On June 12, 2023, the application was filed by Willy Barrios (hereinafter referred to as the “applicant”) a request for Site Plan Review (PLN-23-00096) to construct three new dwelling units; and,
- B. The application was deemed incomplete due to missing information on June 12, 2023. The applicant resubmitted additional information and the application was deemed complete for further processing on July 27 2023; and
- C. On September 23, 2023, a notice of the public hearing was sent to all property owners within 500-feet of the subject site and the notice was published in Downey Patriot; and,
- A. The Planning Commission held a duly noticed public hearing on October 4, 2023 and after fully considering all oral and written testimony, facts, and opinions offered at the aforesaid public hearing adopted this resolution.

**SECTION 2.** The Planning Commission further finds, determines and declares that the proposed project was reviewed for compliance with the California Environmental Quality Act (CEQA), and is categorically exempt from CEQA, pursuant to Guideline Section 15303 (Class 3, New Construction or Conversion of small structures). Class 3 exemptions consist of Multi-family residential structures of not more than 6 units in urbanized areas.

**SECTION 3.** Having considered all of the oral and written evidence presented to it at said public hearings regarding the Site Plan Review, the Planning Commission further finds, determines and declares that:

- 1. The site plan is consistent with the goals and polices embodied in the General Plan and other applicable plans and policies adopted by the Council. The project’s objective to revitalize the site helps achieve various long-term goals. Specifically, the following policies are promoted by the Site Plan Review: “*Policy 2.2. – Encourage infill development and recycling of land to provide adequate residential sites. Policy 8.1.1 – Promote architectural design of the highest quality. Policy 8.2.2 – Promote the upgrading of properties.*” The proposed architecture uses quality materials that provide different elements to achieve Tuscan-style architecture. The site is compatible with the zoning designation and the General Plan Land Use designation which both encourage multi-family residential. Additionally, the majority of the surrounding properties are majority multi-family residential with single-family residences mixed in. This development

will achieve a long-term goal of recycling land to providing more housing units as this development consists of two additional units than what currently exists on the site.

2. The proposed development is in accordance with the purposes and objectives of this article and the zone in which the site is located. The purpose of the R-3 (Multiple-Family Residential) zone, as stated in the Downey Municipal Code, “is intended to provide for the development of multiple-family residential living areas compatible with the neighborhood environment and outdoor recreation potential of the community. Such areas are envisioned as being located and designed to be complementary to adjacent uses and at the same time provide suitable space for multiple-family living quarters.” The proposed development is in full conformance with the objectives stated above as the properties are similarly zoned to the north, east and west of the site. The properties to the south are mixed zoned with R-2 (Two-family residential) and is the start of the DDSP (Downtown Down Specific Plan) which encourages mixed use projects, including high density residential developments.
3. The proposed development’s site plan and its design features, including architecture and landscaping, will integrate harmoniously and enhance the character and design of the site, the immediate neighborhood, and the surrounding areas of the City. The proposed design of the project will integrate harmoniously with this area by providing aesthetically pleasing architecture and landscaping. The proposed multi-family development will add to the neighborhood character with its Tuscan-style architecture that is unique to the area, but will enhance the neighborhood with quality design. In addition, the streetscape that faces La Reina Avenue and 5th Street will be enhanced with the proposed on-site landscaping, and upgraded driveway and driveway approach.
4. The site plan and location of the buildings, parking, landscaping, and other site features indicate that proper consideration has been given to both the functional aspects of the site development, such as automobile and pedestrian circulation, and the visual effects of the development from the view of the public streets. The project has considered all functional aspects of the site and will be well integrated into the neighborhood. The landscaping that is fronting two public street creates an inviting scenery from the intersection. The relocated driveway remains on the same street frontage along 5<sup>th</sup> Street. The building architectural articulations provide massing and scale relief. In addition, the front units are designed with step back in excess of the required R-3 setbacks to reduce the massing and provide compatibility with adjacent properties. This project also incorporates a decorative pavers surrounding the private concrete driveway entrance to the subject site, thus providing visual appeal along 5<sup>th</sup> Street.
5. The proposed development will improve the community appearance by preventing extremes of dissimilarity or monotony in new construction or in alterations of facilities. The proposed project reflects a Tuscan-style architecture, and reflects a high-quality design which brings a new style to the area. Other developments along La Reina Avenue consist of a variety of architectural styles from California ranch, Craftsman, Dutch colonial and Mid-century modern. In staff’s opinion, the development is not dissimilar to other developments around the City as many new developments are similar in design. The development is

much taller than the properties immediately surrounding the project site. The designer took this into consideration and provided greater setbacks and footprint reductions to provide a development that is proportionate to its surroundings. Also, this area's existing R-3 (Multiple-Family Residential) allows the development of medium-density projects including multi-level structures. The goal of the R-3 zone is to eventually infill all underutilized properties with medium-density developments which is a long-term goal in providing more housing units as mandated by the state and that is in-line with the City's Housing Element update.

6. The site plan and design considerations shall tend to upgrade property in the immediate neighborhood and surrounding areas with an accompanying betterment of conditions affecting the public health, safety, comfort, and welfare. The proposed architecture is a complementary upgrade to the immediate neighborhood and surrounding areas, in terms of use and density. In addition, the redevelopment of this site has the potential of serving as an example for quality architecture for future developments within the City of Downey. The project complies with all zoning codes and will comply with all building and safety, and engineering codes to ensure a safe and sound structure for its occupants and its surrounding neighbors. Lastly, the project was designed to ensure that any potential effects will not negatively harm or impact the surrounding sites and accompany the public health, safety, comfort and general welfare as much as possible.
7. The proposed development's site plan and its design features will include graffiti-resistant features and materials in accordance with the requirements of Section 4960 of Chapter 10 of Article IV of this Code. The project has been conditioned to meet the requirements specified in Section 4960 of the Downey Municipal Code. Section 4960 discusses the installation of anti-graffiti materials and the appropriate allotted time limit for the removal of graffiti.

**SECTION 4.** Based upon the findings set forth in Sections 1 through 3 of this Resolution, the Planning Commission of the City of Downey hereby approves a Site Plan Review (PLN-23-00096), subject to conditions of approval attached hereto as Exhibit 'A', which are necessary to preserve the health, safety and general welfare of the community and enable the Planning Commission to make the findings set forth in the previous sections. The conditions are fair and reasonable for the accomplishment of these purposes.

**SECTION 5.** The Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 4<sup>th</sup> day of October 2023.

---

Horacio Ortiz, Chairman  
City Planning Commission

I HEREBY CERTIFY that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Downey at a regular meeting thereof held on the 4<sup>th</sup> day of October 2023, by the following vote, to wit:

AYES:            COMMISSIONERS:  
NOES:            COMMISSIONERS:  
ABSENT:        COMMISSIONERS:  
ABSTAIN:        COMMISSIONERS:

---

Irma Huitron  
Director of Community Development

**PLN-23-00096  
(SITE PLAN REVIEW)  
EXHIBIT A – CONDITIONS OF APPROVAL**

**PLANNING DIVISION**

1. The approval of this Site Plan Review (PLN-23-00096) allows for the construction of two, three-story residential dwelling units, and one, two (2)-story dwelling unit, each designed with an attached two (2)-car garage and two on-site guest parking spaces located at 10736 La Reina Avenue.
2. The applicant and the property owner shall sign and return an affidavit of Acceptance of Conditions, as provided by the City of Downey.
3. The approved Tuscan architectural style, finish material, and colors shall remain in strict conformance with the approved elevations and materials board reflecting stucco, stone veneer, and roof tile. Changes to the facades and/or colors shall be subject to the review and approval of the City Planner. The City Planner is authorized to make minor modifications to the approved preliminary plans or any of the conditions of approval if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions. At his/her discretion, the City Planner may refer changes to the facades and/or colors and project design to the Planning Commission for consideration.
4. The site shall remain in substantial conformance with this request and the approved set of plans.
5. Approval of the Site Plan Review (PLN-23-00096) shall not be construed to mean any waiver of applicable and appropriate zoning regulations, or any Federal, State, County, and City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Downey Municipal Code shall apply.
6. The Owner/Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the approval of this resolution, to challenge the determination made by City under the California Environmental Quality Act or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition.
7. All buildings and walls must be finished with graffiti resistant materials pursuant to Downey Municipal Code Section 4960.
8. Any graffiti applied to the site shall be removed within 48 hours.

9. The applicant shall comply with the art in public places requirements set forth in Downey Municipal Code 8950 et seq. This shall include payment of all required fees prior to the issuance of building permits. Should the applicant exercise their right to install public art on site, the public art application (including payment of all deposits) shall be submitted prior to the issuance of building permits.
10. The Applicant shall incorporate a copy of this Exhibit A - Conditions of Approval, into the approved set of building plans.
11. The driveway and approach shall be improved with concrete and pavers throughout, as approved on the project plans. Any changes or modification to the approved driveway must be approved by the City Planner and the Public Works Department.
12. All landscaping must remain in compliance with the Downey Municipal Code, be composed of drought tolerant plants, and strictly conform to the approved set of plans. Any revisions to the proposed landscape plans will first require review and approval from the City Planner.
13. Open space requirements must comply with the provisions set forth in section 9312.08(b)(10)(iv) of the Downey Municipal Code. The private open space patio areas for each unit shall have no dimension less than eight (8) feet with a minimum area of two hundred (200) square feet.
14. Prior to the final of building permits, all landscaping and irrigation shall be installed. The type, size and number of landscaping shall be as noted on the final approved landscape plan. All landscape shall be installed and permanently maintained.
15. Prior to the final of building permits, all installed landscaping shall be certified by a licensed Landscape Architect and compliant with the City's Water Efficiency Landscape Ordinance. The licensed Landscape Architect shall be on-site during the delivery of all trees to certify that all trees and plants are the right species and size.
16. All exterior lights on the property shall be LED and shall be directed, positioned, and/or shielded such that they do not illuminate surrounding properties and the public right-of-way, consistent with lighting standards in the DMC.
17. All above grade back-flow preventers, check valves, shall be screened from view from the public right-of-way by a decorative metal-cut-out screen subject to approval of the City Planner.
18. All exterior mechanical and utility equipment shall be designed and located five feet from property line so as to not transmit noise or vibration to abutting properties. All utility equipment shall be located along the sides and/or rear of the buildings and shall be screened from public view through the use of landscape screens, walls, or other devices architecturally compatible with the buildings. Electrical panels and/or transformers are expressly prohibited from being located between the buildings and the public street.
19. All guest parking spaces shall be screened from public view (i.e. La Reina Avenue) with a 6-foot high decorative concrete block wall or wooden fence as approved by the City Planner.

20. All common and private open spaces shall be separated with a 6-foot high privacy wall or fence and meet the required development standards listed in the Downey Municipal Code. The common/shared open space shall be designed to be accessible with an unobstructed pedestrian path of travel.

### **BUILDING & SAFETY DIVISION**

21. All construction shall comply with the most recent adopted City and State building codes:
  - a) 2022 California Building Code
  - b) 2022 California Residential Code
  - c) 2022 California Electrical Code
  - d) 2022 California Mechanical Code
  - e) 2022 California Plumbing Code
  - f) 2022 California Fire Code
  - g) 2022 California Green Code
22. Special Inspections – As indicated by California Building Code Section 1704, the owner shall employ one or more special inspectors who shall provide special inspections when required by CBC section 1704. Please contact the Building Division at time of plan submittal to obtain application for special inspections.
23. The Title Sheet of the plans shall include:
  - a) Occupancy Group
  - b) Occupant Load
  - c) Description of use
  - d) Type of Construction
  - e) Height of Building
  - f) Floor area of building(s) and/or occupancy group(s)
24. School impact fees shall be paid prior to permit issuance.
25. Dimensioned building setbacks and property lines, street centerlines and between buildings or other structures shall be designed on plot plan.
26. All property lines and easements must be shown on plot plan. A statement that such lines and easements are shown is required.
27. The project design will conform with energy conservation measures articulated in Title 24 of the California Code of Regulations and address measures to reduce energy consumption such as flow restrictors for toilets, low consumption light fixtures, and insulation and shall use to the extent feasible draught landscaping.
28. A design professional will be required at time of construction drawings, to prepare plans for proposed improvements per the Business and Professions' Code.
29. Public and private site improvements shall be designed in accordance with the Americans with Disabilities Act and Chapter 11 of the California Building Code. Site plan shall include a site accessibility plan identifying exterior routes of travel and detailing running slope, cross slope, width, pedestrian ramp, curb ramps, handrails, signage and



truncated domes. Path of travel shall be provided from the public right of way and accessible parking to building. The design professional shall ensure that the site accessibility plan is compliance with the latest Federal and State regulations.

### **FIRE DEPARTMENT**

30. Deferred automatic fire sprinkler plan submittal required for new Residential Group R occupancy. Automatic fire sprinkler system design, installation, and testing shall be per NFPA 13D or 13R based on the building construction type, height, fire separation, etc. [CFC § 903.2.8; DMC 3318]
31. All proposed structures shall be required to have automatic fire sprinkler systems.
32. Premises shall be appropriately addressed. An approved address identification shall be provided that is legible and placed in a position that is visible from the street/road. Sizing shall be approved and at a minimum meet requirement of CA Fire Code [CA Fire Code §505.1]
33. Smoke alarms shall be installed in Residential Group R occupancies on the ceiling or wall or each separate sleeping areas, rooms used for sleeping, in each story within the dwelling [CA Fire Code §907.2.11.2]
34. Carbon monoxide detection shall be installed in R-occupancy dwelling units in the following locations: (1) Outside each separate sleeping area in the immediate vicinity of bedroom, (2) On every occupiable level of the dwelling unit, (3) where fuel-burning equipment is located [915.2.1]
35. Project construction shall comply with requirements set forth in the CA Building and Residential Codes for egress, construction type and height, etc.
36. Based off the height of the proposed structure and the width of La Reina Ave., the curb in front of the project along La Reina Avenue shall be designated "NO PARKING" through approved signage and red curb paint. A minimum fire access width of 26' must be maintained in that area to accommodate aerial fire apparatus.

### **PUBLIC WORKS**

37. The owner/applicant hereby consents to the annexation of the property into the Downey City Lighting Maintenance District in accordance with Division 15 of the Streets and Highways Code, and to incorporation or annexation into a new or existing Benefit Assessment or Municipal Improvement District in accordance with Division 10 and Division 12 of the Streets and Highways Code and/or Division 2 of the Government Code of the State of California.
38. The owner/applicant shall install any new utilities, underground.
39. The owner/applicant shall be required to complete a construction & demolition (C&D) waste management plan per Article V, Chapter 8 of the Downey Municipal Code.
40. Broken, uneven, or sub-standard sidewalk, driveway, pavement, curb and gutter along the property frontage on La Reina Avenue and 5th Street shall be replaced to the

satisfaction of the Department of Public Works. Contact the Public Works Inspection Office at (562) 904-7110 to have these areas identified just prior to applying for a Public Works Excavation Permit. The owner/applicant shall obtain all necessary plan approvals and permits and shall provide that the standards of improvements, construction materials, and methods of construction shall be in conformance with the Standard Plans and Specification for Public Works Construction and as modified by the City of Downey's Standard Plans and Specifications.

41. The owner/applicant shall submit a public improvement plan(s) for review and approval by the Public Works Department.
42. Proposed public improvements shall comply with the latest edition of Standard Plans and Specifications for Public Works Construction, the City of Downey standards, and the Americans with Disabilities Act (ADA).
43. The owner/applicant shall obtain permits from the Public Works Department for all improvements within the public right of way at least two weeks prior to commencing work. Contact Brian Aleman, Associate Civil Engineer, at (562) 904-7110 for information.
44. The owner/applicant shall remove all Underground Service Alert (USA) temporary pavement markings immediately following the completion of the work / Final permit inspection.
45. All unused driveways shall be removed and constructed with full-height curb gutter, and sidewalk to match existing improvements.
46. The owner /applicant shall construct all driveway approaches as wide as the driveway or parking aisle they serve. If the driveway expansion causes the relocation of a utility power pole, the applicant shall coordinate with Southern California Edison (SCE) and Public Works for approval.
47. The project design must provide for refuse/recycle enclosure with roof cover (location, size) or provide locations for trash containers for each unit that do not obstruct with required interior garage dimensions, as approved by the Community Development and Public Works Department.
48. The owner/applicant shall remove all construction graffiti, in the public right of way, that was created and associated with this project.
49. The owner/applicant shall submit an engineered grading plan and/or hydraulic calculations and site drainage plan for the site (prepared and sealed by a Registered Civil Engineer in the State of California) for approval by the Engineering Division and Building and Safety Division. All lot(s) shall not have less than one (1%) percent gradient on any asphalt or non-paved surface, or less than one quarter (1/4%) percent gradient on any concrete surface. Provide the following information on plans: topographic site information, including elevations, dimensions/location of existing/proposed public improvements adjacent to project (i.e. street, sidewalk, parkway and driveway widths, catch basins, pedestrian ramps); the width and location of all existing and proposed easements, the dimensions and location of proposed dedications; (for alley dedications, show elevations of the four corners of the dedication and

- centerline of alley, existing and proposed underground utility connections); the location, depth and dimensions of potable water, reclaimed water and sanitary sewer lines; chemical and hazardous material storage, if any, including containment provisions; and the type of existing use, including the gross square footage of the building, and its disposition.
50. Any utilities and/or above-ground utility structures that are in conflict with the development shall be relocated at the owner/applicant's expense. The owner/applicant shall coordinate the relocation with the utility owner and a proper Public Works permit will need to be obtained from the Public Works Department.
  51. The owner/applicant shall furnish and install a new (min. 1-inch) dedicated potable water service line, meter, and meter box for each unit.
  52. The owner/applicant shall furnish and install a (min. 1-inch) dedicated water service line, meter, and meter box for the landscaping irrigation system.
  53. The owner/applicant shall furnish and install the public potable water improvements, including extension and/or replacement of existing mains and associated facilities, necessary to provide adequate fire flow and pressure to the site.
  54. The owner/applicant shall install a sewer main and sewer lateral (to the front property line) for each unit in the subdivision and shall provide that the design and improvements of sewers shall be to the standards of the City Engineering Division. Septic systems are not acceptable.
  55. The owner/applicant is responsible for coordinating with and making the proper payment to the City and County Sanitation District of Los Angeles County for all sanitary sewer connection and capacity charges.
  56. The owner/applicant shall provide separate sewer improvement plan sets for review and approval from the City of Downey Engineering Division prior to the start of construction.
  57. The owner/applicant shall furnish and install dedicated fire protection lateral(s) including backflow devices, fire department connections, and other appurtenances as required by the Department of Public Works and the Downey Fire Department. Such improvements may include the removal and/or replacement of existing fire hydrants, laterals, backflow devices, and associated facilities with new facilities to current Downey standards and materials. Backflow devices, fire department connections, and associated appurtenances are to be located on private property and shall be readily accessible for emergency and inspection purposes. Backflow devices shall be screened from street view by providing sufficient landscaping to hide them.
  58. The owner/ applicant shall confirm the availability of adequate fire flow and pressure in accordance with the Department of Public Works and Downey Fire Department requirements.
  59. The owner/applicant shall retrofit existing fire hydrant(s) in accordance with the latest Fire Department and Department of Public Works standards including but not limited to furnishing and installation of a new riser, fire hydrant head, and associated fittings.

60. The owner/ applicant shall furnish and install backflow device(s) in accordance with the Department of Public Works and the State and County Department of Health Services requirements.
61. The owner/applicant shall provide and record utility easement(s) for access to, and inspection and maintenance of, public water lines, meters and appurtenances, and backflow devices.
62. Owner or tenant must establish accounts with the City Cashier prior to the City activating and the tenant using any fire and potable water service and meter.
63. The owner/applicant shall provide separate water improvement plan sets for review and approval from the City of Downey Utilities Division consisting of the following:
  - a) Potable Water Improvement Plans (all City-owned potable water and fire service lateral improvements)
  - b) Final City approved potable water main improvement plans shall be submitted on mylars and shall be signed and stamped by a State of California licensed civil engineer. Improvement plans for potable main improvement shall be both plan and profile.
64. Upon completion of water improvements, the owner/applicant shall submit red-lined construction plans to City noting all changes to the plan and profile of all water improvements installed. Such changes shall be incorporated into a final record drawing mylar which shall be signed and stamped by the original engineer and/or architect of record and submitted to the City along with digital files (AutoCAD – latest edition).
65. The Applicant shall comply with the National Pollutant Discharge Elimination System (NPDES); Ordinance 1142 of the Downey Municipal Code (DMC); and the Low Impact Development (LID) Plan. Furthermore, the applicant shall be required to Certify and append Public Works standard “Attachment A” to all construction and grading plans as required by the LACoDPW Storm Water Quality Management Plan (SQMP).
66. Owner/applicant shall comply with the Low Impact Development requirements. The owner/applicant shall provide a separate Low Impact Development plan and report for review and approval from the City of Downey Engineering Division.
67. If any hazardous material is encountered on the site that has the potential to reach the groundwater supply, the owner/applicant shall secure a permit for the State Regional Water Quality Control Board.
68. If any hazardous material is encountered on the site, the owner/applicant shall secure an ID number from the EPA.
69. Paint property address numbers (4” height) on the curb face in front of the proposed development to the City’s satisfaction.

**[End of Conditions]**

**Attachment A**  
**Storm Water Pollution Control Requirements for Construction Activities**  
**Minimum Water Quality Protection Requirements for All Development Construction**  
**Projects/Certification Statement**

***The following is intended as an attachment for construction and grading plans and represent the minimum standards of good housekeeping which must be implemented on all construction sites regardless of size.***

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other \_\_\_\_\_

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

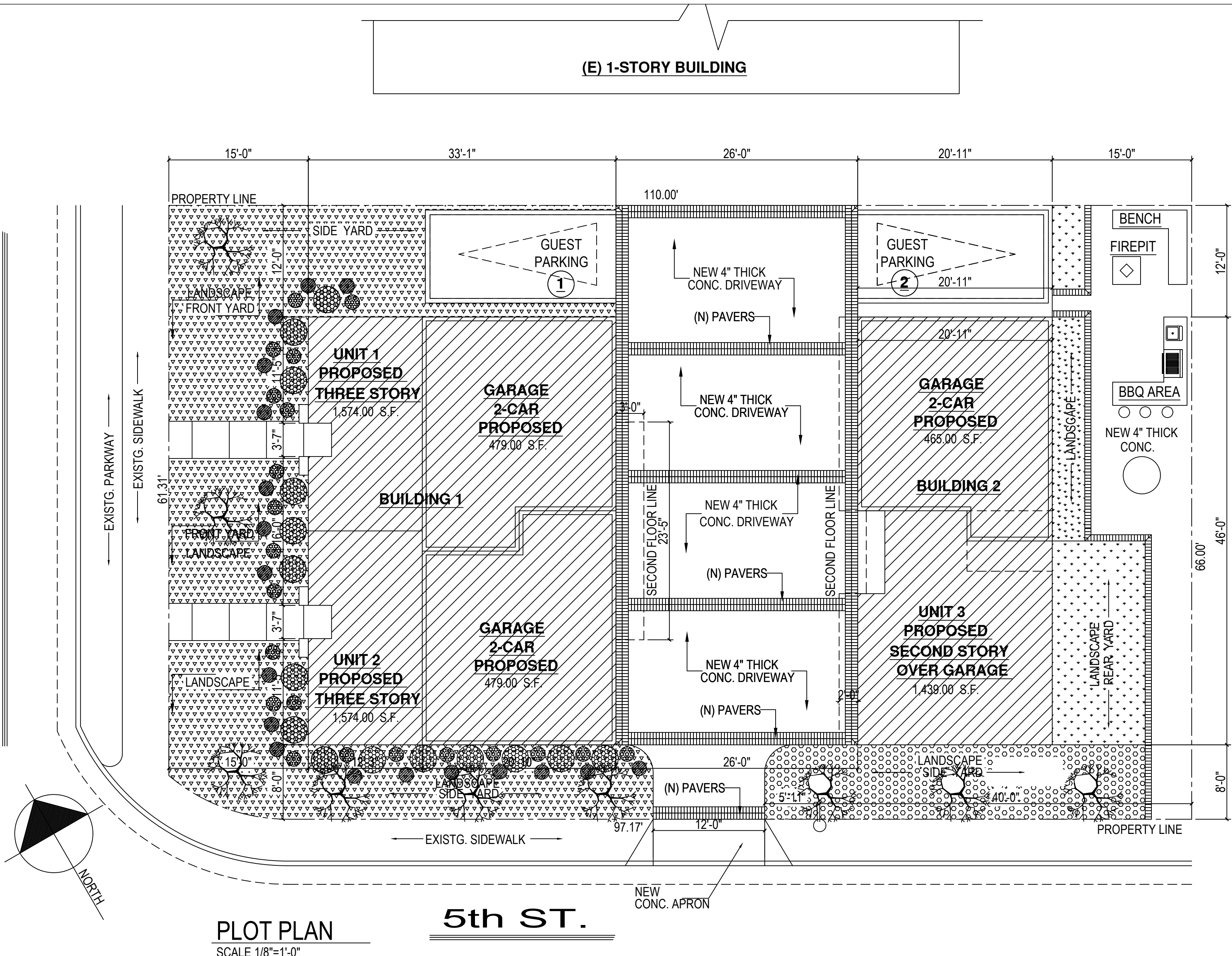
Project Name: \_\_\_\_\_

Project Address: \_\_\_\_\_

Print Name \_\_\_\_\_  
(Owner or authorized agent of the owner)

Signature \_\_\_\_\_ Date \_\_\_\_\_  
(Owner or authorized agent of the owner)

10736 LA REINA AVE.



**PROJECT INFORMATION**

ZONE R-3 MULTIPLE FAMILY RESIDENCE	
LOT AREA	7,238.00 SQ.FT.
PROPOSED (2) 3-STORY UNITS AND (1) 2-STORY UNIT	
PROPOSED AREA UNIT 1	FIRST FLOOR = 278.00 SQ.FT. SECOND FLOOR = 638.00 SQ.FT. THIRD FLOOR = 658.00 SQ.FT. TOTAL LIVING AREA UNIT 1 = 1,574.00 SQ.FT.
PROPOSED AREA UNIT 2	FIRST FLOOR = 278.00 SQ.FT. SECOND FLOOR = 638.00 SQ.FT. THIRD FLOOR = 658.00 SQ.FT. TOTAL LIVING AREA UNIT 2 = 1,574.00 SQ.FT.
PROPOSED AREA UNIT 3	FIRST FLOOR = 470.00 SQ.FT. SECOND FLOOR = 969.00 SQ.FT. TOTAL LIVING AREA UNIT 3 = 1,439.00 SQ.FT.
PROPOSED GARAGE AREA UNIT 1 = 479.00 SQ.FT. OPEN SPACE = 200.00 SQ.FT.	
PROPOSED GARAGE AREA UNIT 2 = 479.00 SQ.FT. OPEN SPACE = 200.00 SQ.FT.	
PROPOSED GARAGE AREA UNIT 3 = 465.00 SQ.FT. OPEN SPACE = 200.00 SQ.FT.	

**LOT COVERAGE:**

TOTAL COVER AREA =	2,620.00 / 7,238.00 X 100 = 36.19% < 50%
ZONING	R3
OCCUPANCY GROUP	R3
CONSTRUCTION TYPE:	TYPE VB-SPRINKLERED (NFPA 13R)
3-STORY	
BUILDING SIZE	SEE PLAN
BUILDING HEIGHT	35'-0"
EXTERIOR FINISH:	WOOD SIDING AND STUCCO
ROOFING:	SHINGLES ROOFING
FRAME:	WOOD FRAME
PARKING SPACES:	8 PARKING
TOTAL LANDSCAPE:	2,610.00 SQ FT

**LEGAL DESCRIPTION**

DOWNEY HOME TRACT SW 13.9 FT OF NW 110 FT OF LOT 13 AND NW 110 FT EX OF ST OF LOT 14 BLK 1  
 APN: 6253-004-018

**SCOPE OF WORK**

DEMO OF (E) SFD (1,424.00 SQ FT), PROPOSED 3-STORY BUILDING WITH 2 UNITS IN THE FRONT OF THE PROPERTY W/ GARAGES. PROPOSED 2-STORY UNIT AT REAR OF PROPERTY WITH GARAGE.

**FIRE DEPARTMENT NOTES**

An approved fire sprinkler system shall be installed.  
 Plans must be submitted separately to the Downey Fire Department.  
 DEFERRED SUBMITTAL : Fire Sprinklers  
 BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2". (R319.1 CRC)

**CODES**

THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2019 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE, C.R.C. AND C.G.C., TYPE OF FIRE SPRINKLER INSTALLED (NFPA 13R) AS AMENDED BY CHAPTER 35

**SHEET INDEX**

A-1	PLOT PLAN
A-2	1ST, 2ND, 3RD FLOOR PLANS (BUILDING 1)
A-3	ELEVATIONS (BUILDING 1)
A-4	FIRST AND SECOND FLOOR PLAN, ELEVATIONS (BUILDING 2)
A-5	LANDSCAPE AND CONCEPTUAL LID PLAN
A-6	DEMO PLAN

**PROPOSED 3-STORY  
2-UNITS, 2-STORY  
UNIT  
APARTMENTS**

10736 LA REINA AVE.  
DOWNEY, CA. 90241

CONTACT:  
Mr. WILLIE BARRIOS  
Mobile: (323) 495 7208

OWNER:  
Mr. WILLIE  
Mobile: (323) 495 7208  
10224 LA REINA AVE.  
DOWNEY, CA. 90241

**CONSULTANT**



Residential | 1100 Orangethorpe Ave.  
& Commercial | # 200w, Anaheim  
Design | Ca. 92801  
(562) 916 7505 | (714) 813 6555  
e\_mail: ccdraftingdesign@yahoo.com

**ISSUES AND REVISIONS**

NO.	DATE	BY	CHECK

**SITE PLAN**

SEAL:

Project Name \_\_\_\_\_  
 Project Number \_\_\_\_\_  
 Description \_\_\_\_\_  
 Computer File \_\_\_\_\_  
 Scale \_\_\_\_\_

SHEET: **A-1**

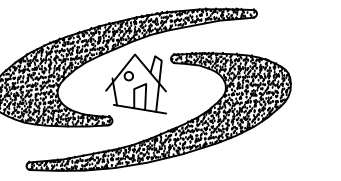
**PROPOSED 3-STORY  
2-UNITS, 2-STORY  
UNIT  
APARTMENTS**

10736 LA REINA AVE.  
DOWNEY, CA. 90241

CONTACT:  
Mr. WILLIE BARRIOS  
Mobile: (323) 495 7208

OWNER:  
Mr. WILLIE  
Mobile: (323) 495 7208  
10224 LA REINA AVE.  
DOWNEY, CA. 90241

CONSULTANT



**C&C**  
*Drafting Design*  
Edgar Cortes

Residential | 1100 Orangethorpe Ave.  
& Commercial | # 200w, Anaheim  
Design | Ca. 92801  
(562) 916 7505 | (714) 813 6555  
e\_mail: ccdraftingdesign@yahoo.com

**ISSUES AND REVISIONS**

NO.	DATE	BY	CHECK

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

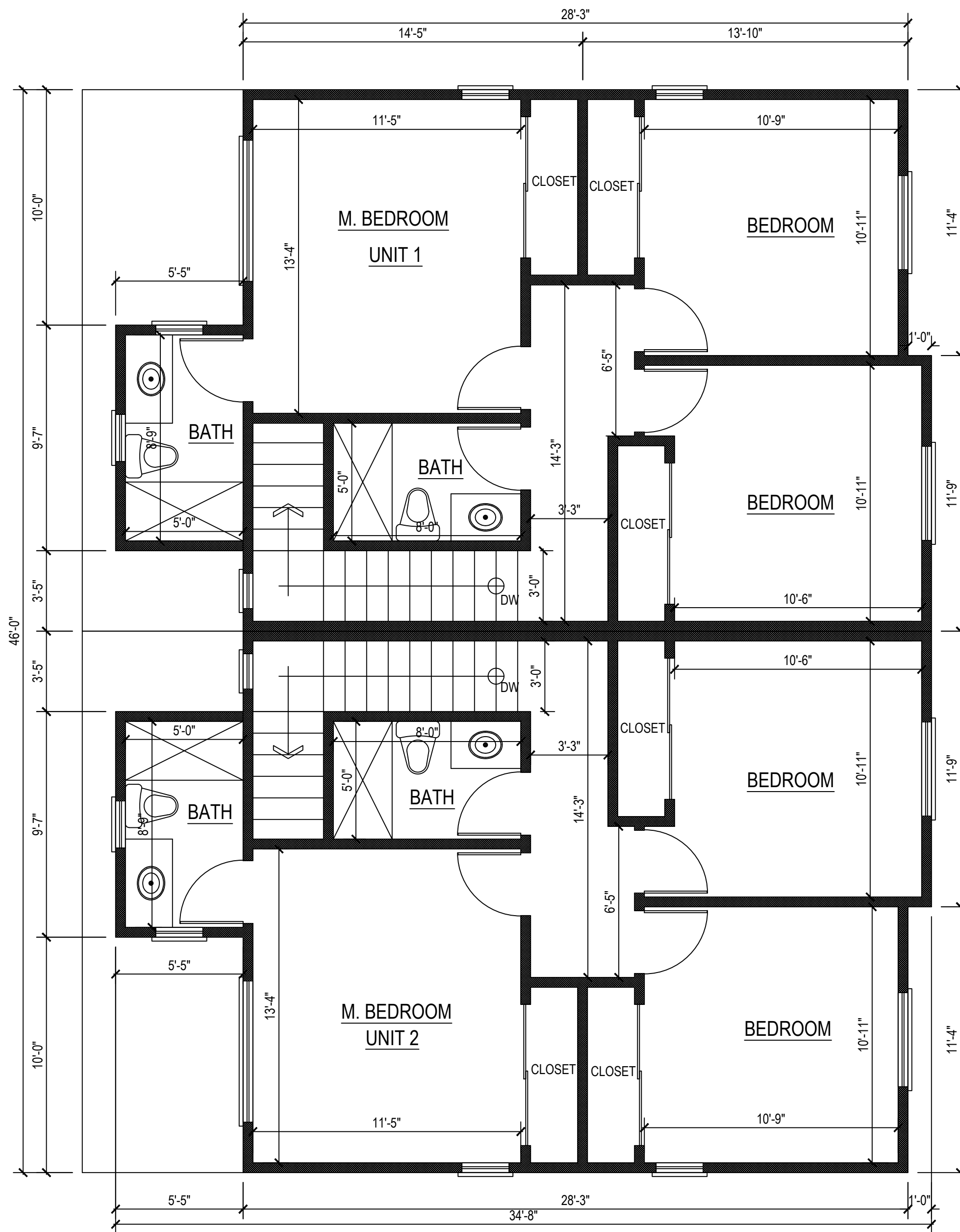
**FIRST, SECOND, THIRD  
FLOOR PLAN (BUILDING 1)**

SEAL:

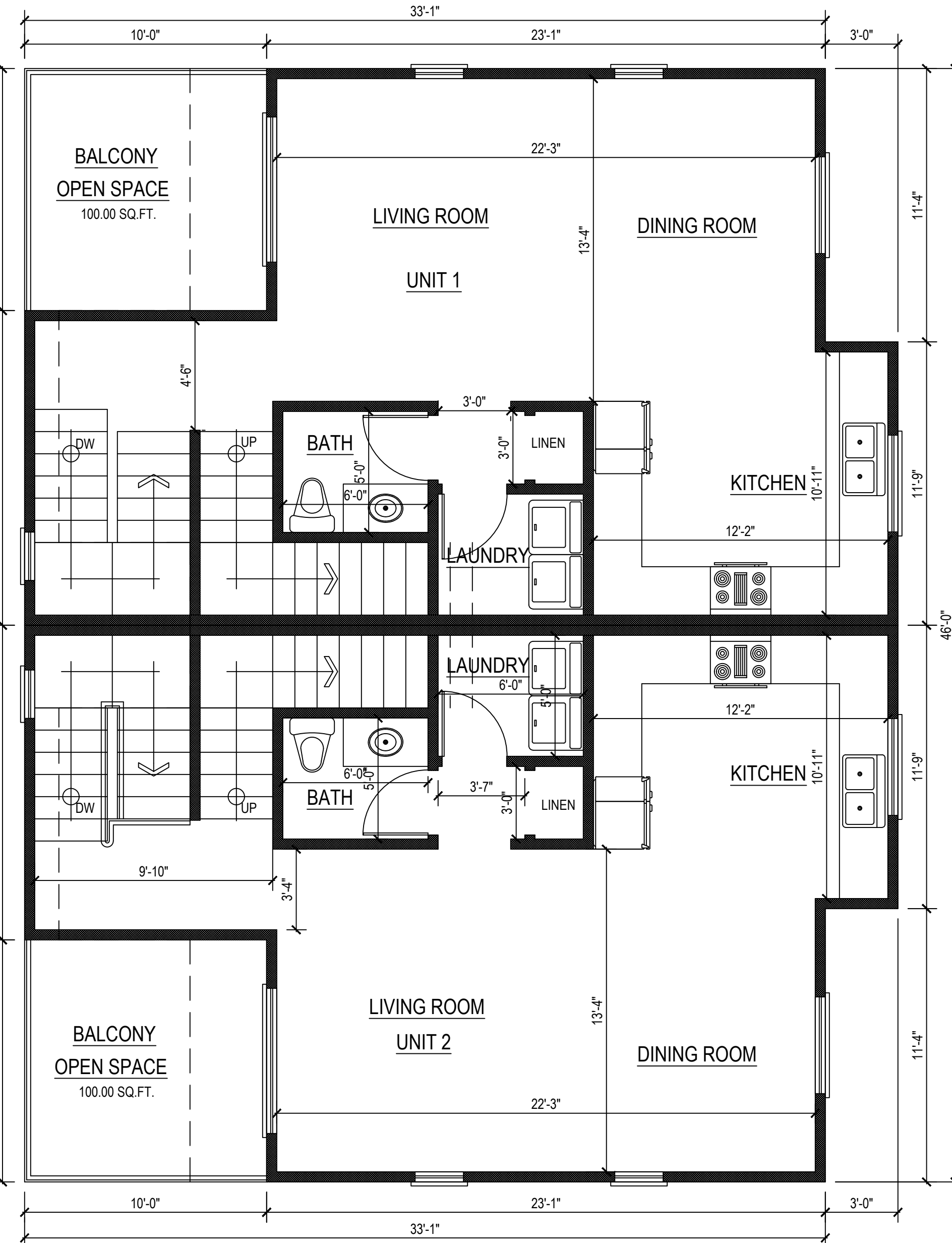
Project Name \_\_\_\_\_  
Project Number \_\_\_\_\_  
Description \_\_\_\_\_  
Computer File \_\_\_\_\_  
Scale \_\_\_\_\_

SHEET:

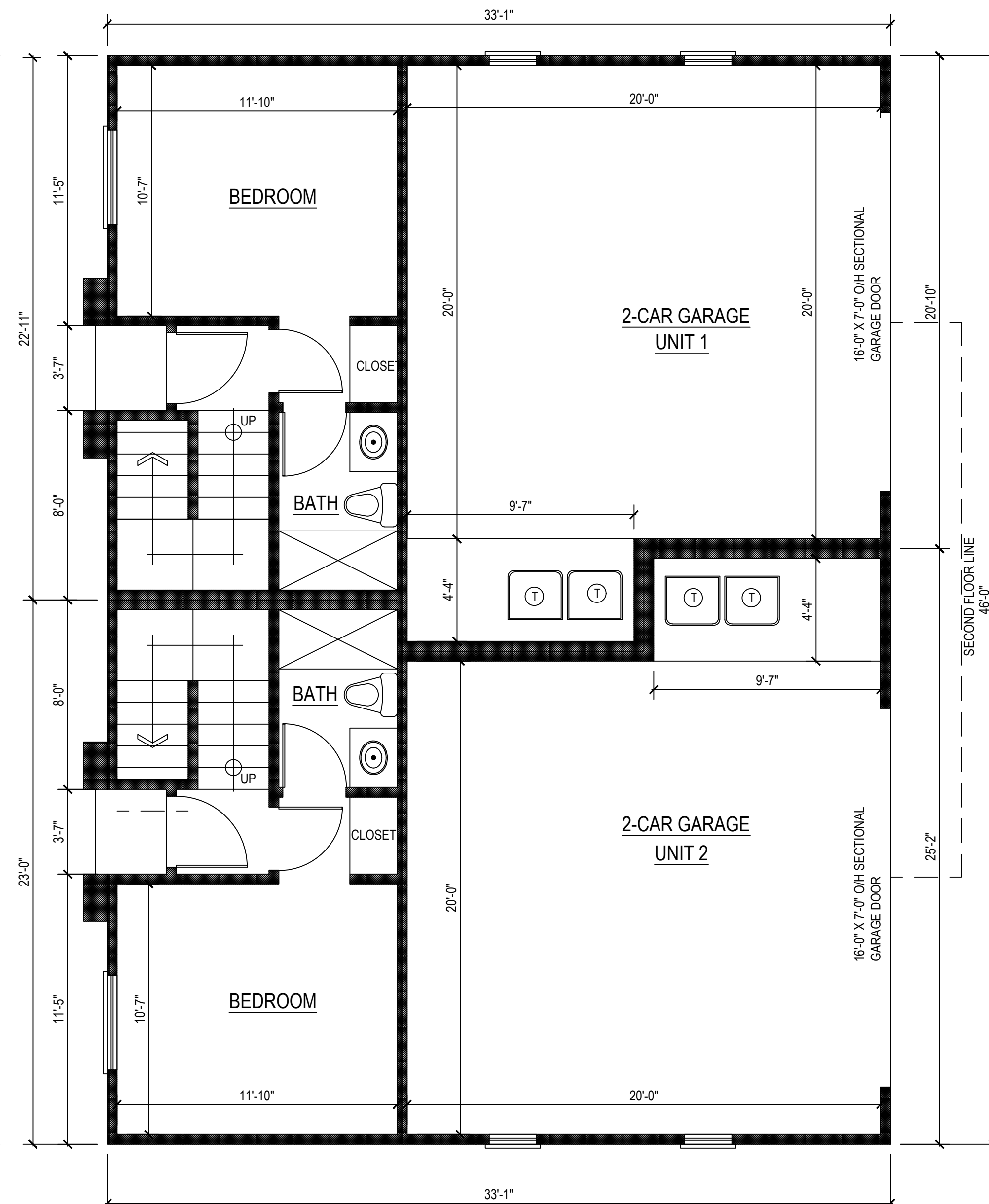
**A-2**



**THIRD FLOOR PLAN (BUILDING 1) 658.00 SQ.FT.**  
**UNIT 1 & 2**  
SCALE 1/4"=1'-0"



**SECOND FLOOR PLAN (BUILDING 1) 638.00 SQ.FT.**  
**UNIT 1 & 2**  
SCALE 1/4"=1'-0"



**FIRST FLOOR PLAN (BUILDING 1) 278.00 SQ.FT.**  
**UNIT 1 & 2**  
SCALE 1/4"=1'-0"

**HOUSE STREET NUMBER NOTE:**

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM

**NOTE:**

PROVIDE 44" MAX. SILL HGT. ABOVE FINISH FLOOR FOR EMERGENCY EXIT ON ALL BEDROOM WINDOWS.

**ROOFING:**

LIGHT WEIGHT TILE BY: "EAGLE" ROOFING PRODUCTS I.C.C. ESR-1900 OVER # 30 FELT USE GALV. ROOFING NAILS ( FIRE RETARDANT) MAX. WEIGHT SHALL BE 10 PSF

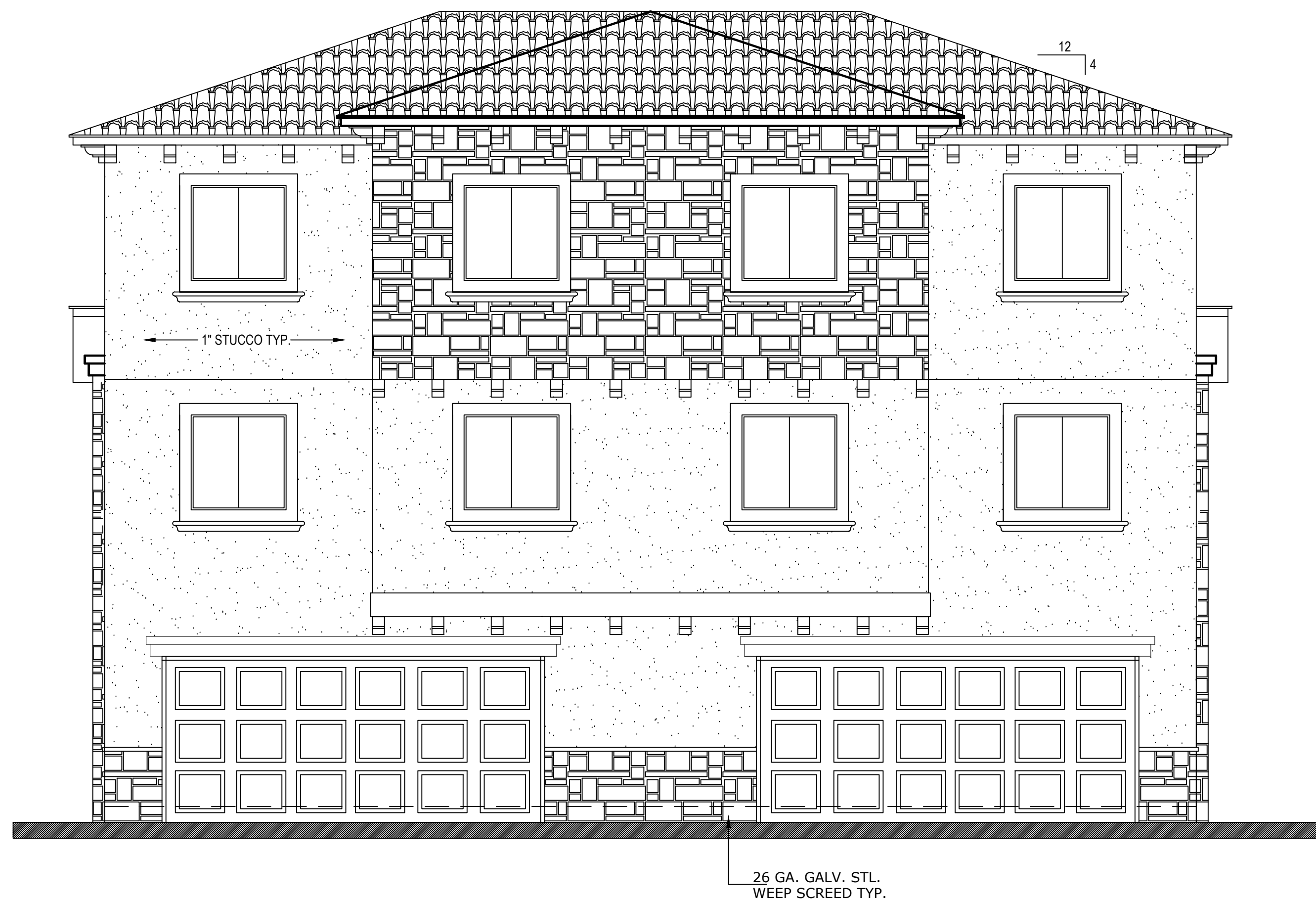
Architecture Style TUSCAN



**NORTH ELEVATION (BUILDING 1) UNIT 1 & 2**  
SCALE 1/4"=1'-0"



**WEST ELEVATION (BUILDING 1) UNIT 1 & 2**  
SCALE 1/4"=1'-0"



**EAST ELEVATION (BUILDING 1) UNIT 1 & 2**  
SCALE 1/4"=1'-0"



**SOUTH ELEVATION (BUILDING 1) UNIT 1 & 2**  
SCALE 1/4"=1'-0"

**PROPOSED 3-STORY  
2-UNITS, 2-STORY  
UNIT  
APARTMENTS**

10736 LA REINA AVE.  
DOWNEY, CA. 90241

CONTACT:  
Mr. WILLIE BARRIOS  
Mobile: (323) 495 7208

OWNER:  
Mr. WILLIE  
Mobile: (323) 495 7208  
10224 LA REINA AVE.  
DOWNEY, CA. 90241

CONSULTANT



**C&C**  
*Drafting Design*  
Edgar Cortes

Residential | 1100 Orangethorpe Ave.  
& Commercial # 200w, Anaheim  
Design Ca. 92801  
(562) 916 7505 | (714) 813 6555  
e\_mail: ccdraftingdesign@yahoo.com

**ISSUES AND REVISIONS**

NO.	DATE	BY	CHECK

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

**BUILDING 1 ELEVATIONS**

SEAL:

Project Name \_\_\_\_\_  
Project Number \_\_\_\_\_  
Description \_\_\_\_\_  
Computer File \_\_\_\_\_  
Scale \_\_\_\_\_

SHEET:

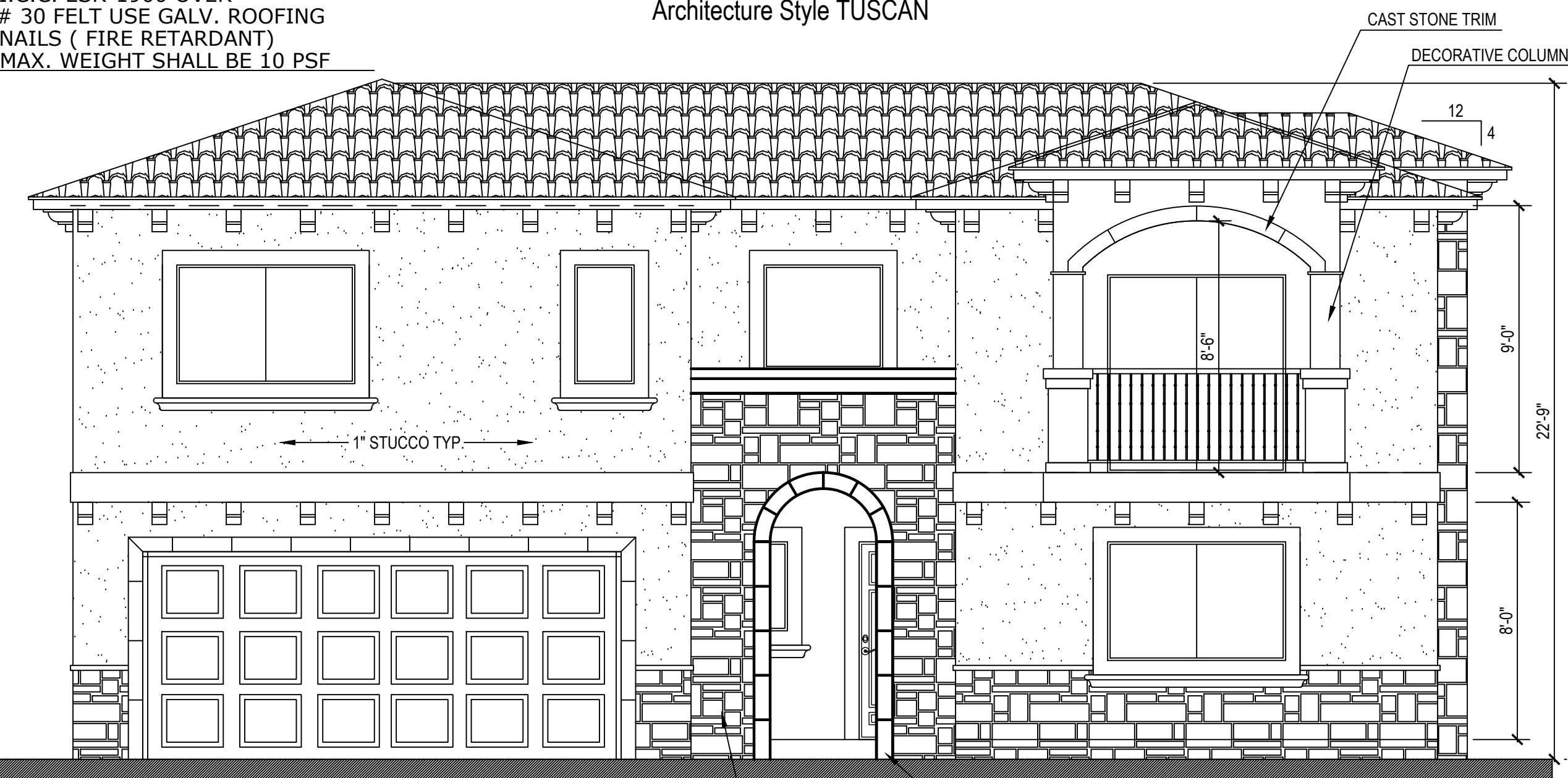
**A-3**



**ROOFING:**

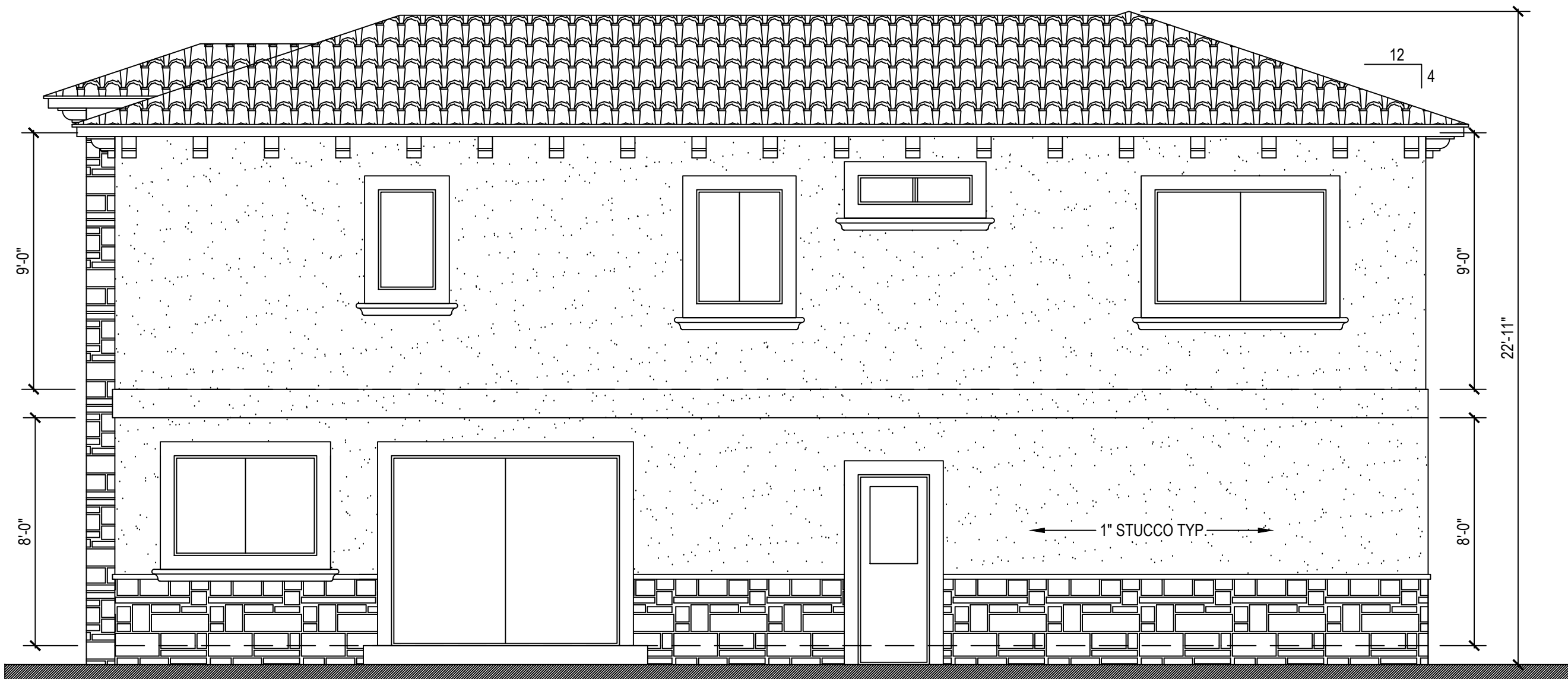
LIGHT WEIGHT TILE BY:  
 "EAGLE" ROOFING PRODUCTS  
 I.C.C. ESR-1900 OVER  
 # 30 FELT USE GALV. ROOFING  
 NAILS ( FIRE RETARDANT)  
 MAX. WEIGHT SHALL BE 10 PSF

Architecture Style TUSCAN

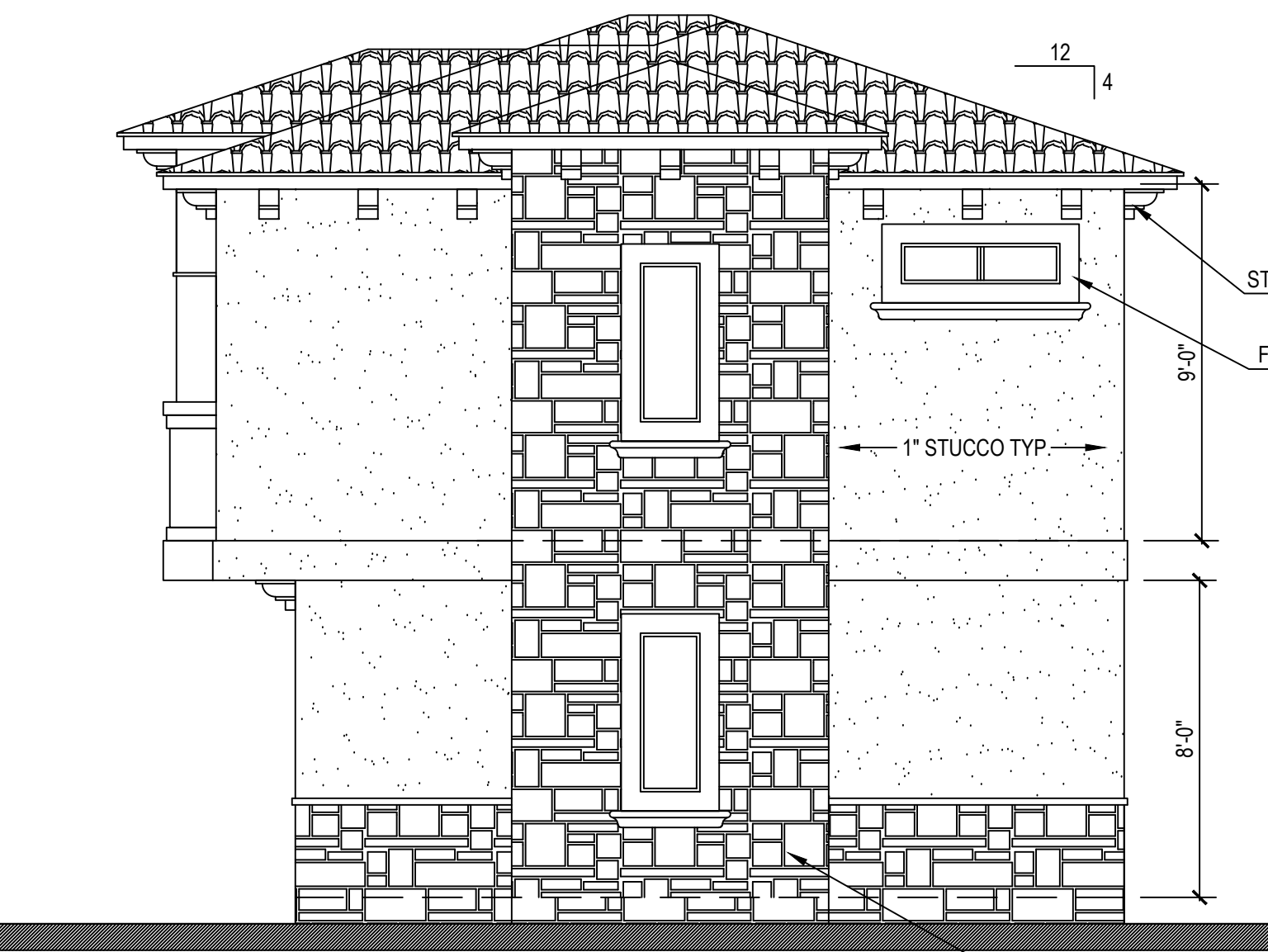


**NORTH ELEVATION (BUILDING 2) UNIT 3**  
 SCALE 1/4"=1'-0"

STONE VENEER  
 ESR-2598  
 COUNTRY CASTLE- MADISON  
 COUNTY BY CORONADO STONE

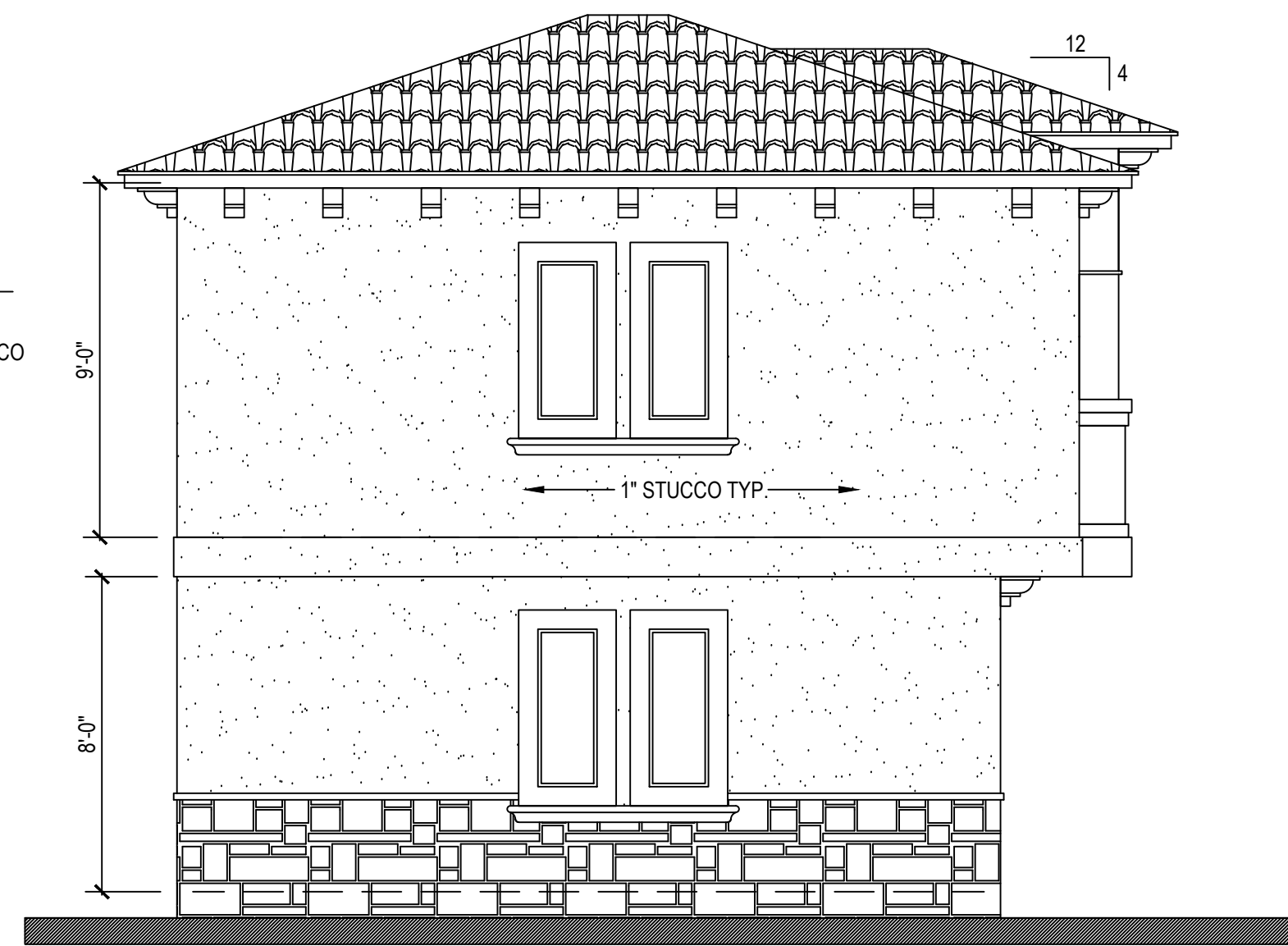


**SOUTH ELEVATION (BUILDING 2) UNIT 3**  
 SCALE 1/4"=1'-0"

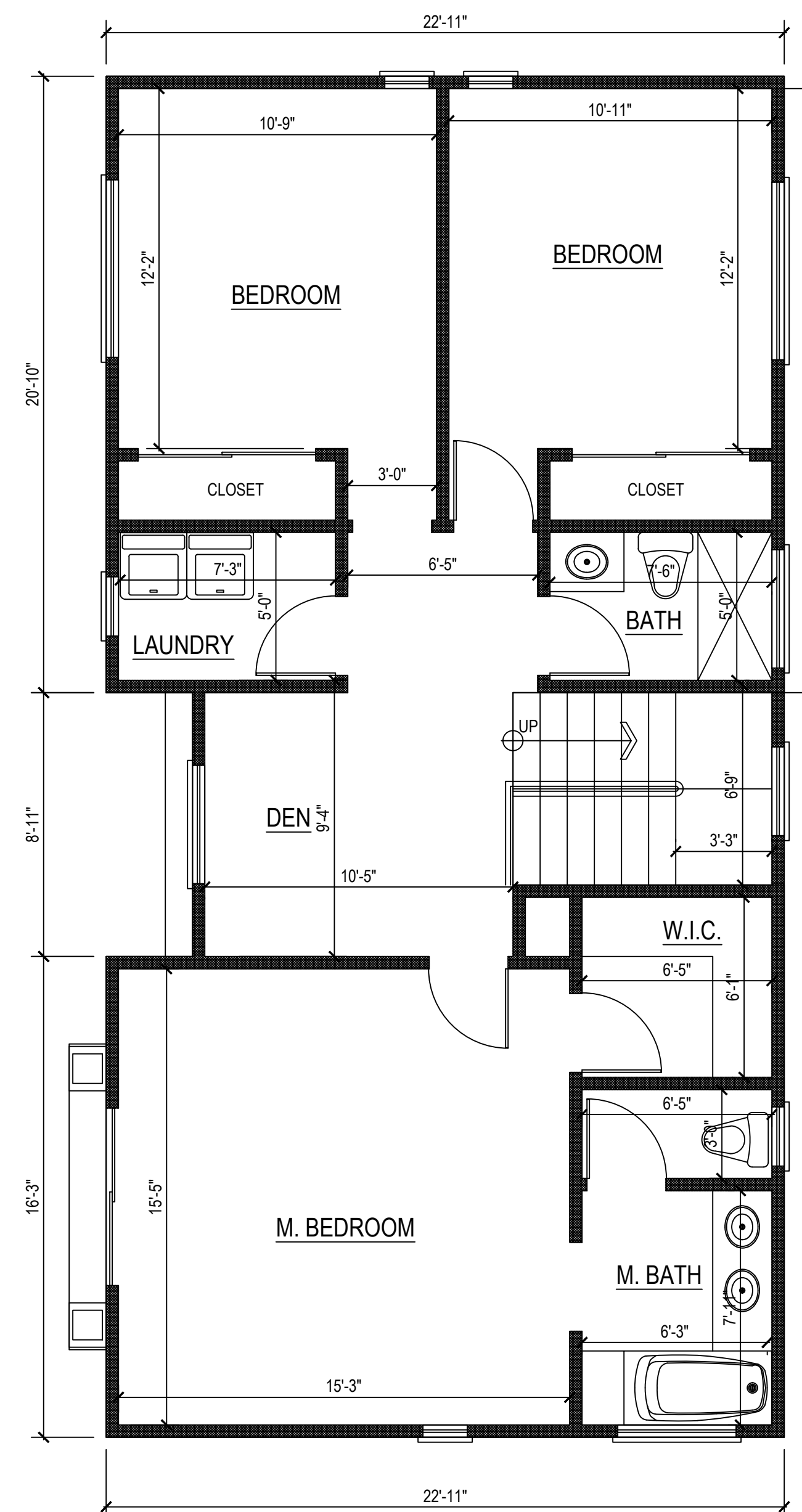


**EAST ELEVATION (BUILDING 2) UNIT 3**  
 SCALE 1/4"=1'-0"

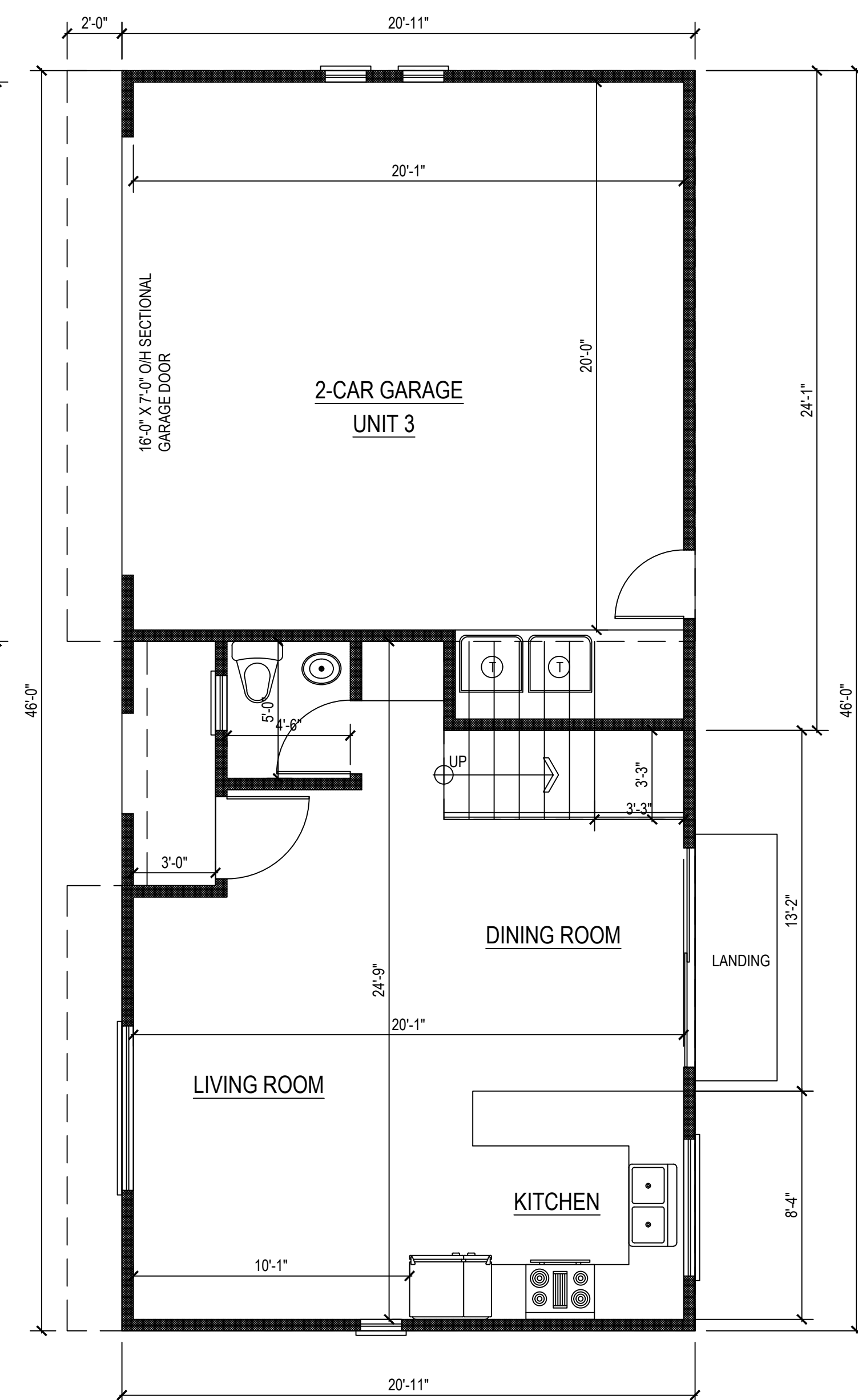
STONE VENEER  
 ESR-2598  
 COUNTRY CASTLE- MADISON  
 COUNTY BY CORONADO STONE



**WEST ELEVATION (BUILDING 2) UNIT 3**  
 SCALE 1/4"=1'-0"



**SECOND FLOOR PLAN (BUILDING 2) UNIT 3**  
 SCALE 1/4"=1'-0" 969.00 SQ.FT.



**FIRST FLOOR PLAN (BUILDING 2) UNIT 3**  
 SCALE 1/4"=1'-0" 470.00 SQ.FT.

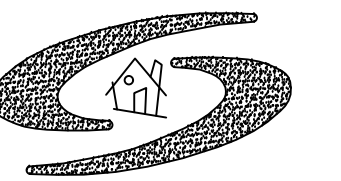
**PROPOSED 3-STORY  
 2-UNITS, 2-STORY  
 UNIT  
 APARTMENTS**

10736 LA REINA AVE.  
 DOWNEY, CA. 90241

CONTACT:  
 Mr. WILLIE BARRIOS  
 Mobile: (323) 495 7208

OWNER:  
 Mr. WILLIE  
 Mobile: (323) 495 7208  
 10224 LA REINA AVE.  
 DOWNEY, CA. 90241

CONSULTANT



**C&C**  
 Drafting Design  
 Edgar Cortes

Residential | 1100 Orangethorpe Ave.  
 & Commercial | # 200w, Anaheim  
 Design | Ca. 92801  
 (562) 916 7505 | (714) 813 6555  
 e\_mail: ccdraftingdesign@yahoo.com

**ISSUES AND REVISIONS**

NO.	DATE	BY	CHECK

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

**BUILDING 2 FLOOR PLAN AND ELEVATIONS**

SEAL:

Project Name \_\_\_\_\_  
 Project Number \_\_\_\_\_  
 Description \_\_\_\_\_  
 Computer File \_\_\_\_\_  
 Scale \_\_\_\_\_

SHEET:

**A-4**

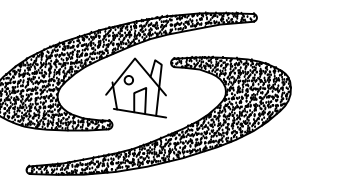
**PROPOSED 3-STORY  
2-UNITS, 2-STORY  
UNIT  
APARTMENTS**

10736 LA REINA AVE.  
DOWNEY, CA. 90241

CONTACT:  
Mr. WILLIE BARRIOS  
Mobile: (323) 495 7208

OWNER:  
Mr. WILLIE  
Mobile: (323) 495 7208  
10224 LA REINA AVE.  
DOWNEY, CA. 90241

CONSULTANT



**C&C**  
Drafting Design  
Edgar Cortes

Residential | 1100 Orangethorpe Ave.  
& Commercial | # 200w, Anaheim  
Ca. 92801  
(562) 916 7505 | (714) 813 6555  
e\_mail: ccdraftingdesign@yahoo.com

**ISSUES AND REVISIONS**

NO.	DATE	BY	CHECK

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

**LANDSCAPE PLAN  
CONCEPTUAL LID PLAN**

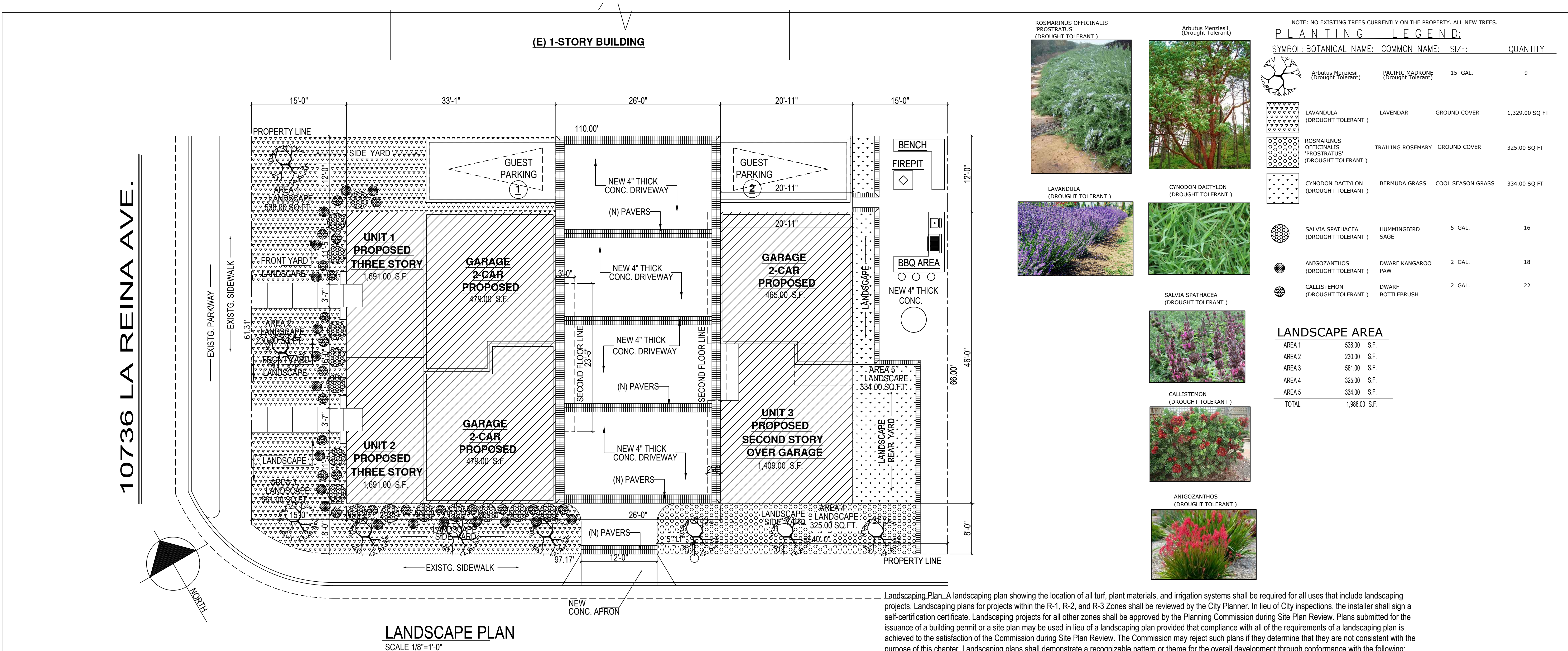
SCALE:

Project Name \_\_\_\_\_  
Project Number \_\_\_\_\_  
Description \_\_\_\_\_  
Computer File \_\_\_\_\_

Scale \_\_\_\_\_

SHEET: \_\_\_\_\_

**A-5**



NOTE: NO EXISTING TREES CURRENTLY ON THE PROPERTY. ALL NEW TREES.

**PLANTING LEGEND:**

SYMBOL: BOTANICAL NAME: COMMON NAME: SIZE: QUANTITY

	ROSMARINUS OFFICINALIS 'PROSTRATUS' (DROUGHT TOLERANT)				
	Arbutus Menziesii (Drought Tolerant)				
	LAVANDULA (DROUGHT TOLERANT)	LAVANDAR	GROUND COVER	1,329.00 SQ FT	
	ROSMARINUS OFFICINALIS 'PROSTRATUS' (DROUGHT TOLERANT)	TRAILING ROSEMARY	GROUND COVER	325.00 SQ FT	
	CYNODON DACTYLON (DROUGHT TOLERANT)	BERMUDA GRASS	COOL SEASON GRASS	334.00 SQ FT	
	SALVIA SPATHACEA (DROUGHT TOLERANT)	HUMMINGBIRD SAGE	5 GAL.	16	
	ANIGOZANTHOS (DROUGHT TOLERANT)	DWARF KANGAROO PAW	2 GAL.	18	
	CALLISTEMON (DROUGHT TOLERANT)	DWARF BOTTLEBRUSH	2 GAL.	22	

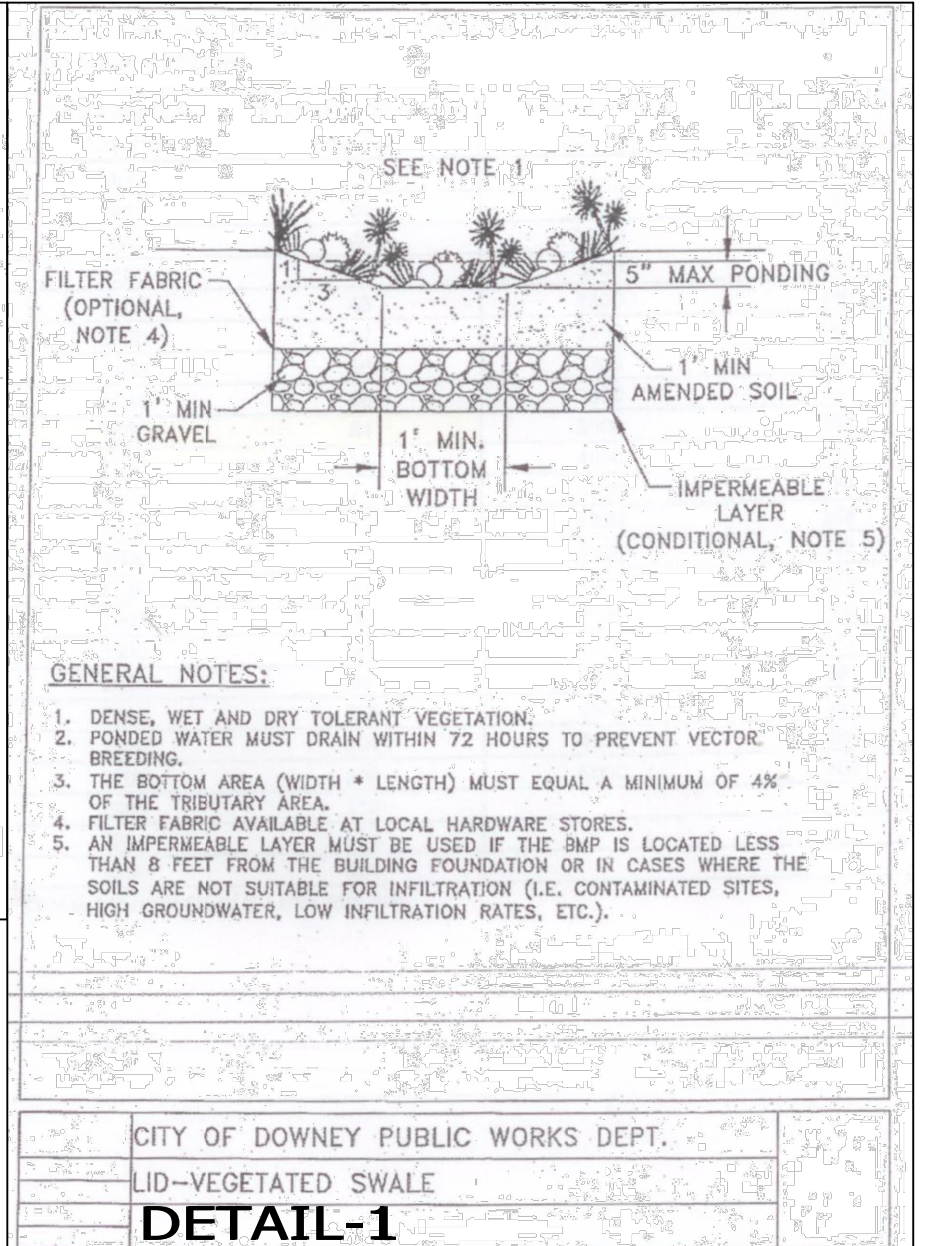
**LANDSCAPE AREA**

AREA 1	538.00 S.F.
AREA 2	230.00 S.F.
AREA 3	561.00 S.F.
AREA 4	325.00 S.F.
AREA 5	334.00 S.F.
<b>TOTAL</b>	<b>1,988.00 S.F.</b>

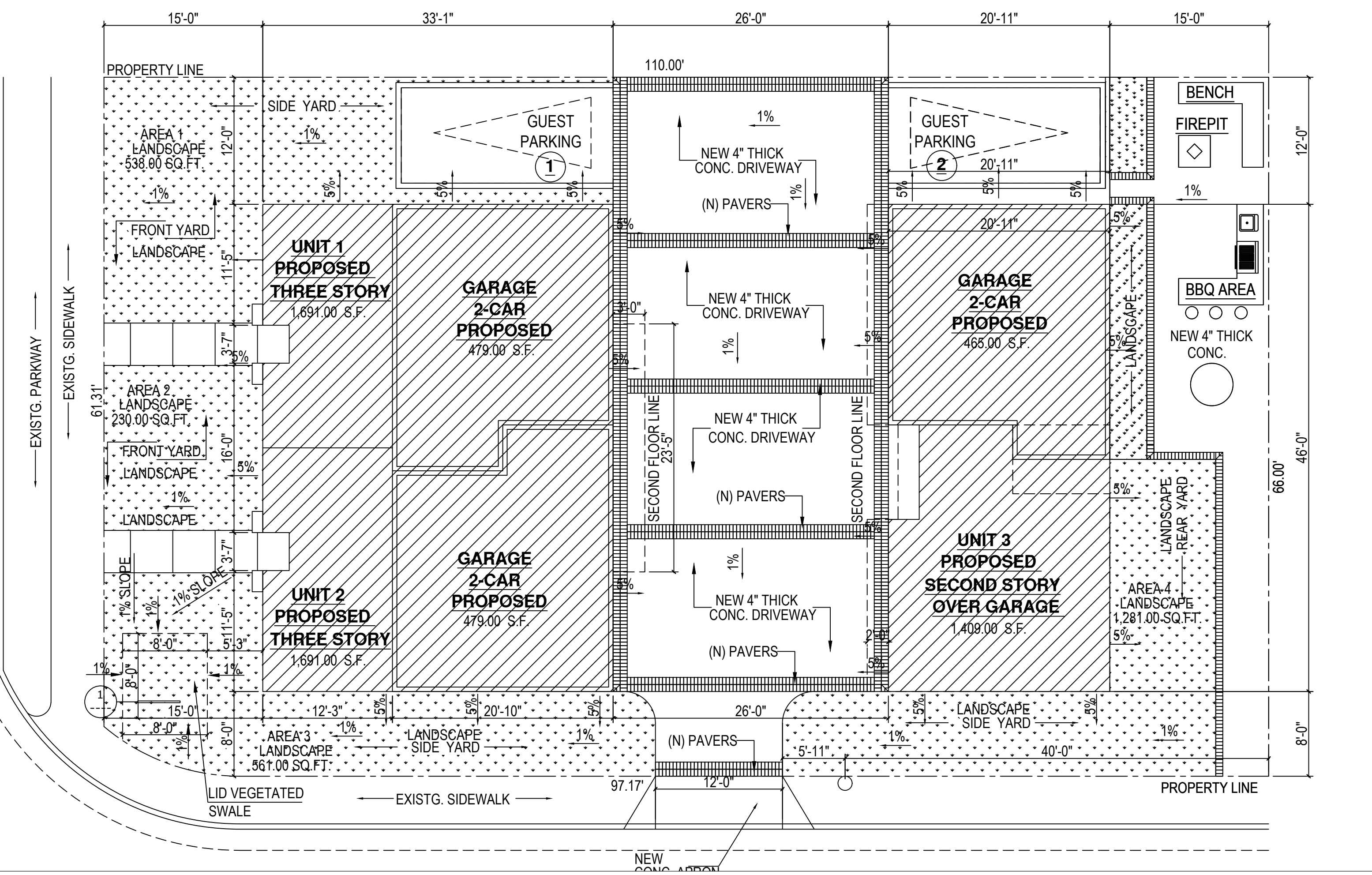
**LID INFORMATION AND DETAIL**

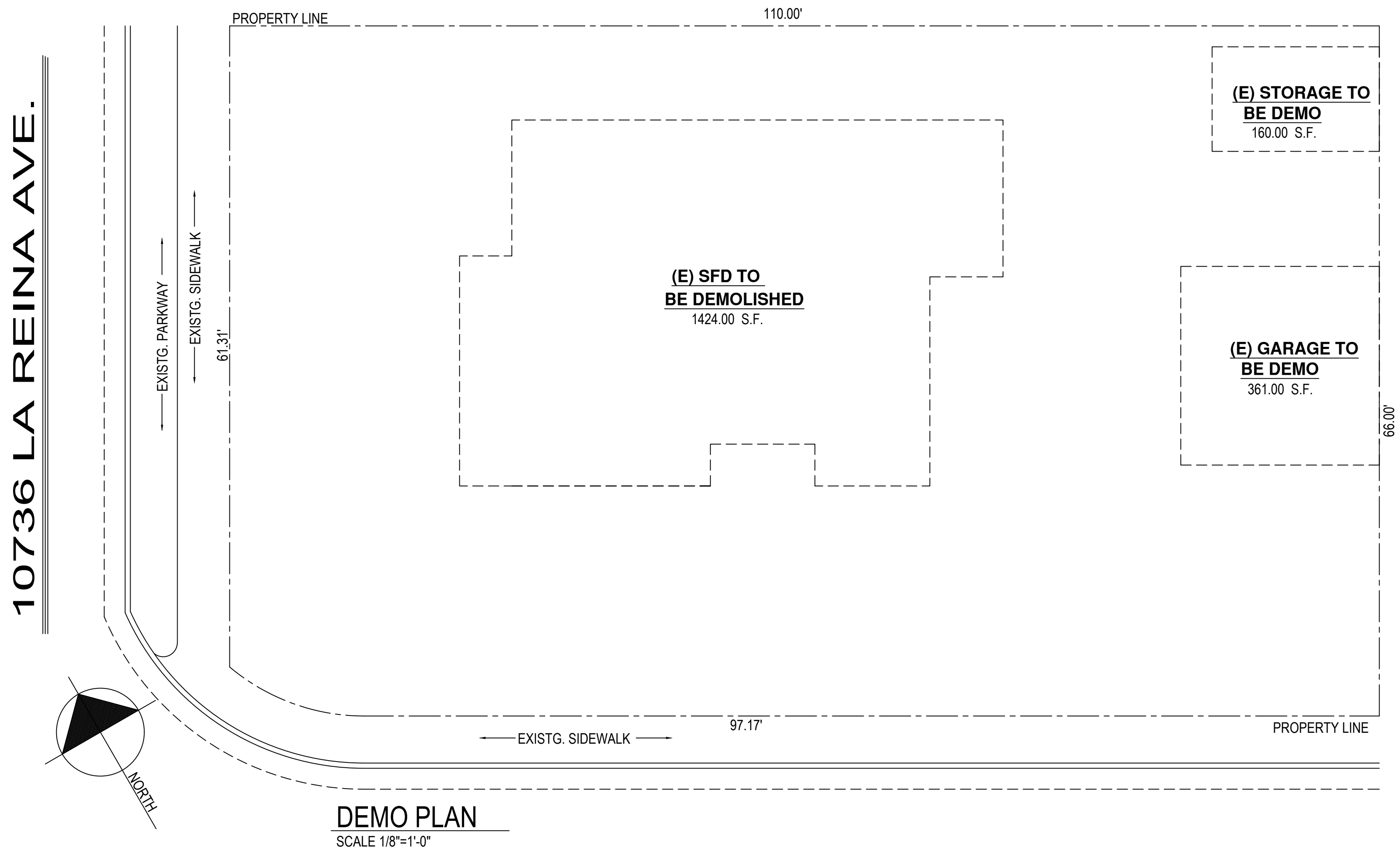
Tributary Area (sq. ft.)	Minimum BMP Size (sq. ft.)*	Tributary Area (sq. ft.)	Minimum BMP Size (sq. ft.)*
800	32	3100	124
900	36	3200	128
1000	40	3300	132
1100	44	3400	136
1200	48	3500	140
1300	52	3600	144
1400	56	3700	148
1500	60	3800	152
1600	64	3900	156
1700	68	4000	160
1800	72	4100	164
1900	76	4200	168
2000	80	4300	172
2100	84	4400	176
2200	88	4500	180
2300	92	4600	184
2400	96	4700	188
2500	100	4800	192
2600	104	4900	196
2700	108	5000	200
2800	112		
2900	116		
3000	120		

\*Calculated from 4% of the tributary area.



**CONCEPTUAL LID PLAN**  
SCALE 1/8"=1'-0"





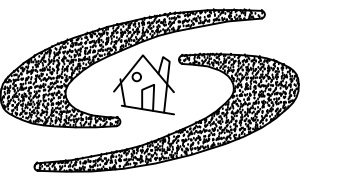
**PROPOSED 3-STORY  
2-UNITS, 2-STORY  
UNIT  
APARTMENTS**

10736 LA REINA AVE.  
DOWNEY, CA. 90241

CONTACT:  
Mr. WILLIE BARRIOS  
Mobile: (323) 495 7208

OWNER:  
Mr. WILLIE  
Mobile: (323) 495 7208  
10224 LA REINA AVE.  
DOWNEY, CA. 90241

CONSULTANT



**C&C**  
*Drafting Design*  
Edgar Cortes

Residential | 1100 Orangethorpe Ave.  
& Commercial | # 200w, Anaheim  
Design | Ca. 92801  
(562) 916 7505 | (714) 813 6555  
e\_mail: ccdraftingdesign@yahoo.com

**ISSUES AND REVISIONS**

NO.	DATE	BY	CHECK

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.
3. WALL DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.

**DEMO PLOT PLAN**

SEAL:

Project Name \_\_\_\_\_

Project Number \_\_\_\_\_

Description \_\_\_\_\_

Computer File \_\_\_\_\_

Scale \_\_\_\_\_

SHEET:

**A-6**