

Paramount Plaza

TENANT SIGN CRITERIA / PROGRAM

12202 Paramount Blvd

Created on:

5/11/2021

Design #: 21210 r11

Last Revised on 01/12/2022

PREPARED BY:



SIGNS & SERVICES

signsandservicesco.com

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TENANT SIGN CRITERIA / PROGRAM

12202 Paramount Blvd

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TABLE OF CONTENTS:

SUBMITTALS & APPROVALS..... 3
GENERAL REQUIREMENTS..... 3
PROHIBITED SIGNS..... 5
MISC. REQUIREMENTS..... 6
TENANT SIGN SPECIFICATIONS..... 7
WALL SIGN ATTACHMENT DETAILS..... 8
TENANT WALL SIGN GUIDELINES..... 9
TENANT WALL SIGN GUIDELINES..... 10
SITE PLAN..... 11

INTRODUCTION:

This Sign Criteria Program has been established for the purpose of ensuring a first-class retail center for the mutual benefit of all tenants. Conformance will be strictly enforced and any installation of non-conforming or unapproved signs shall be brought into conformance at the expense of the non-conforming tenant. Exception to these standards shall not be permitted without approval from the landlord or managing agent & will require approval of a modification to the sign program application by the city. No sign shall be installed without the written landlord or managing agent's approval & the required city approvals & permits.

LANDLORD/TENANT REQUIREMENTS:

1. Each tenant shall submit to landlord for written approval, three (3) copies of the detailed shop drawings of the proposed sign, indicating conformance with the sign criteria herein outlined. The detailed shop drawings shall be provided on minimum 11" (x) 17" sheets that indicate the location, size, design and/or graphics, intended for exterior signage.
2. The tenant shall pay for all signs, related materials and installation fees.
3. The tenant shall obtain all necessary permits and be responsible for payment of any and all permit-related fees.
4. The tenant shall be responsible for fulfillment of all requirements of the sign criteria.
5. It is the responsibility of the tenant's sign company to verify all conduit and transformer locations and service access prior to fabrication.
6. Should a sign be removed, it is the tenant's responsibility to patch all holes, paint surface to match the existing color and restore the surface texture to its original condition.

GENERAL REQUIREMENTS:

1. All permits for signs and their installation shall be obtained and comply with the local planning, building and electrical codes. These permits shall be obtained by the tenant or the tenant's representative prior to installation. A full set of plans must be approved and stamped by the landlord prior to permit application.
2. Tenant's sign contractor must submit to the City of Downey & will be responsible for all applications required for city approvals & permits fees.
3. Sign contractor to be fully licensed with the city and state and shall have full workman's compensation and general liability insurance.
4. No exposed lamps, raceway, crossovers, conduits, conductors, transformers, or similar devices shall be permitted and shall be hidden from public view.
5. All tenants must have installed approved signs before opening for business, but after city issues a city business license for new tenant.
6. Any damage to the building fascia or sign area resulting from the installation or removal of any sign by the tenant will be repaired by the landlord at the tenant's expense.
7. Tenant's sign contractor shall repair under landlord's supervision, any damage cause by the installation.
8. For any signs removed and replaced, the contractor shall clean and paint the surface to match the existing building color or texture before installing new signage.
9. All electrical signs shall be fabricated by a U.L. approved sign company, according to U.L. specification and bear U.L. labels out of public view.

GENERAL REQUIREMENTS (CONTINUED):

10. Tenant shall be responsible for the installation and maintenance of signs.
11. Tenant shall be responsible for the operations of the tenant's sign contractor.
12. In no case shall any manufacturer's labels be visible from the street or from normal viewing angles. U.L. approved stickers shall be accessible/visible without using ladder or special tools.
13. All penetrations of building exterior surfaces are to be sealed water-tight using clear industrial 100% silicone caulk.
14. Logo and letter heights shall be as specified and shall be determined by measuring the block capital letter of a type font exclusive of swashes, ascenders, and descenders.
15. All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Lettering that approximates type-styles will not be acceptable. The landlord reserves the right to reject any fabrication work deemed to be below quality standards.
16. All lighting must match the exact specifications of the approved working drawings. No exposed conduit will be allowed.
17. Signs must be made of durable, rust-inhibiting materials that are appropriate and complimentary to the building upon which, they are being installed.
18. Color coatings shall exactly match the colors specified on the approved plans.
19. Joining of materials (e.g., seams) shall be finished in a way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surface shall be flush, filled, and finished so as to be unnoticeable.
20. Finish surfaces of metal shall be free from oil-canning and warping. All painted sign finishes shall be free from dust, peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.
21. Exposed junction boxes, lamps, tubing or neon crossovers of any type are not permitted.
22. All signs, together with all supports, braces, nuts and anchors shall be kept in good repair, including replacement of defective parts, repainting, cleaning and otherwise maintained in presentable and undamaged condition at all times.

WINDOW SIGNAGE:

Window sign area maximum 15% may be placed within each window with a maximum total area of all windows not to exceed 30%. Approval must be obtained by landlord and the City of Downey – Planning Division. Any and all window Signs must have landlord's approval.

PROHIBITED SIGNS:

1. Signs constituting a traffic hazard: No person shall install or maintain, or cause to be installed or maintained, any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of words "STOP", "LOOK", "DANGER" or any words, phrases, symbols, or characters in such a manner as to interfere with, mislead or confuse traffic.
2. Signs in proximity to utility lines: Signs which have less horizontal or vertical clearance from authorized communication or energized electrical power lines that are prescribed by the law of the State of California are prohibited.
3. Signs painted directly on a building surface will not be permitted.
4. Wall signs may not project above the top of a parapet, the roof line at the wall, or roof line and must observe practical margins from wall edges.
5. No sign and/or other advertising shall be designed to be audible, flash and/or blink on or off or be design to rotate or revolve in such a manner so as to create the illusion of flashing or blinking on or off.
6. No sign shall project above or below the sign-able area. The sign-able area is defined in the attached exhibit for tenants.
7. Vehicle Signs: Signs on or affixed to trucks, truck beds, automobiles, trailers or any other vehicles which advertise, identify or provide direction to use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of services from such vehicle is prohibited; however delivery trucks that have the company logo or name or are not considered vehicle signs, banners or other temporary promotional signage affixed to delivery trucks, are not permitted.
8. Immoral or Unlawful Advertising: Tenant shall not exhibit, post or display upon any sign, anything of an obscene, indecent or immoral nature or unlawful activity.
9. Roof-Mounted Signs, any type of balloon signs, air dancers, and any inflatable advertising is prohibited.
10. Billboard Signs are not permitted.
11. Except as provided herein, no advertising placards, banners, pennants, names, insignia trademark or other descriptive signs or materials shall be affixed or maintained upon the glass pane support of the exterior wall of the building, without the prior written approval of the landlord and the City of Downey.

ABANDONMENT OF SIGNS:

Any Tenant Sign left after thirty (30) days from vacating premises shall become the property of the landlord. The cost for removal of any such sign will be the sole responsibility of the former tenant.

MISC. REQUIREMENTS:

1. Tenants will be required to provide hours of operation, emergency telephone numbers, tenant identification and other similar identification on an 11" (x) 17" layout showing size colors, and type of application.
2. Identification address numbers shall be applied to buildings in compliance with local jurisdiction regulations and in accordance with the sign program to be supplied by the landlord or property owner.
3. Except as provided herein, no advertisement placards, banners, pennants, names, insignia trademarks or other descriptive signs or materials shall be affixed or maintained upon the glass pane supports of the show windows and doors, or upon the exterior walls of the building, without written consent of the landlord/property owner and the City of Downey Building & Planning Department.
4. No signage projections beyond the sign area will be allowed. The sign area is to be held to within the limits as indicated by the landlord or property owner and the sign criteria plan.
5. Tenant's sign contractor shall be liable for repairs and any work-damage caused by their activity.
6. The entire sign display shall be guaranteed for a period of one (1) year against defects in materials and workmanship. Defective parts shall be replaced at no charge.
7. Any signs not in conformance with the criteria and all local jurisdiction regulations are subject to rejection and removal at the tenant's expense.
8. Tenant signs installed without approval from the landlord/property owner and the City of Downey including the issuance of building permit(s) are subject to the rejection and removal at tenant's expense. Tenant is responsible for any fines or citations issued by the City of Downey and their code enforcement.
9. To provide consistency, the following standard letter fonts are suggested for any tenants who do not have a registered trademark or logo. This and other fonts will require landlord and City of Downey Planning Department approvals.

Font Name: Avenir 55 Bold

**Aa Bb Cc Dd Ee Ff Gg Hh Ii Jj Kk Ll Mm Nn Oo Pp Qq Rr Ss Tt Uu Vv Ww Xx Yy Zz
0 1 2 3 4 5 6 7 8 9 - , . : ; & ? ! \$ # % ? () ' " [] \ /**

Font Name: Archer Bold

**Aa Bb Cc Dd Ee Ff Gg Hh Ii Jj Kk Ll Mm Nn Oo Pp Qq Rr Ss Tt Uu Vv Ww Xx Yy Zz
0 1 2 3 4 5 6 7 8 9 - , . : ; & ? ! \$ # % ? () ' " [] \ /**

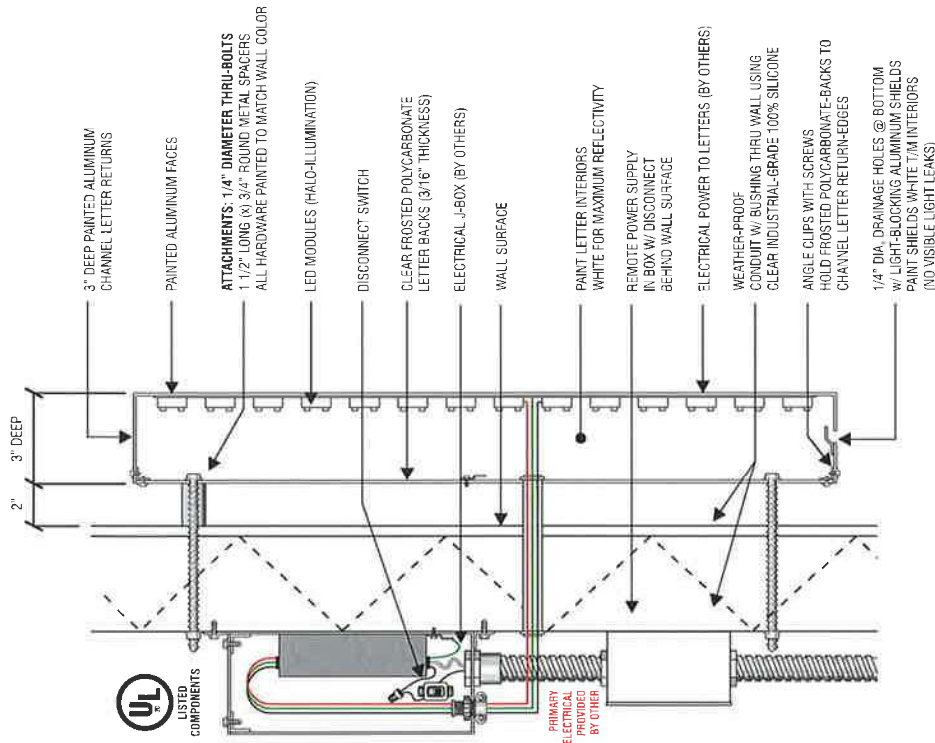
TENANT SIGNAGE SPECIFICATIONS:

The intent of this sign criteria is to encourage sign design creativity and to ensure the individuality of each tenant sign as opposed to sign designs that look very similar to each other in fonts, construction and colors. Signs should be uniquely interesting to provide distinctive nuance. Signs must also be architecturally compatible with the entire shopping center.

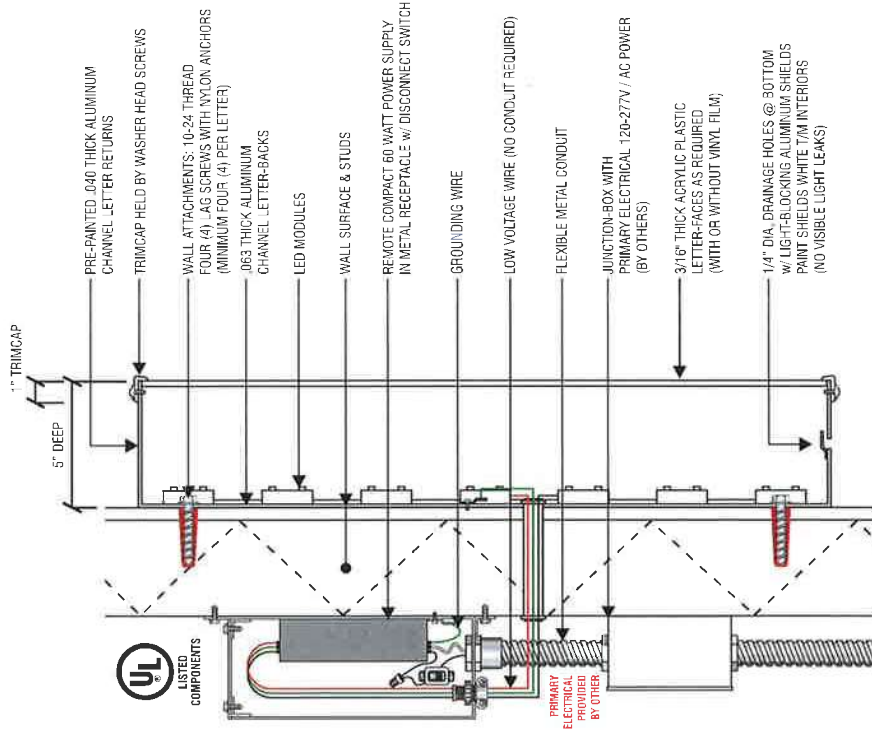
- 1). Tenant will be allowed to fabricate "Face-Lit" and "Halo-Lit" channel letters with the landlord's sole and absolute discretion.
- 2). Signs to be fabricated from minimum .063" aluminum pan channel construction.
- 3). Signs to have acrylic plastic faces with 3/4" wide trimcapped edges.
- 4). Letters to be painted with automotive quality enamel paint over primer undercoat.
- 5). Any electrical system to be contained in transformer box with flex conduit on inside of interior walls.
- 6). All signs shall be individually internally illuminated with LED light modules.
- 7). Signs must be centered vertically and horizontally within the tenant's designated sign space. Colors, letter style, and placement subject to landlord's approval, prior to City of Downey's review.
- 8). Channel letter interiors to have white reflective paint finish for even lighting.
- 9). No tenant's building identification signage shall encroach upon any other tenant's fascia or leasehold width.
- 10). Tenants with a nationally-recognized & registered trademarked logo will be allowed to utilize their logo image & colors, as approved by the landlord.



WALL SIGN ATTACHMENT DETAILS:

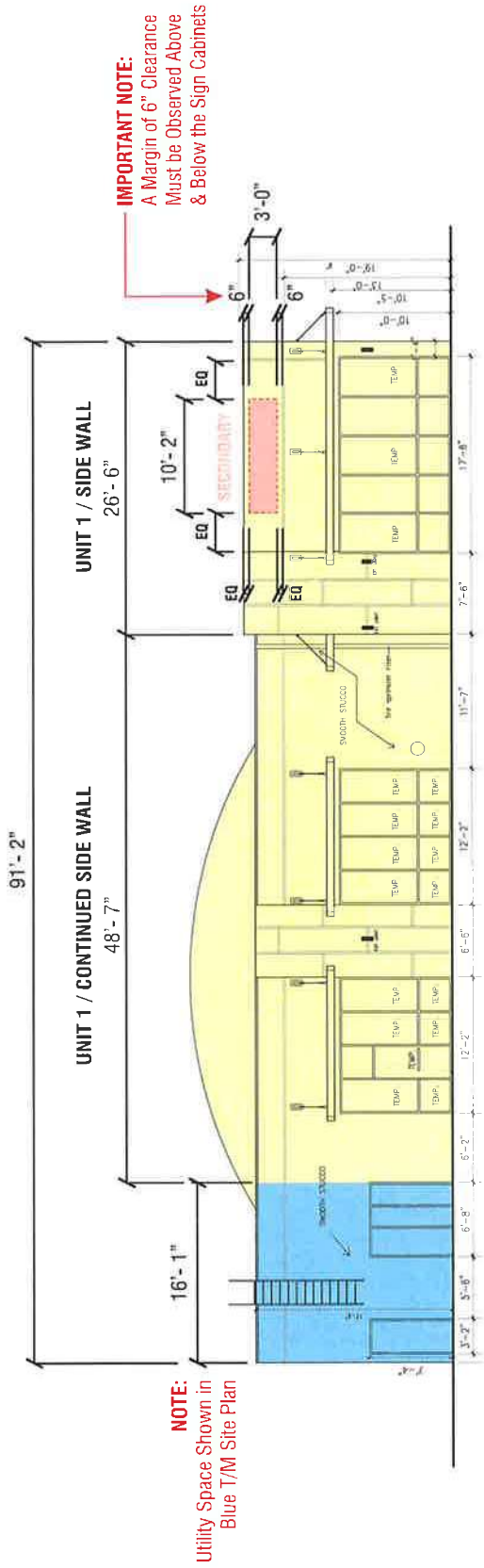


2 END SECTION VIEW / CHANNEL LETTER ATTACHMENT
TYPICAL HALO-ILLUMINATED CHANNEL LETTER TYPE



1 END SECTION VIEW / CHANNEL LETTER ATTACHMENT
TYPICAL FACE-ILLUMINATED CHANNEL LETTER TYPE

TENANT SIGN GUIDELINES: WALL SIGNS (3 UNITS)



North Elevation / Alameda Street Frontage / Reference Color-Coding with Site Plan on Page 11
Scale: 1/16" = 1'-0"

COPY: Store Name / Logo.

CONSTRUCTION: Plex Faced, Halo and Dual-Illuminated Channel Letters allowed. Sign may be installed on wall fascia, only (Not on Canopies/Awnings).

ILLUMINATION: Internal White LED Modules.

SECONDARY SIGN: A secondary wall sign not exceeding one-half (1/2) the allowable area of the primary wall sign may be established on a second, third, or fourth frontage, provided that the frontage sides onto either a street, required off-street parking on the same lot, or a driveway with access to required off-street parking. The secondary wall sign shall not exceed the area of the primary wall sign.

MAX WIDTH: Up to 75% of Storefront Length. Signs may not exceed the Length of the Canopies/Awnings. Signs may attach only above Canopies/Awnings.

NUMBER OF SIGNS: One Wall Sign per building elevation facing a street. Corner lots with building elevations facing two streets are permitted to have one sign per building elevation.

COLORS: Custom Colors OK, but must be Approved by the Landlord.

LINES OF COPY: Two Lines of Sign Text will be allowed for Tenant's Sign Area as long as Tenant's Sign Area does not exceed the allowable Square Footage and 36" in overall height.

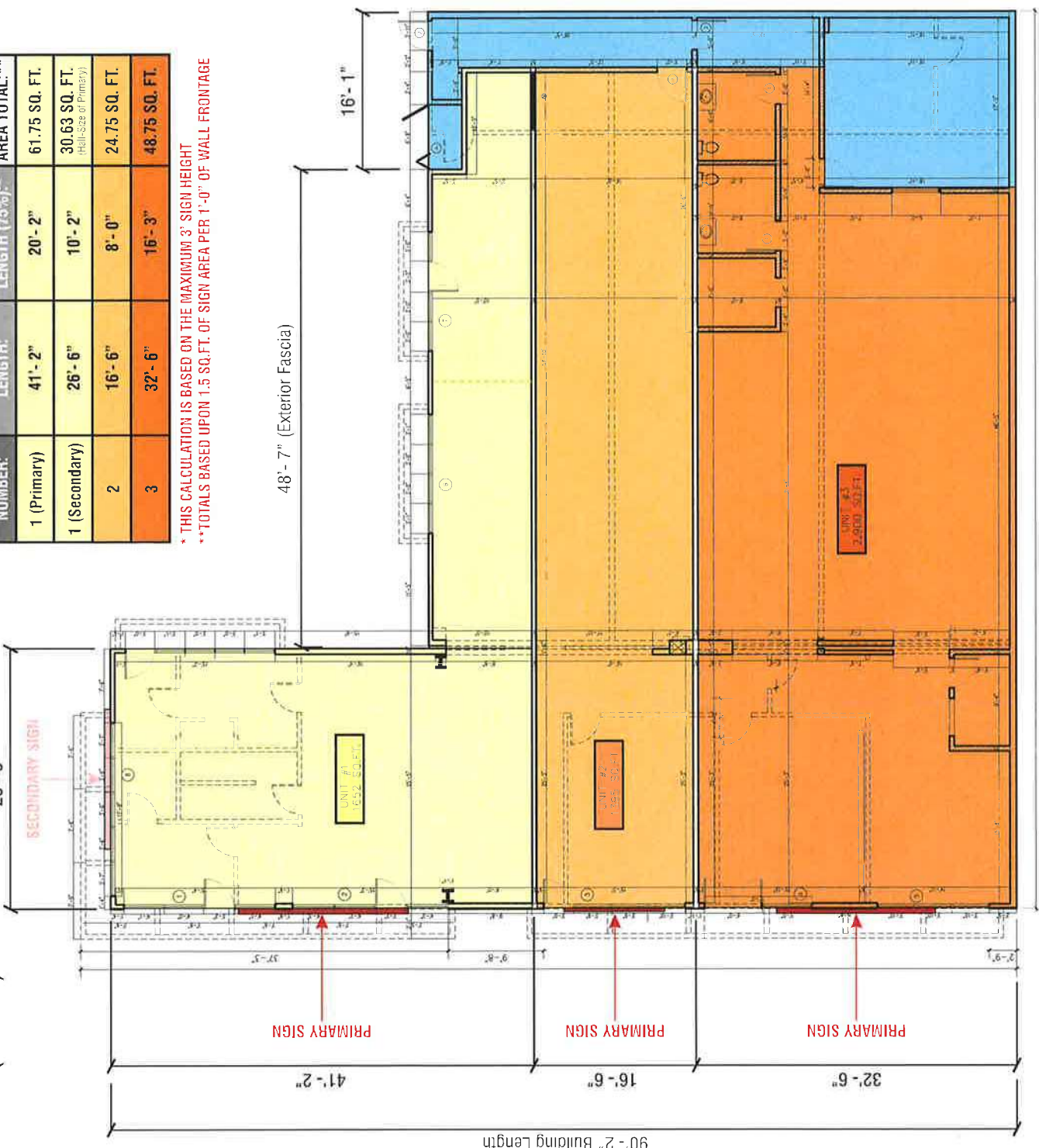
SITE PLAN (3 UNITS)

WALL SIGNS DATA TABLE:				
UNIT NUMBER:	STORE FRONTAGE LENGTH:	MAX. SIGN LENGTH (75%):*	MAX SIGN AREA TOTAL:**	MAX SIGN AREA TOTAL:**
1 (Primary)	41'- 2"	20'- 2"	61.75 SQ. FT.	61.75 SQ. FT.
1 (Secondary)	26'- 6"	10'- 2"	30.63 SQ. FT. (In-Size @ Primary)	30.63 SQ. FT.
2	16'- 6"	8'- 0"	24.75 SQ. FT.	24.75 SQ. FT.
3	32'- 6"	16'- 3"	48.75 SQ. FT.	48.75 SQ. FT.

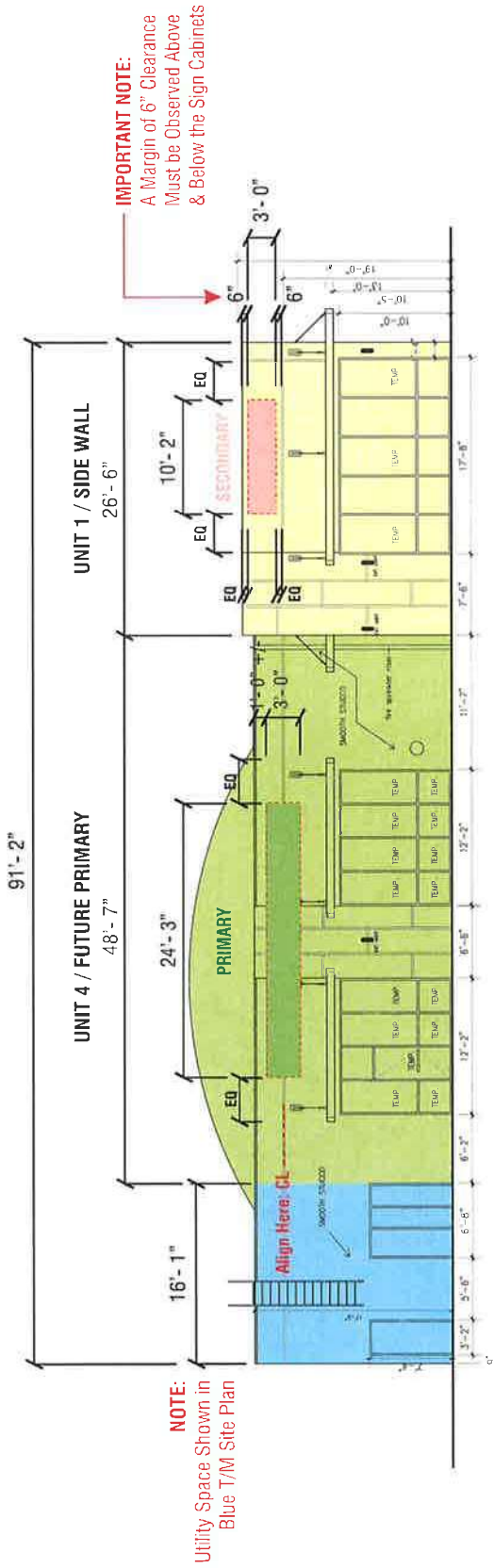
* THIS CALCULATION IS BASED ON THE MAXIMUM 3' SIGN HEIGHT
 **TOTALS BASED UPON 1.5 SQ.FT. OF SIGN AREA PER 1'-0" OF WALL FRONTAGE

SITE PLAN LEGEND:

[Yellow Box]	Unit 1
[Orange Box]	Unit 2
[Light Blue Box]	Unit 3
[Blue Box]	Utilities & Controls for Building
[Red Box]	Primary Tenant Wall Sign
[Pink Box]	Secondary Tenant Wall Sign



TENANT SIGN GUIDELINES: WALL SIGNS (4 UNITS / POSSIBLE FUTURE CONFIGURATION)



North Elevation / Alameda Street Frontage / Reference Color-Coding with Site Plan on Page 11
Scale: 1/16" = 1'- 0"

COPY: Store Name / Logo.

CONSTRUCTION: Plex Faced, Halo and Dual-Illuminated Channel Letters allowed. Sign may be installed on wall fascia, only (Not on Canopies/Awnings).

ILLUMINATION: Internal White LED Modules.

SIGN AREA: 1.5 Square Foot of Signage per Lineal Foot of Tenant Store Frontage.

MAX WIDTH: Up to 75% of Storefront Length. Signs may not exceed the Length of the Canopies/Awnings. Signs may attach only above Canopies/Awnings.

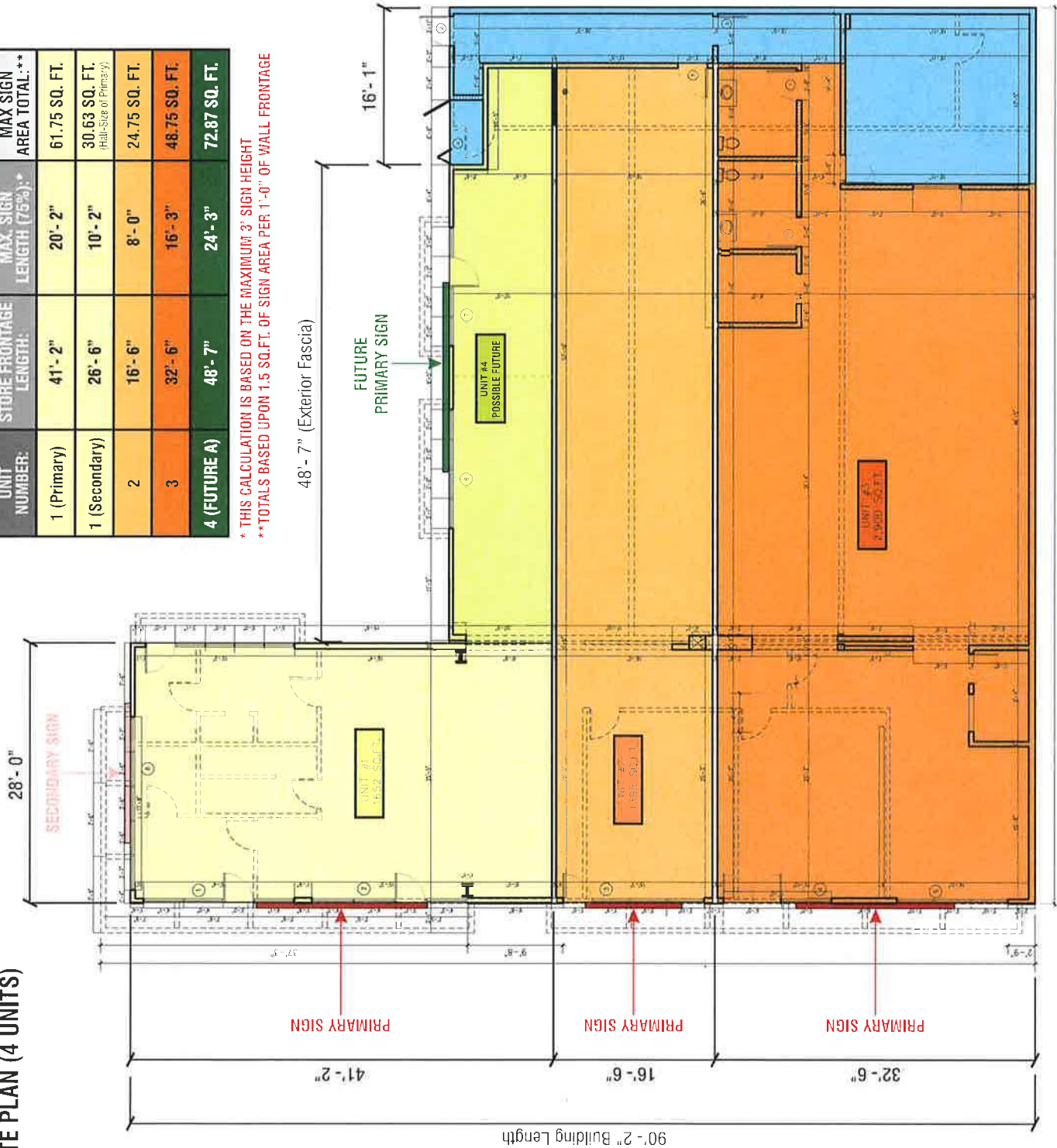
NUMBER OF SIGNS: One Wall Sign per building elevation facing a street. Corner lots with building elevations facing two streets are permitted to have one sign per building elevation.

COLORS: Custom Colors OK, but must be Approved by the Landlord.

LINES OF COPY: Two Lines of Sign Text will be allowed for Tenant's Sign Area as long as Tenant's Sign Area does not exceed the allowable Square Footage and 36" in overall height.

SECONDARY SIGN: A secondary wall sign not exceeding one-half (1/2) the allowable area of the primary wall sign may be established on a second, third, or fourth frontage, provided that the frontage sides onto either a street, required off-street parking on the same lot, or a driveway with access to required off-street parking. The secondary wall sign shall not exceed the area of the primary wall sign.

SITE PLAN (4 UNITS)



* THIS CALCULATION IS BASED ON THE MAXIMUM 3' SIGN HEIGHT
 ** TOTALS BASED UPON 1.5 SQ.FT. OF SIGN AREA PER 1'-0" OF WALL FRONTAGE

WALL SIGNS DATA TABLE:

UNIT NUMBER:	STORE FRONTAGE LENGTH:	MAX. SIGN LENGTH (75%):*	MAX SIGN AREA TOTAL:**
1 (Primary)	41'-2"	20'-2"	61.75 SQ. FT.
1 (Secondary)	26'-6"	10'-2"	30.63 SQ. FT. (Half-Size of Primary)
2	16'-6"	8'-0"	24.75 SQ. FT.
3	32'-6"	16'-3"	48.75 SQ. FT.
4 (FUTURE A)	48'-7"	24'-3"	72.87 SQ. FT.

SITE PLAN LEGEND:

- Unit 1
- Unit 2
- Unit 3
- Utilities & Controls for Building
- Primary Tenant Wall Sign
- Secondary Tenant Wall Sign
- Future Primary Tenant Wall Sign

